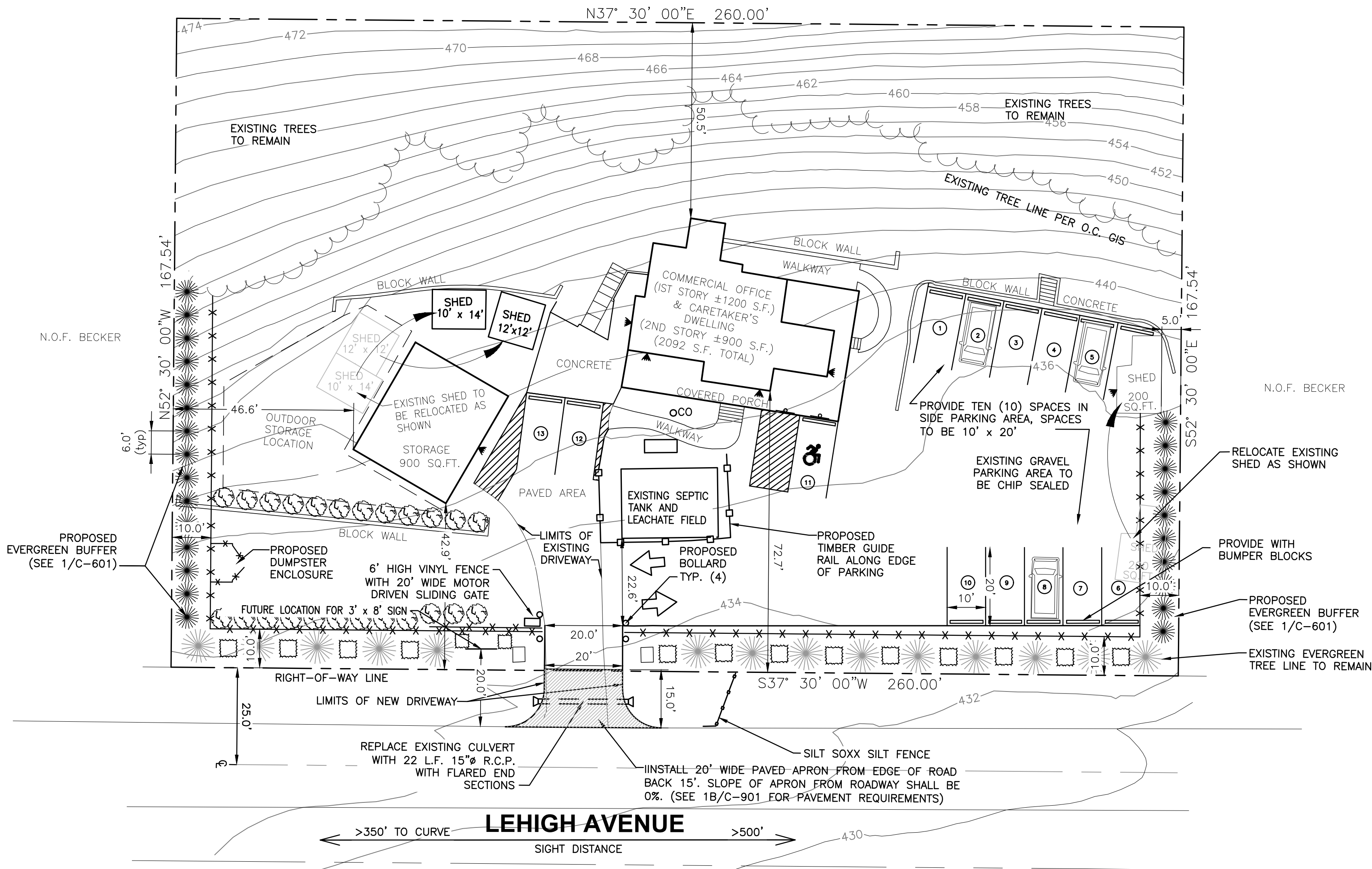


N.O.F. BECKER



**1 SITE PLAN**  
1" = 20'

**NEW YORK STATE SOIL EROSION AND SEDIMENT CONTROL NOTES:**

1. ANY DISTURBED AREAS THAT ARE LEFT EXPOSED FOR MORE THAN FOURTEEN (14) DAYS, AND ARE NOT SUBJECT TO CONSTRUCTION TRAFFIC MUST IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR AN EQUIVALENT MATERIAL. THE SEEDING WILL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS.
2. ANY GRADED AREAS NOT SUBJECT TO FURTHER DISTURBANCE OR CONSTRUCTION TRAFFIC SHALL RECEIVE PERMANENT VEGETATIVE COVER IN COMBINATION WITH SUITABLE MULCH WITHIN TEN (10) DAYS AS PER THE SPECIFICATION.
3. PAVED ROADWAYS SHALL BE KEPT CLEAN AT ALL TIMES.
4. STORMWATER FROM DISTURBED AREAS MUST BE PASSED THROUGH A PROTECTIVE (SILT SOXX) BARRIER OR OTHER CONTROL DEVICE BEFORE BEING DISCHARGED BEYOND DISTURBED AREAS, IN TO INLETS, OR IN TO OTHER DRAINAGE SYSTEMS.
5. THE CONTRACTOR SHALL INSPECT THE EFFECTIVENESS AND CONDITION OF EROSION CONTROL DEVICES DURING STORM EVENTS, AFTER EACH RAINFALL OF ONE-HALF INCH (1/2") MAGNITUDE OR GREATER, PRIOR TO WEEKENDS, AND PRIOR TO FORECASTED STORM EVENTS.
6. THE CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED EROSION CONTROL DEVICES IMMEDIATELY AND IN NO CASE, MORE THAN TWENTY-FOUR (24) HOURS AFTER OBSERVING SUCH DEFICIENCIES.
7. THE CONTRACTOR SHALL BE PREPARED TO IMPLEMENT INTERIM DRAINAGE CONTROL AND EROSION CONTROL MEASURES AS MAY BE NECESSARY DURING THE COURSE OF CONSTRUCTION.
8. THE CONTRACTOR SHALL MAKE AVAILABLE ONSITE ALL EQUIPMENT, MATERIALS AND LABOR NECESSARY TO EFFECT EMERGENCY EROSION CONTROL AND DRAINAGE IMPROVEMENTS WITHIN FOUR (4) HOURS OF ANY IMPENDING EMERGENCY SITUATION.
9. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH NEW YORK STANDARDS & SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (NYSDEC, AUG. 2005)
10. THE TOWN OF CHESTER OR DESIGN ENGINEER MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE THE POTENTIAL FOR ONSITE OR OFFSITE EROSION PROBLEMS THAT MAY OCCUR DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THESE MEASURES.

**GENERAL NOTES:**

**CARETAKER'S RESIDENCE**

- 1) CARETAKER'S RESIDENCE SHALL BE OCCUPIED BY ONE EMPLOYEE AND NO CHILDREN.
- 2) UPON FINAL APPROVAL OF SITE PLAN, STAMPED PLANS AND SPECIFICATIONS BY A NYS LICENSED ARCHITECT OR ENGINEER SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT IN CONFORMANCE WITH THE NYS BUILDING CODE (LATEST EDITION) FOR ISSUANCE OF A BUILDING PERMIT AND CERTIFICATE OF OCCUPANCY FOR THE CARETAKER'S RESIDENCE PRIOR TO OCCUPANCY.

**MINIMUM OFFSTREET PARKING:**

AS PER SECTION 98-22,  
OFFICE REQUIRES "ONE (1) PER TWO-HUNDRED (200) SQUARE FEET OF FLOOR AREA AND THEN ONE (1) PER THREE-HUNDRED (300) SQUARE FEET OF ANY ADDITIONAL FLOOR AREA."

TOTAL FLOOR AREA = 2092 SQ.FT. PER SPACE = 10.45 SPACES = 11 SPACES.

TOTAL SPACES PROVIDED: 13 SPACES

**PARKING:**

THERE ARE NO CUSTOMERS THAT COME TO THIS BUSINESS. ALL PARKING IS FOR EMPLOYEES AND BUSINESS VEHICLES.

VEHICLE PARKING SHALL BE LIMITED TO CARS, SMALL TRUCKS, AND CARGO VANS ONLY.

NO UNREGISTERED, WRECKED, OR PARTIALLY DISMANTLED MOTOR VEHICLE OF ANY TYPE OR DESIGN SHALL BE PERMITTED TO BE PARKED OR LEFT STANDING IN ANY YARD OF ANY DISTRICT.

THERE SHALL BE NO DELIVERIES OR PICKUPS BY TRACTOR TRAILERS UNDER ANY CIRCUMSTANCE.

**SIGN NOTES:**

AS PER SECTION 98-21(c).

- 1(a) "FOR EACH ESTABLISHMENT, ONE IDENTITY SIGN FOR EACH STREET FRONTAGE, EACH WITH A MAXIMUM AREA OF ONE SQUARE FOOT FOR EACH LINEAR FOOT OF A BUILDING FACADE WHICH FRONTS ON A STREET.

= 52 SQ.FT. MAXIMUM

**LIMITS:**

- 2(a) SIGNS MAY BE FLAT WALL SIGNS LOCATED ANYWHERE ON THE SURFACE OF THE BUILDING, BUT IN NO CASE SHALL THEY PROJECT ABOVE THE ROOF LINE, OR GROUND-MOUNTED SIGNS NOT TO EXCEED FIVE (5) FEET IN HEIGHT AND SET BACK AT LEAST TEN (10) FEET FROM A STREET LINE.

- (b) NO PRODUCTS OR PRODUCT CONTAINERS OR SIGNS SHALL BE CLOSER TO A STREET LINE THAN 20 FEET.

**SITE VERIFICATION NOTES:**

1. PRIOR TO SUBMISSION OF THE BID, THIS CONTRACTOR SHALL VISIT THE JOB SITE TO ASCERTAIN THE ACTUAL FIELD CONDITIONS AS THEY RELATE TO THE WORK INDICATED ON THE DRAWINGS AND DESCRIBED HEREIN. DISCREPANCIES, IF ANY, SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO SUBMISSION OF THE BID, AND IF NOT RESOLVED TO SATISFACTION, SHALL BE SUBMITTED AS A WRITTEN QUALIFICATION OF THE BID. SUBMISSION OF A BID SHALL BE EVIDENCE THAT SITE VERIFICATION HAS BEEN PERFORMED AS DESCRIBED ABOVE.
2. THE LOCATION OF ALL UTILITIES MUST BE VERIFIED.
3. THERE ARE NO WETLANDS LOCATED ON PROPERTY.
4. NO CONSTRUCTION SHALL TAKE PLACE DURING TIMBER RATTLESNAKE MOVEMENT PERIOD (MARCH 30 THROUGH OCTOBER 30)
5. A BUILDING PERMIT SHALL BE OBTAINED FOR THE PROPOSED FENCING PRIOR TO INSTALLATION.

**SEWAGE DISPOSAL NOTES:**

THE EXISTING SEPTIC SYSTEM WAS HYDRAULICALLY TESTED ON SEPTEMBER 16, 2017 FOR THE USE AS CURRENTLY DESIGNED, THERE WAS NO SIGN OF FAILURE OR MALFUNCTION. THE SYSTEM IS FUNCTIONING PROPERLY.

**EXCAVATION:**

AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE NEW YORK ONE CALL SYSTEM INCORPORATED AT 1-800-962-7962 FOR BURIED UTILITIES LOCATIONS.

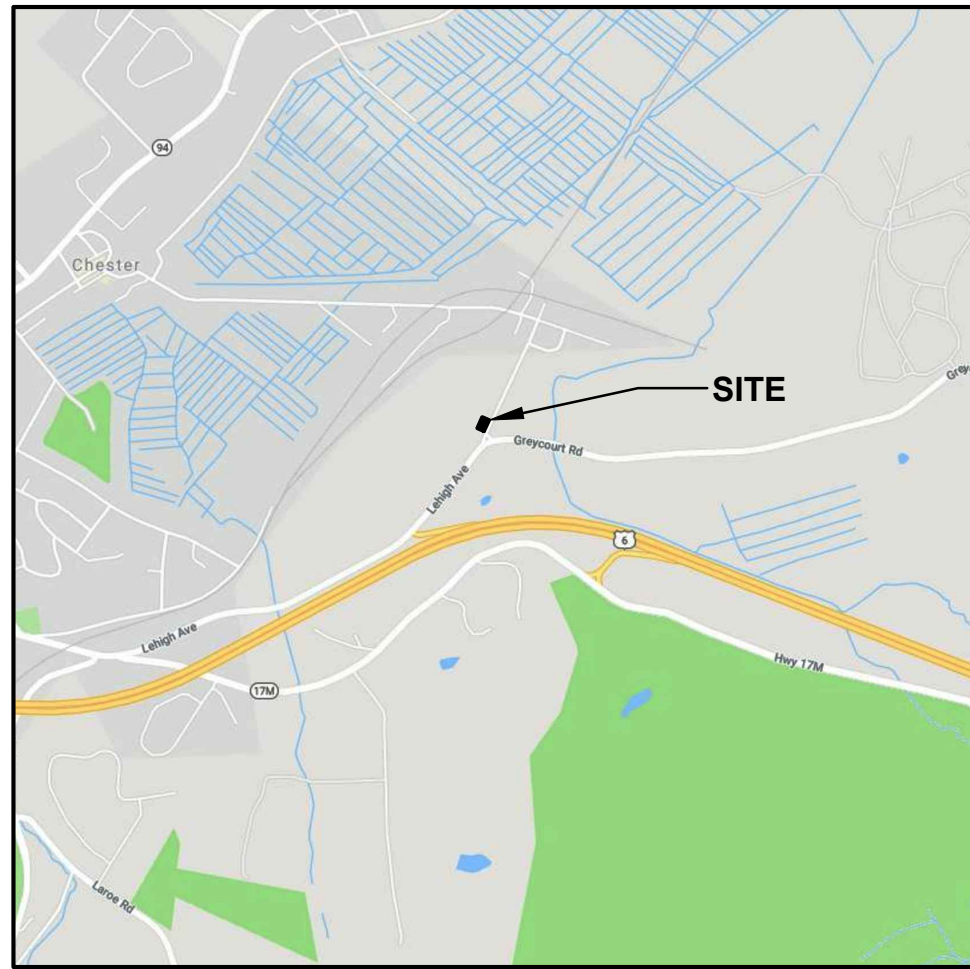
**HOURS OF COMMERCIAL OPERATIONS:**

**MONDAY — FRIDAY:** 7:00 AM TO 6:00 PM

**SATURDAY:** CLOSED

**SUNDAY:** 7:00 AM TO 6:00 PM (NO DELIVERIES OR PICKUPS)

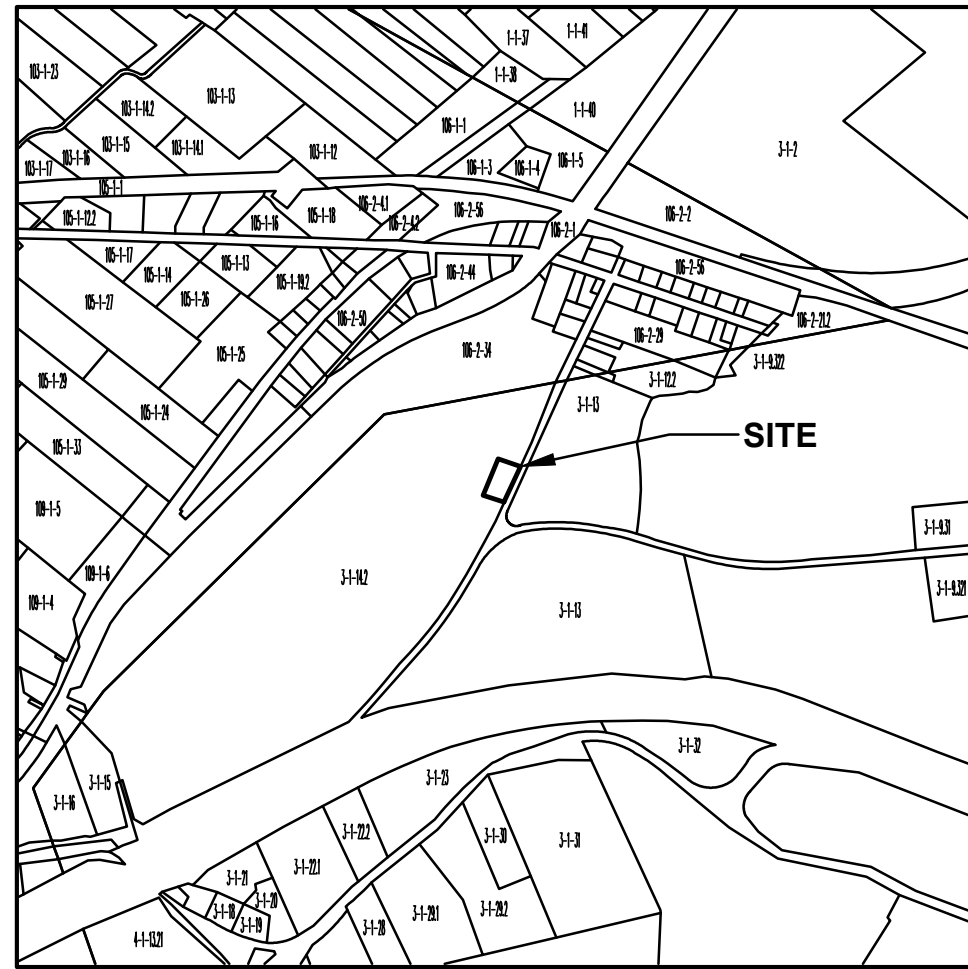
THE ABOVE HOURS ARE IN REGARDS TO COMMERCIAL OPERATIONS (I.E. FOR DELIVERIES, PICKUPS, ETC.) OFFICE PERSONNEL FROM TIME TO TIME MAY PERFORM OFFICE WORK LATER THAN THE HOURS OF COMMERCIAL OPERATIONS.



**VICINITY MAP**  
1" = 2000'

**LEGEND**

- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXIST. EDGE OF PAVEMENT
- PROPOSED CHAINLINK FENCE
- PROPOSED GUIDE RAIL
- SILT FENCE
- PROPOSED OUTDOOR STORAGE
- PROPOSED PAVEMENT
- PROPOSED SIGN
- EXISTING EXTERIOR LIGHTING
- EXISTING EVERGREEN
- PROPOSED NORWAY SPRUCE
- PROPOSED ARBORVITAE
- PROPOSED FORSYTHIA



**TAX MAP**  
1" = 1000'

**BULK REQUIREMENTS  
1 ZONE (TOWN OF CHESTER)  
INDUSTRIAL**

**BULK TABLE REQUIREMENTS**

BULK ITEM	MINIMUM REQUIRED	PROVIDED
LOT AREA (AC.)	5	
LOT WIDTH (FT)	300	260*
FRONT SETBACK (FT)	100	72.7*
REAR SETBACK (FT)	100	50.4*
ONE SIDE (FT)	90	>70
BOTH SIDES (FT)	180	>140

**MAXIMUM PERMITTED**

BULK ITEM	PERMITTED	PROVIDED
BLDG. COVERAGE(%)	40	18.5
BLDG. HEIGHT (FT)	45	<45

\* DENOTES EXISTING NON-CONFORMING

**PROPERTY ADDRESS**

191 LEHIGH AVENUE  
CHESTER, NY 10918

**TAX MAP**

SECTION 3, BLOCK 1, LOT 14.1  
TOWN OF CHESTER, NY

**OWNER & DEVELOPER**

JOEL SCHREIBER  
191 LEHIGH AVENUE  
CHESTER, NY 10918

**EXISTING USE**

COMMERCIAL/RESIDENTIAL

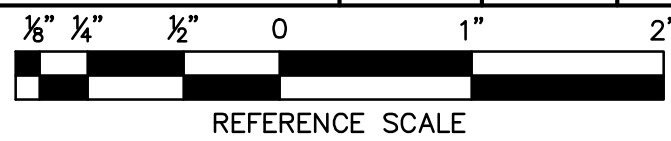
**PROPOSED USE**

CONTRACTOR'S STORAGE, OFFICES AND BUILDINGS AND OUTDOOR STORAGE OF EQUIPMENT WITH ACCESSORY CARETAKER'S OR WATCHMAN'S DWELLING PER SECTION 98-9(j)

**REFERENCE**

SURVEY BY EDWARD T. GANNON, P.L.S.  
ENTITLED "SURVEY OF PROPERTY  
PREPARED FOR 191 LEHIGH AVENUE"  
DATED FEBRUARY 27, 2017.

4	09/13/18	REVISED PER TOWN COMMENTS			
3	09/06/18	REVISED PER TOWN COMMENTS			
2	07/31/18	REVISED PER TOWN COMMENTS			
1	06/14/18	REVISED PER TOWN COMMENTS	1	10/03/18	REVISED EXISTING SHED LOCATIONS
REV #	DATE	REMARKS:	REV #	DATE	REMARKS:



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t 845-454-9704 fx 855-320-8735



**PROJECT TITLE:**

**LEHIGH AVENUE SITE PLAN**  
191 LEHIGH AVENUE  
CHESTER, NY

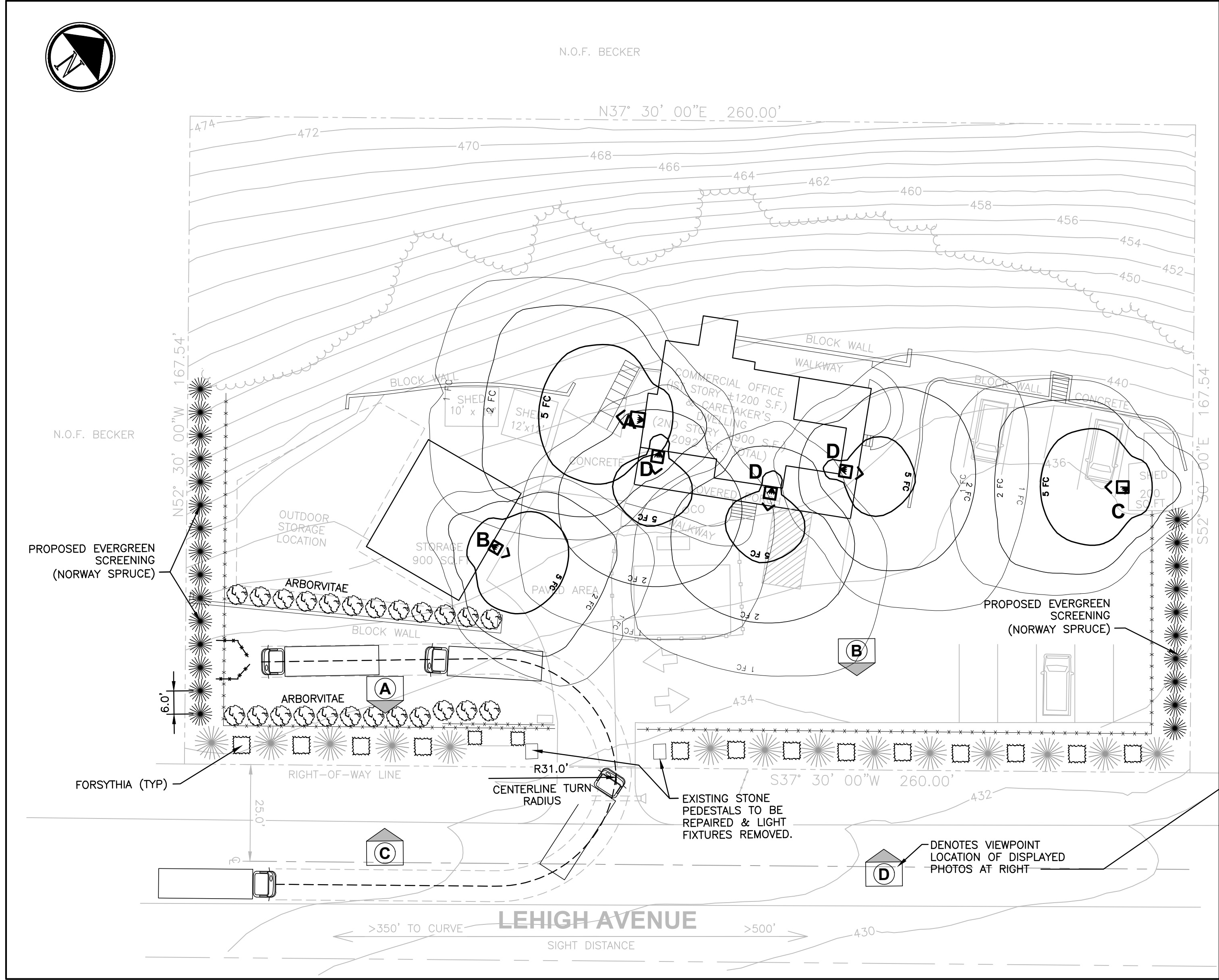
**DRAWING TITLE:**

**SITE PLAN**

DESIGNED BY: SAR	DRAWN BY: SAR	APPROVED BY PM: ACL	APPROVED BY PIC: MDF	DRAWING #: <b>C-101</b>
DATE: 03/21/2018	SCALE: AS SHOWN	FE PROJECT #: 18-055		PAGE 1 OF 4







1 SITE LIGHTING & LANDSCAPING PLAN  
1" = 20'

LEGEND & SCHEDULE OF SITE LIGHTING FIXTURES			
SYMBOL	MANUFACTURER	MODEL#	DESCRIPTION
A	PHILLIPS-GARDCO	161-46L-600-NW-G2 -4-UNV-IMR3 -F1-WS-BK	LED PERFORMANCE SCONCE WITH ADVANCED LED THERMAL MANAGEMENT TECHNOLOGY, DIE CAST ALUMINUM BODY, BLACK PAINT FINISH, (1)46 LED ARRAY, LUMINAIRE SHALL HAVE TYPE 'IV' DISTRIBUTION WITH 4000° KELVIN COLOR TEMPERATURE AND 70 CRI. LUMINAIRE SHALL BE PROVIDED WITH SURGE PROTECTION, AND UNIVERSAL 120V-277V INPUT, INTEGRAL AREA MOTION SENSOR TO ENABLE 50% LIGHT REDUCTION, 120 VOLTS. BOTTOM OF LUMINAIRE TO BE 14" A.F.G.
B	PHILLIPS-GARDCO	161-46L-600-NW-G2 -4-UNV-IMR3 -F1-WS-BK	SAME AS ABOVE EXCEPT 10' A.F.G.
C	PHILLIPS-GARDCO	161-46L-600-NW-G2 -4-UNV-IMR3 -F1-WS-BK	SAME AS ABOVE EXCEPT 12' A.F.G.
D	PHILLIPS-GARDCO	161-46L-600-NW-G2 -4-UNV-IMR3 -F1-WS-BK	SAME AS ABOVE EXCEPT 19' A.F.G.



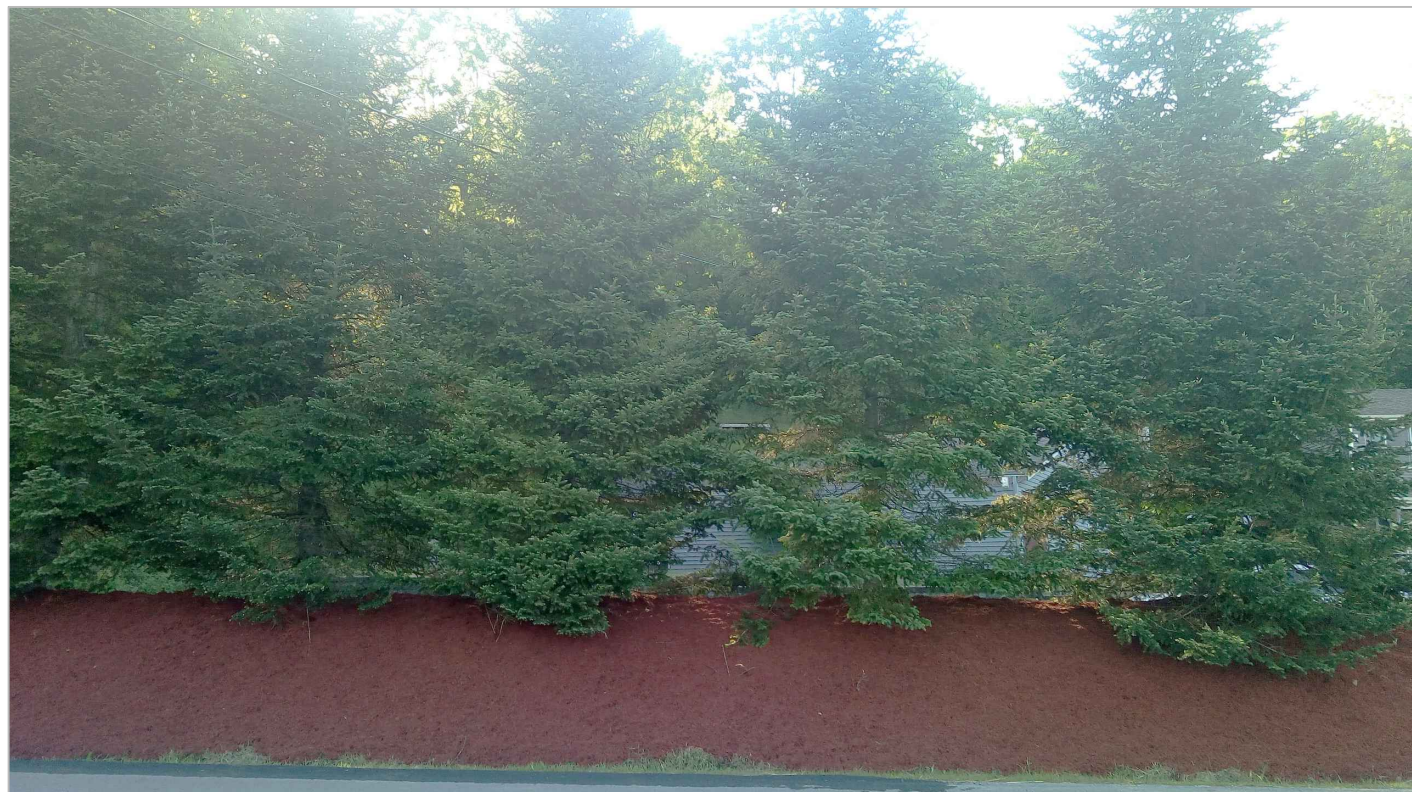
3 LIGHT FIXTURE CATALOG CUT  
N.T.S.



VIEW "A"- LOOKING FROM PROPERTY TOWARDS LEHIGH AVE.



VIEW "B"- LOOKING FROM PROPERTY TOWARDS LEHIGH AVE.

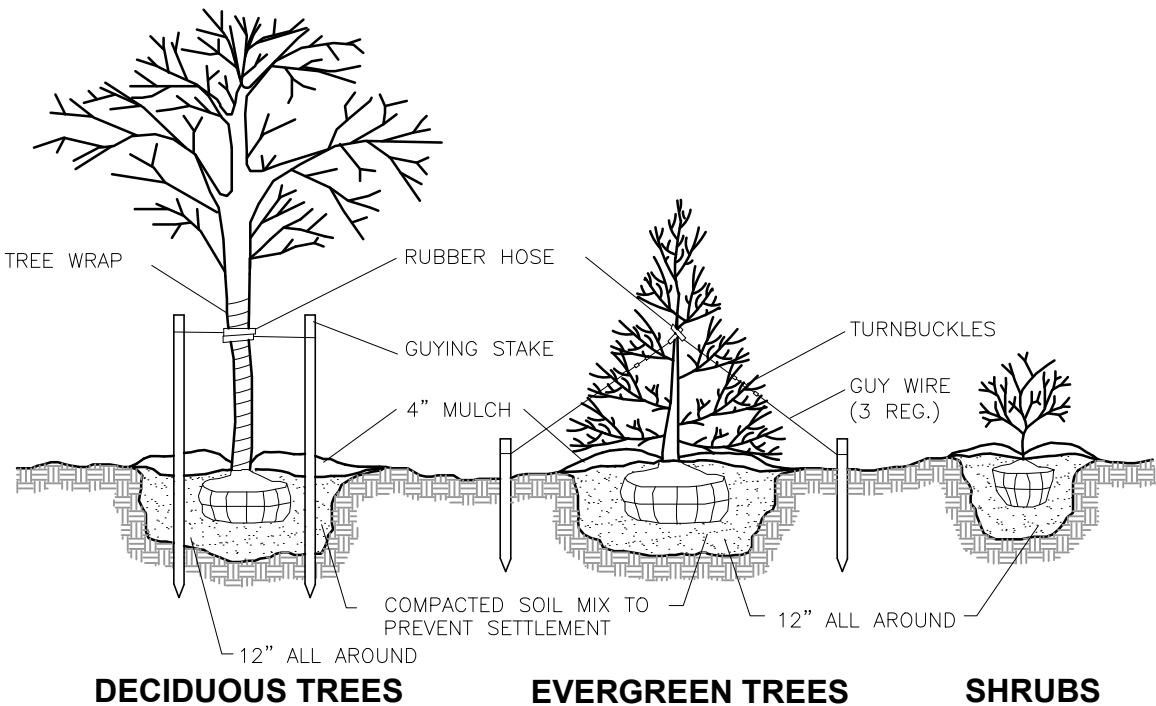


VIEW "C"- LOOKING FROM LEHIGH AVE. TOWARDS PROPERTY



VIEW "D"- LOOKING FROM LEHIGH AVE. TOWARDS PROPERTY

PLANT SCHEDULE						
SYMBOL	TYPE	QTY.	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE	SPACING
	EVERGREEN	25	Picea Abies	Norway Spruce	7' - 8' HEIGHT	6' O.C.
	EVERGREEN	24	Thuja 'Green Giant'	Green Giant Arborvitae	7' - 8' HEIGHT	6' O.C.
	DECIDUOUS SHRUB	15	Forsythia x Intermedia	Spring Glory Forsythia	36-48" HEIGHT	AS SHOWN ON PLAN

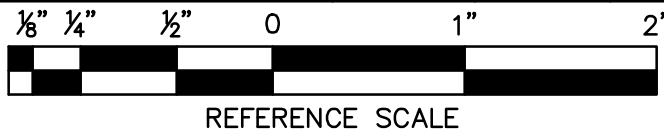


2 PLANTING & GUYING DETAIL  
N.T.S.

GENERAL PLANTING NOTES:

- PLANT MATERIAL SHALL BE GUARANTEED BY LANDSCAPING CONTRACTOR FOR ONE YEAR AFTER FINAL ACCEPTANCE OF PROJECT. ALL PLANTS SHALL BE MAINTAINED IN PERPETUITY BY OWNER. ANY MATERIAL THAT IS 25% DEAD OR MORE SHALL BE CONSIDERED DEAD AND SHALL BE REPLACED IN THE SAME PLANTING SEASON THAT THE LANDSCAPE ARCHITECT HAS DEEMED ACCEPTABLE.
- EXISTING VEGETATION AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE TOPSOILED AND SEEDED UPON COMPLETION OF WORK.
- NEW PLANTING ROOT BALLS REMOVED FROM CANS SHALL BE SCARIFIED PRIOR TO BACKFILLING THE PLANT.
- ALL PLANTINGS SHOWN ON APPROVED SITE DEVELOPMENT PLAN SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF USE AND PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT IMMEDIATELY FOLLOWING GROWING SEASON.
- CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LIMITS OF WORK AND EXISTING CONDITIONS AND VERIFY ALL INFORMATION. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY OWNER.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES AND OBTAIN AS-BUILT INFORMATION. DRAWINGS WERE PREPARED ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME. CONTRACTOR SHALL NOTIFY OWNER IN WRITING OF ANY DISCREPANCIES.
- CONTRACTOR SHALL NOTIFY ALL NECESSARY UTILITY COMPANIES 48 HOURS MINIMUM PRIOR TO DIGGING FOR VERIFICATION OF ALL UNDERGROUND UTILITIES AND OTHER OBSTRUCTIONS AND COORDINATE WITH OWNER IN WRITING PRIOR TO INITIATING OPERATIONS.
- CONTRACTOR SHALL FIELD STAKE THE LOCATIONS OF ALL PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER AND/OR LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO ALL EXISTING UNDERGROUND UTILITIES AND/OR EXISTING ABOVE GROUND ELEMENTS. ALL CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER AND THE LANDSCAPE ARCHITECT.
- ALL TREES PLANTED IN LAWN AREA SHALL RECEIVE A 4' DIAMETER MULCH RING AT A DEPTH OF 4" AS PER THE SPECIFICATIONS.
- PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE. IN THE EVENT OF QUANTITY DISCREPANCIES, THE DRAWING SHALL TAKE PRECEDENCE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANT LIST AND GENERAL NOTES FOR FURTHER AND COMPLETE INSTRUCTIONS.

4	09/13/18	REVISED PER TOWN COMMENTS			
3	09/06/18	REVISED PER TOWN COMMENTS			
2	07/31/18	REVISED PER TOWN COMMENTS			
1	06/14/18	REVISED PER TOWN COMMENTS	10/03/18	REVISED EXISTING SHED LOCATIONS	
REV #	DATE	REMARKS:	REV #	DATE	REMARKS:



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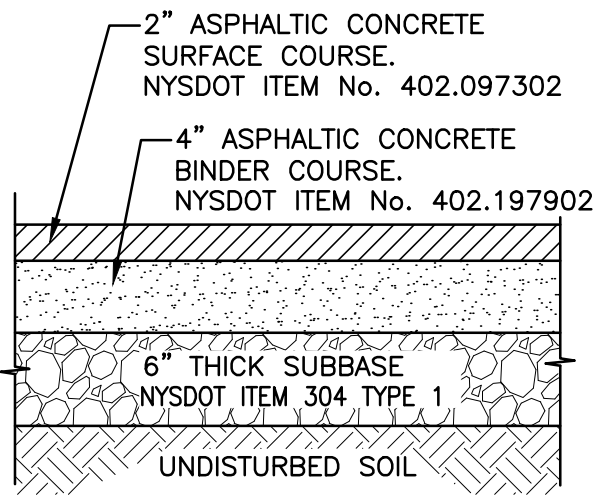
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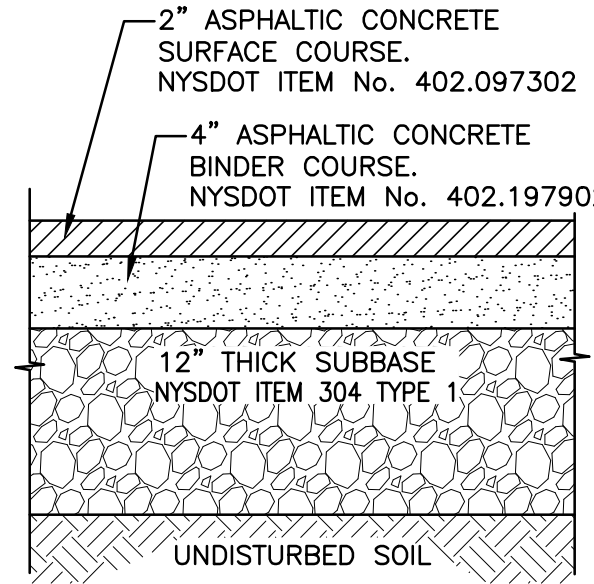
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LEHIGH AVENUE SITE PLAN 191 LEHIGH AVENUE CHESTER, NY						
DRAWING TITLE:						
LIGHTING & LANDSCAPING PLAN						
DESIGNED BY:		DRAWN BY:	APPROVED BY PM:	APPROVED BY PIC:	DRAWING #:	
SAR		SAR	ACL	MDF	C-601  PAGE 2 OF 4	
DATE:	03/21/2018	SCALE:	AS SHOWN	FE PROJECT #:		18-055



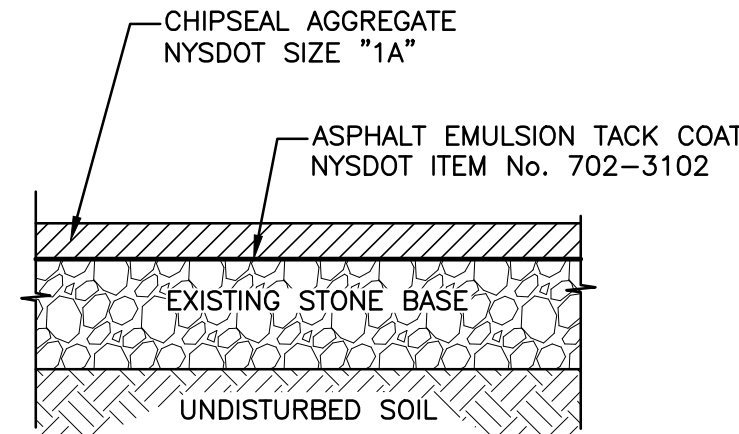




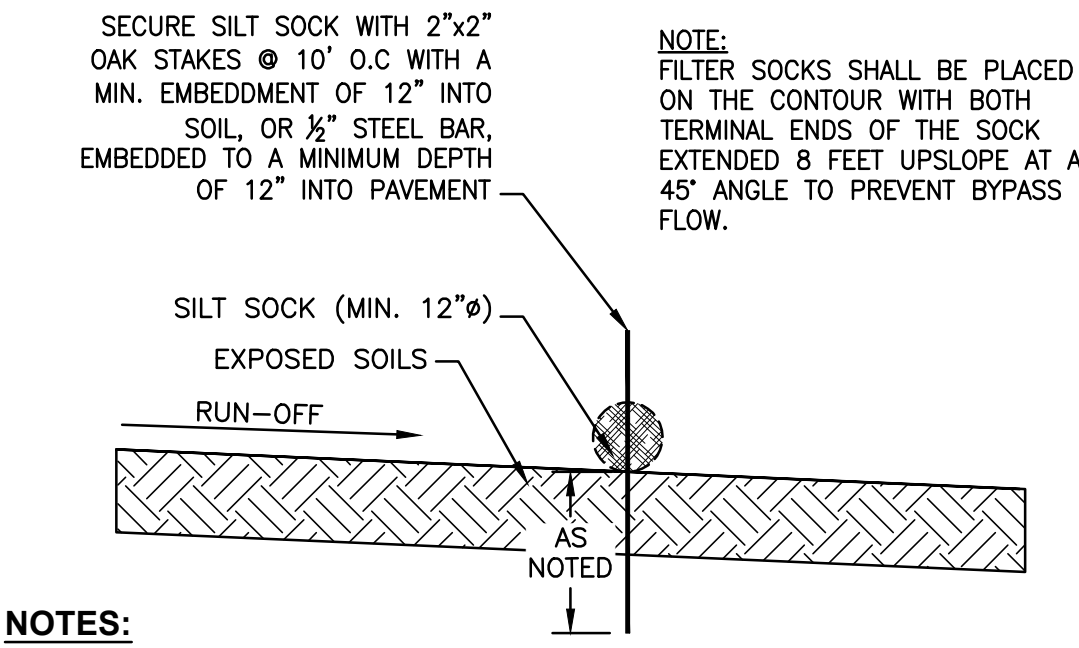
**STANDARD DUTY ASPHALTIC PAVEMENT DETAIL**  
N.T.S.



**DRIVEWAY APRON ASPHALTIC PAVEMENT DETAIL**  
N.T.S.

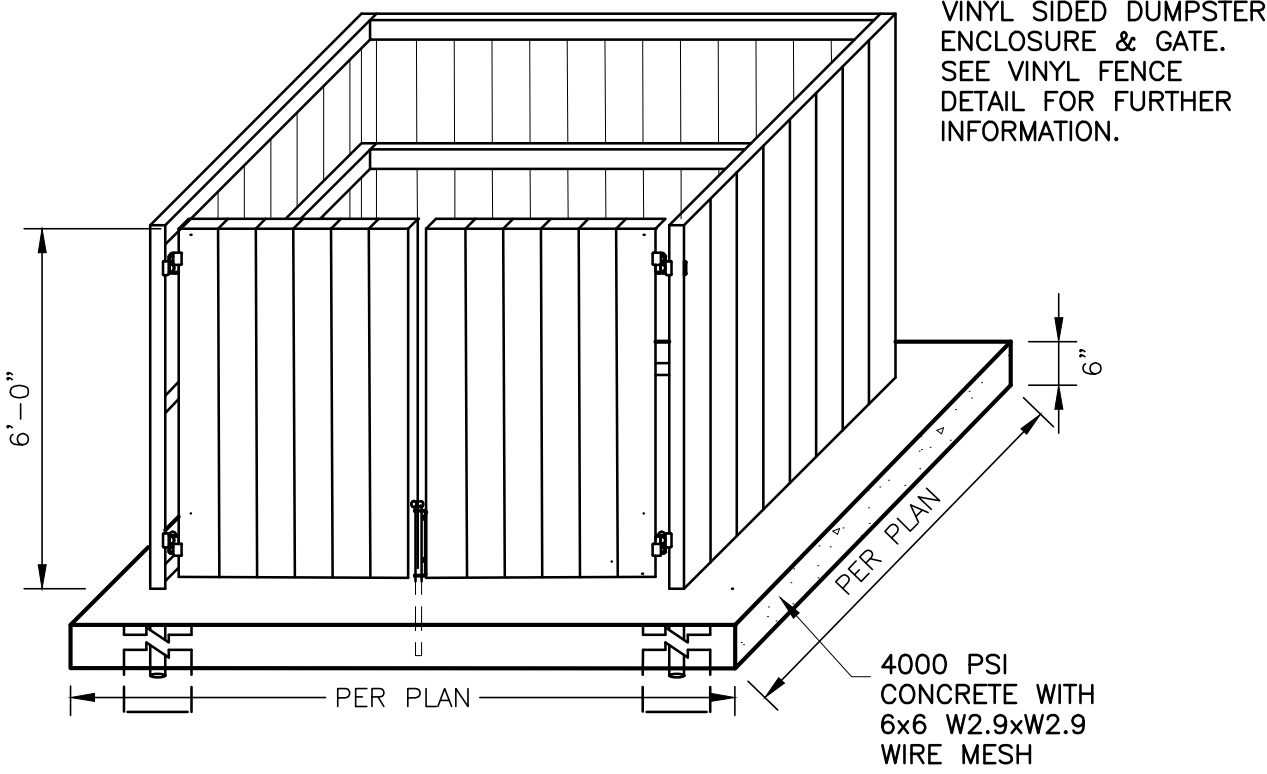


**CHIPSEAL PARKING LOT ASPHALTIC TREATMENT DETAIL**  
N.T.S.

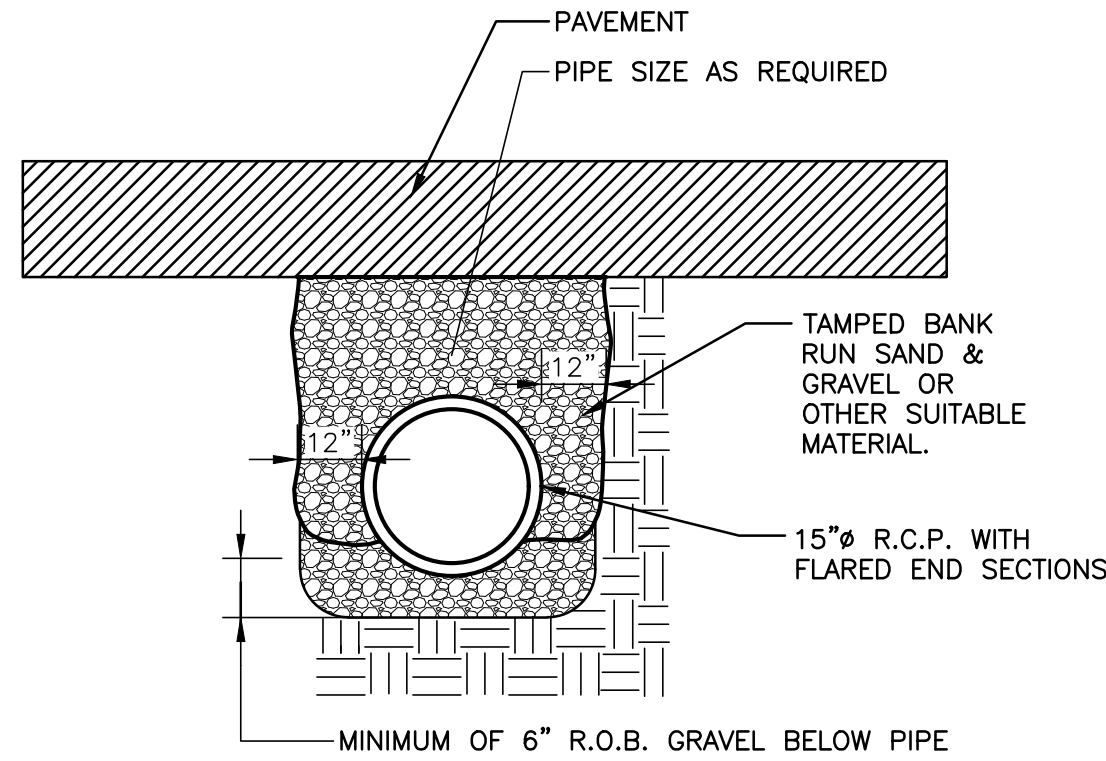


- NOTES:**
- SILT SOCK SHALL BE "SILT SOCK" AS MANUFACTURED BY FILTREXX, INC. OR APPROVED EQUAL.
  - SILT SOCK SHALL FOLLOW ALL REQUIREMENTS OF THE N.Y.S. STANDARDS & SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, JULY 2016, PAGES 5.7 - 5.9 INCLUSIVE.

**2 SILT SOCK DETAIL**  
N.T.S.

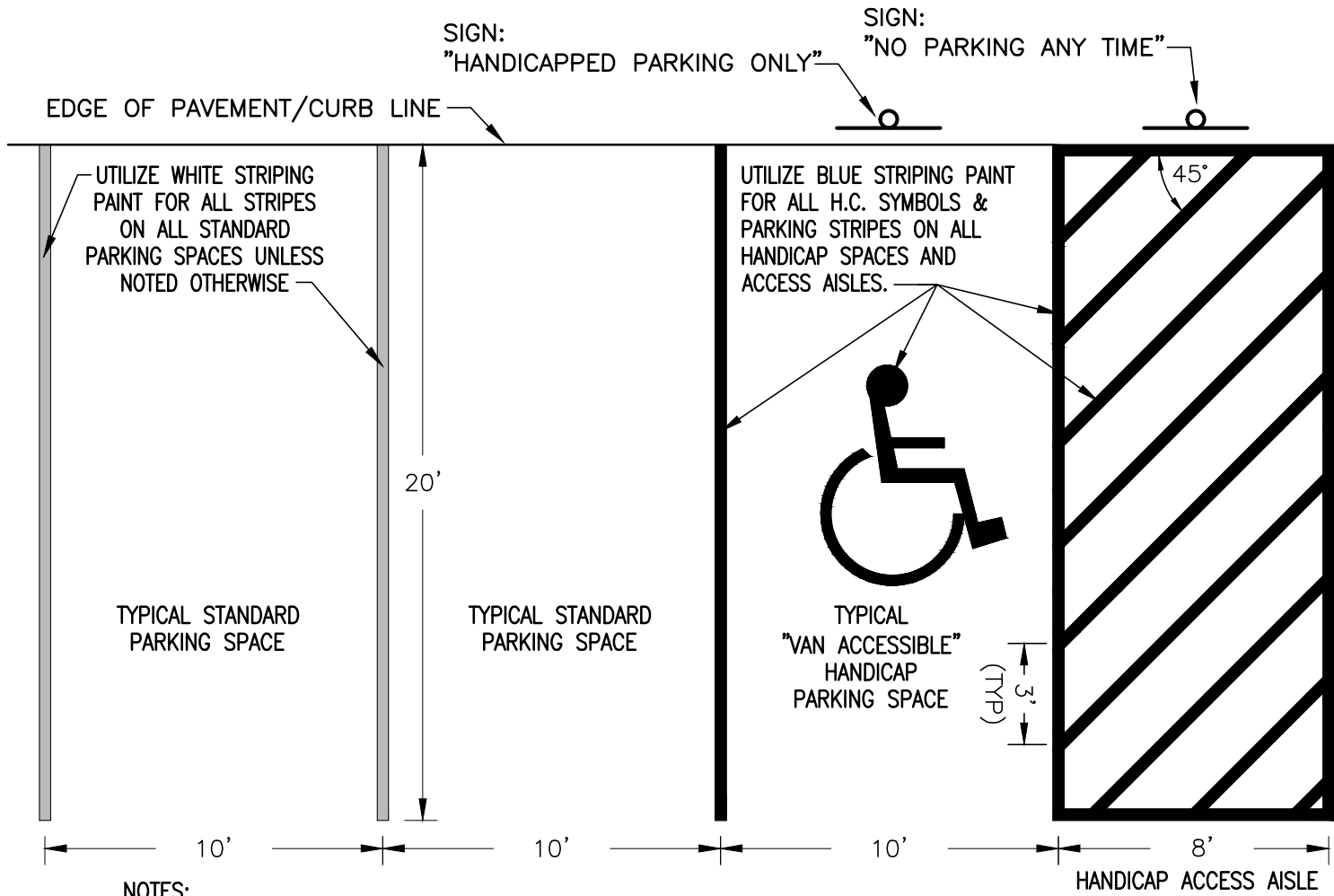


**3 VINYL FENCE & GATE DUMPSTER ENCLOSURE**  
N.T.S.



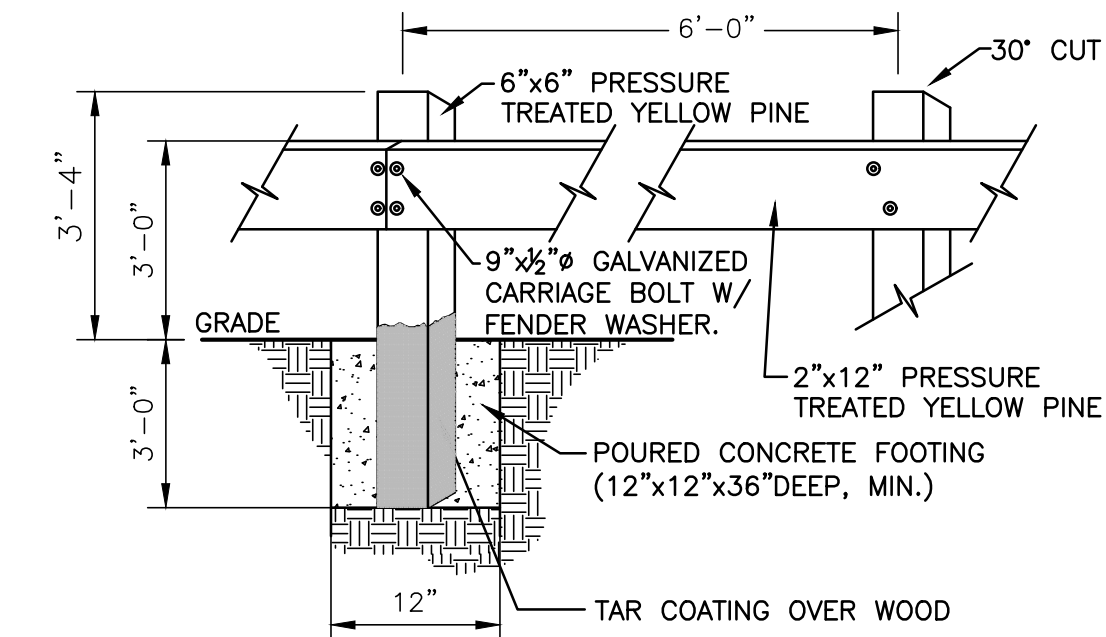
NOTE: PIPE SLOPE SHALL BE 2% MINIMUM ACROSS DRIVEWAY.

**4 CULVERT INSTALLATION DETAIL**  
N.T.S.

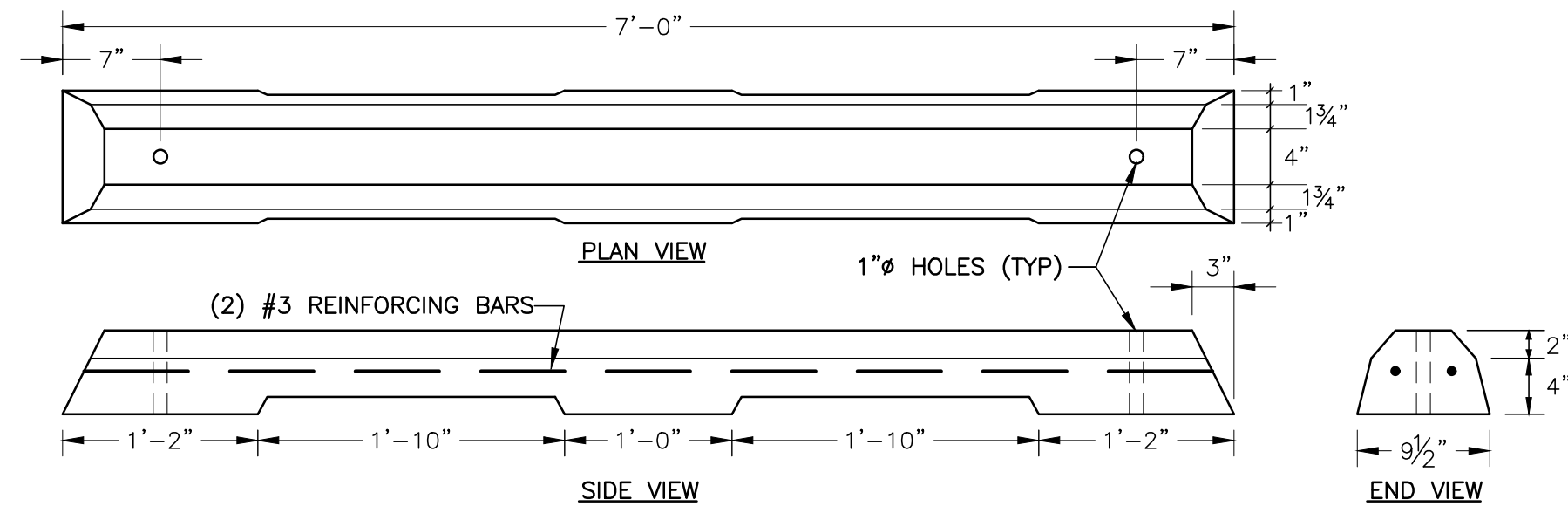


- NOTES:**
- ALL PARKING AREAS TO BE RESTRIPTED AT LEAST ONCE A YEAR.
  - ALL STRIPING TO BE 4" WIDE UNLESS NOTED OTHERWISE.
  - SEE SIGN DETAILS FOR SIGN MOUNTING AND SIGN HEIGHT REQUIREMENTS.
  - AT LEAST 1 (ONE) SPACE OF EVERY 8 (EIGHT) REQUIRED HANDICAP SPACES SHALL BE "VAN ACCESSIBLE", WITH A MINIMUM REQUIREMENT OF 1 (ONE) "VAN ACCESSIBLE" SPACE, IF LESS THAN 8 HANDICAP SPACES ARE REQUIRED.

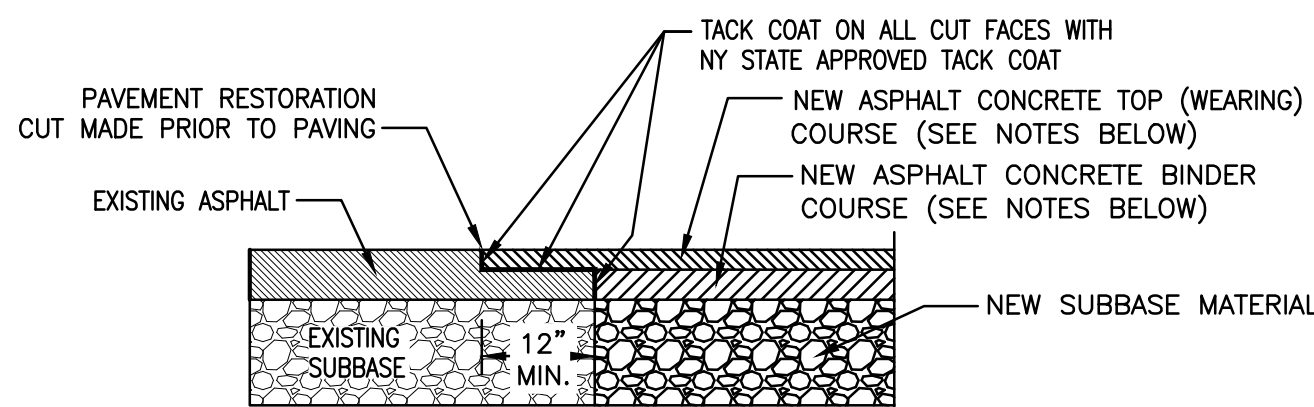
**5 VAN ACCESSIBLE HANDICAP PARKING - STRIPING DETAIL**  
N.T.S.



**6 TIMBER GUIDE RAIL DETAIL**  
N.T.S.

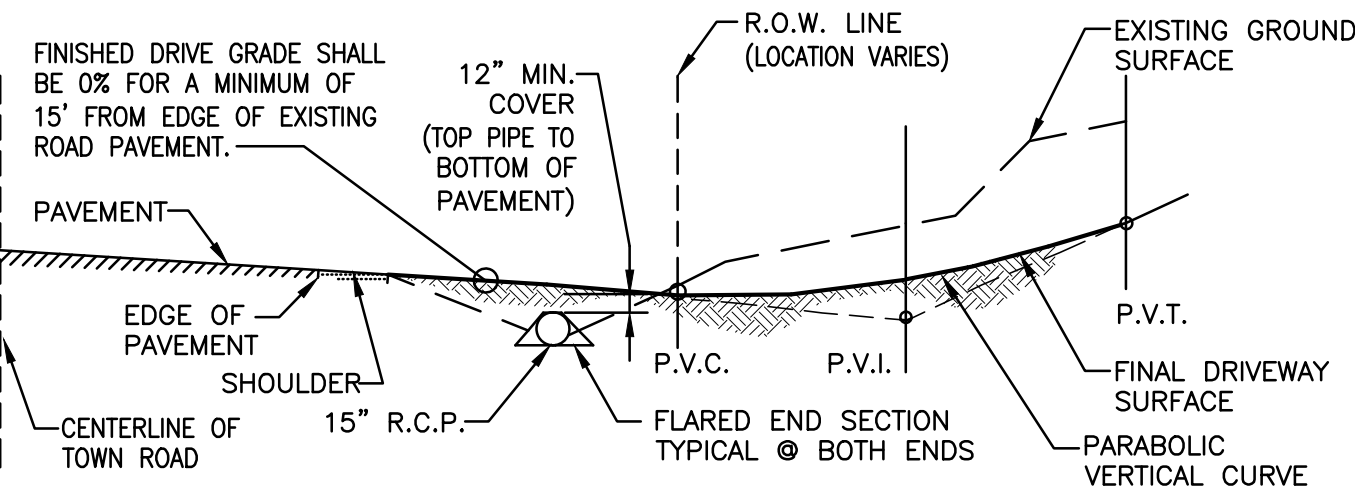


**7 CONCRETE BUMPER BLOCK DETAIL**  
N.T.S.



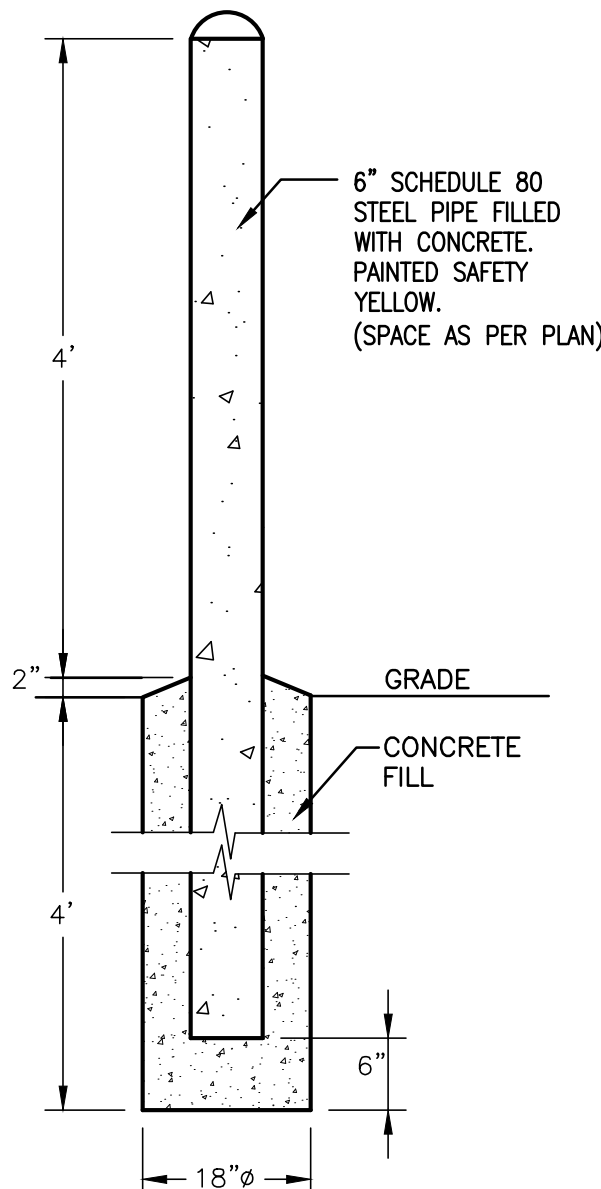
- NOTES:**
- CONSULT PAVEMENT DETAIL SPECIFIC TO TYPE OF PAVEMENT BEING RESTORED FOR THAT AREA FOR REQUIRED MATERIAL SPECIFICATIONS AND DEPTH REQUIRED.
  - IN NO CASE SHALL THE THICKNESS OF NEW PAVEMENT LAYERS BE LESS THE CORRESPONDING LAYERS OF THE EXISTING PAVEMENT.

**8 PAVEMENT RESTORATION DETAIL**  
N.T.S.

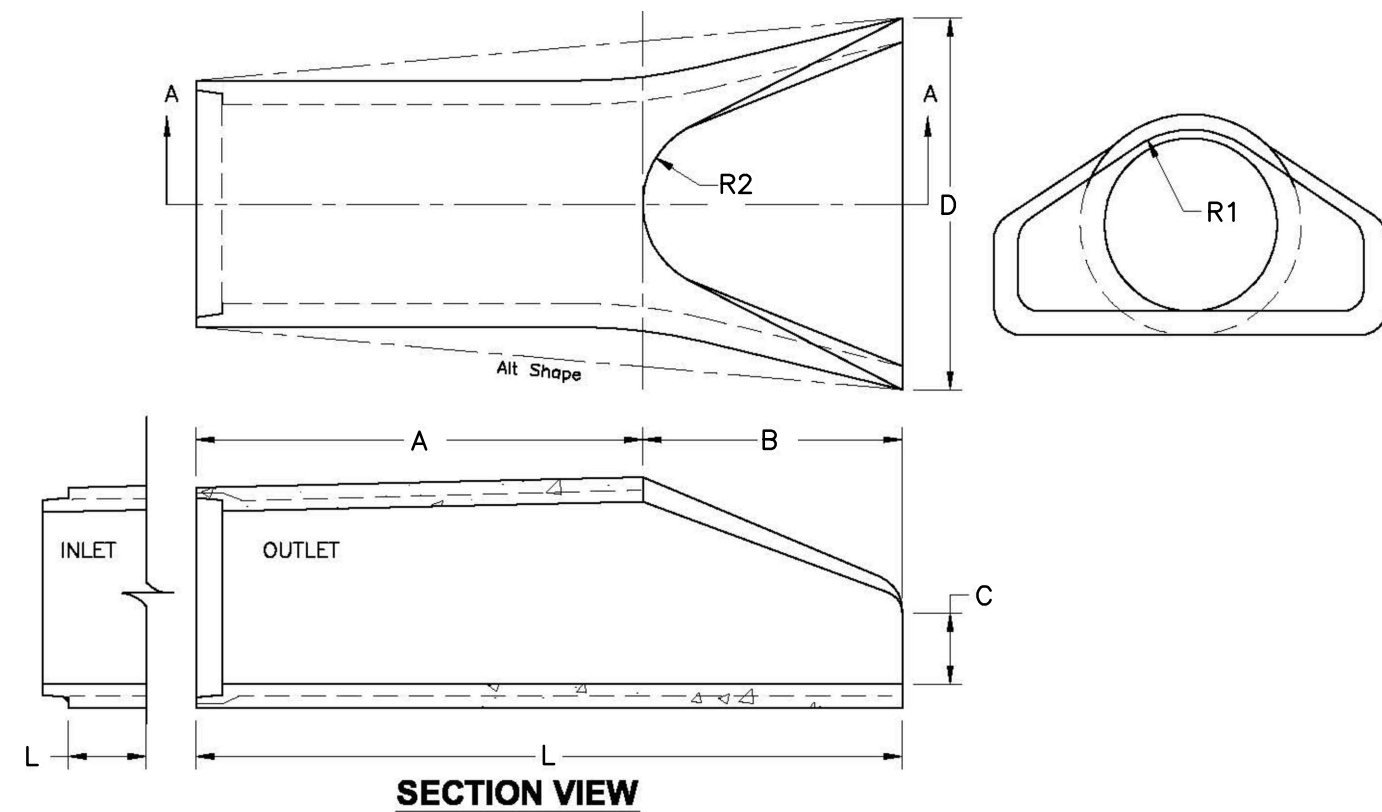


NOTE: DRIVE SHALL BE PAVED FROM EDGE OF EXISTING ROAD PAVEMENT A MINIMUM OF 15' PER TOWN OF CHESTER HIGHWAY DEPARTMENT.

**9 DRIVEWAY ENTRANCE PROFILE**  
N.T.S.



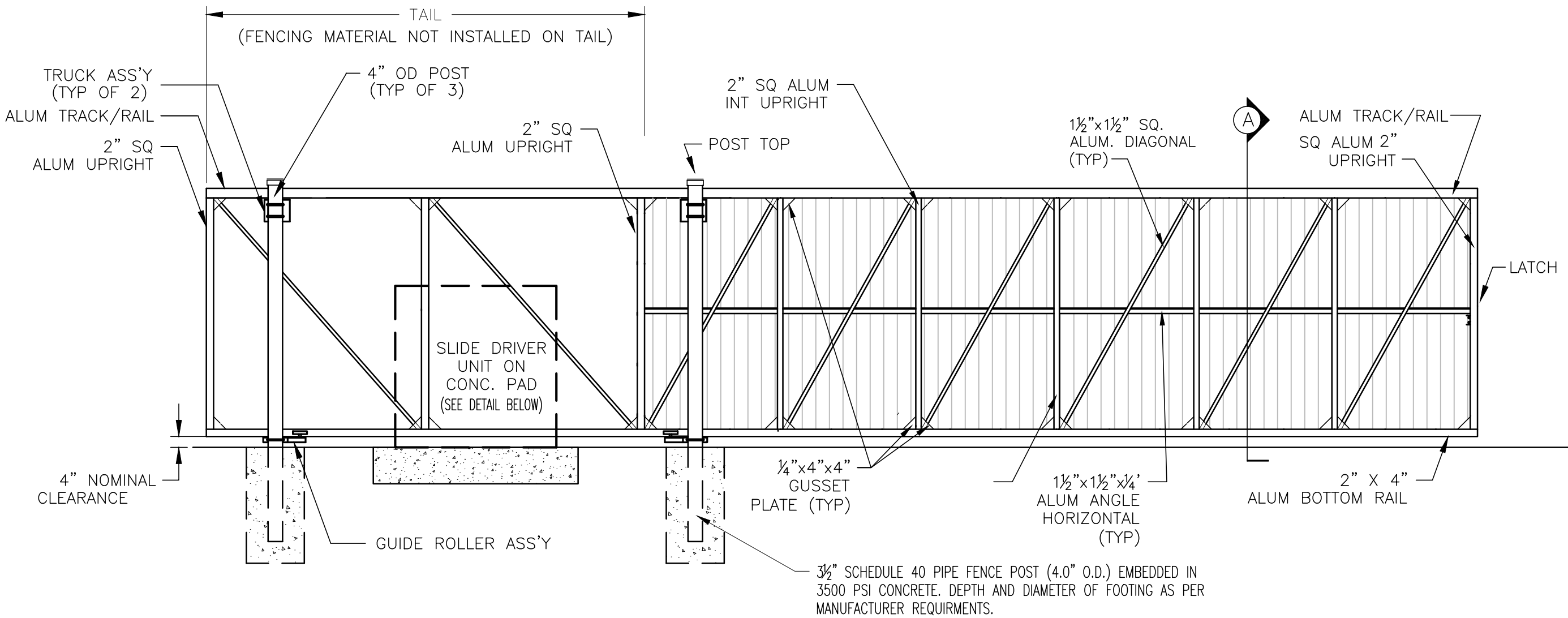
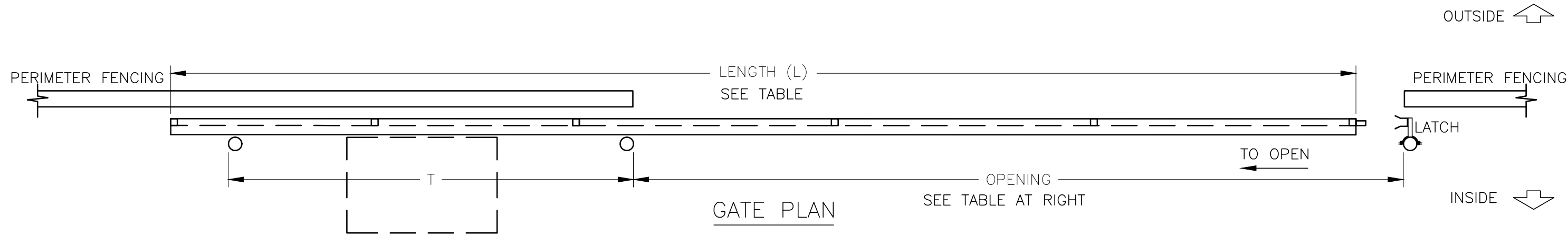
**10 BOLLARD POST DETAIL**  
N.T.S.



DIAMETER	WATER AREA	OVERALL LAYING LENGTH	BARREL LENGTH	FLARE LENGTH						WALL THICKNESS	WEIGHT
inches	sq.ft.	ft-in	ft-in	ft-in	inch	inch	inch	inch	inch	inch	lbs.
15	1.23	6'-1"	3'-10"	2'-3"	6	30	12.1/2	11	2.1/4		740

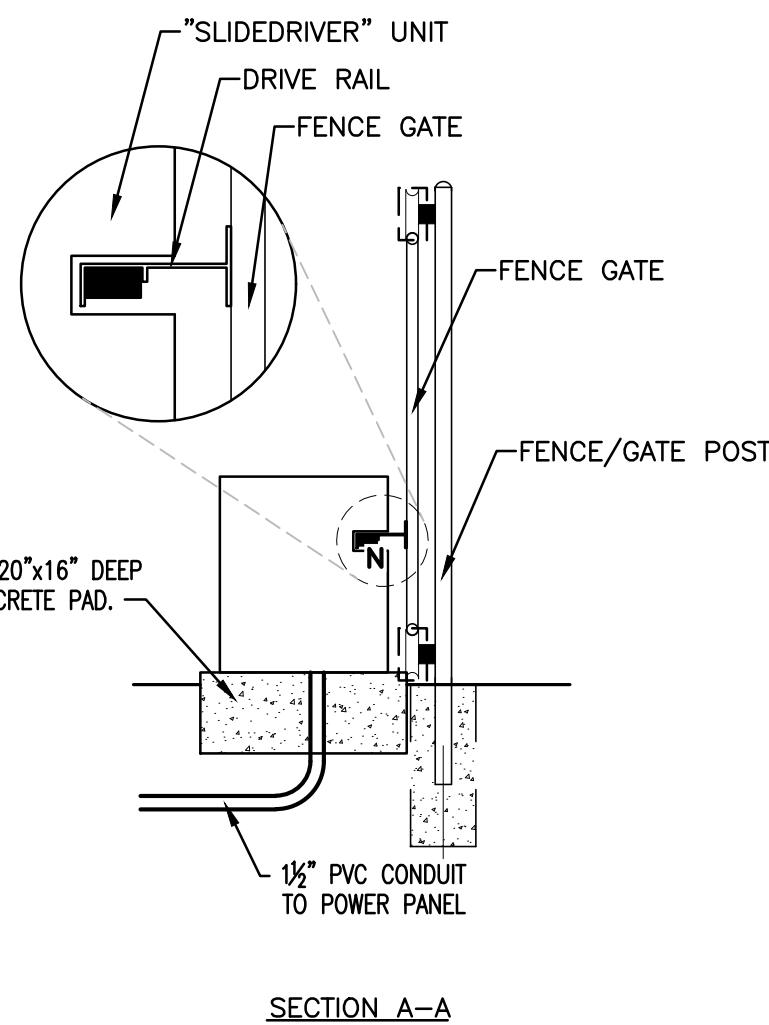
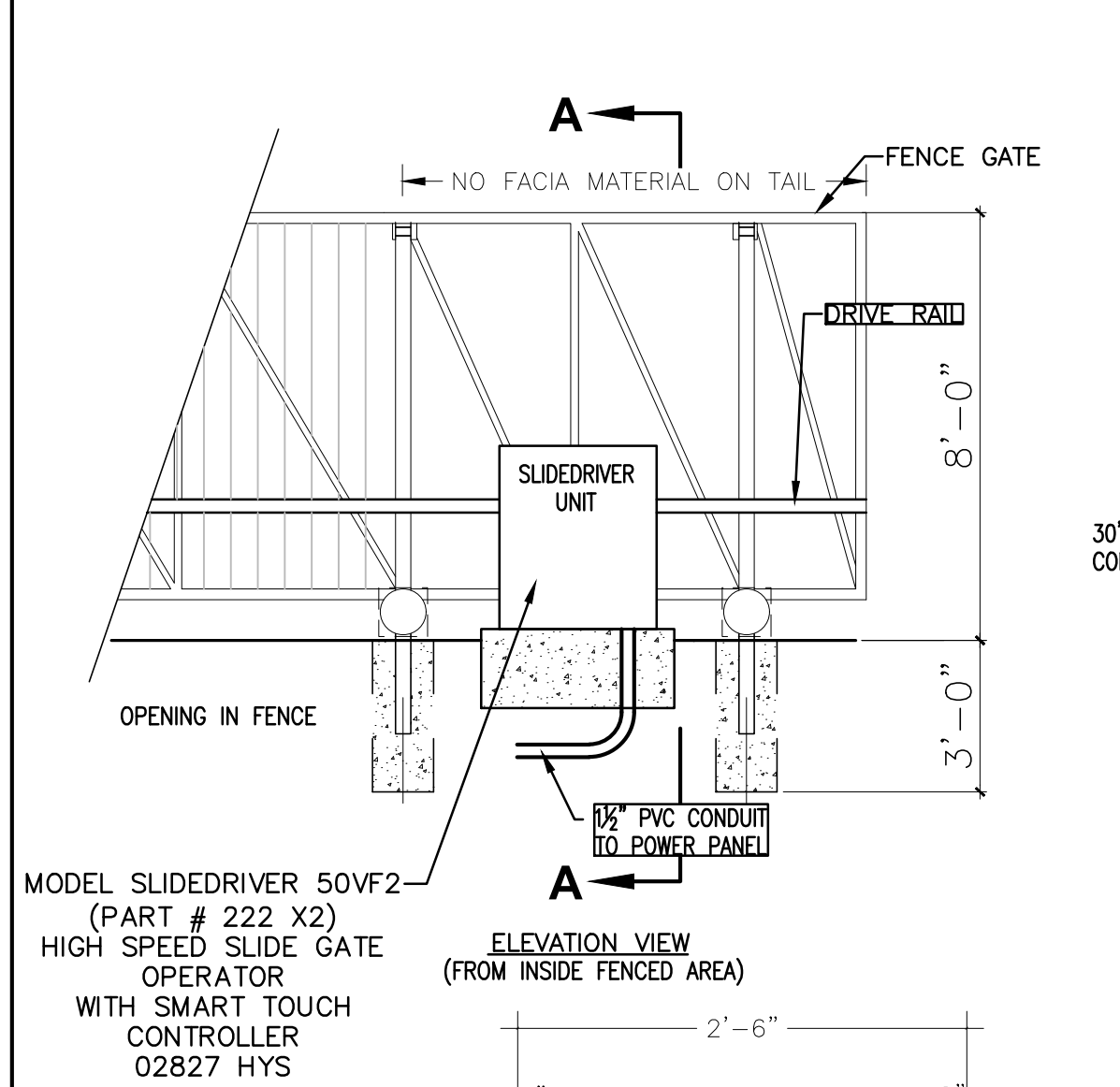
**11 RCP FLARED END SECTION DETAIL**  
N.T.S.

4	09/13/18	REVISED PER TOWN COMMENTS			
3	09/06/18	REVISED PER TOWN COMMENTS			
2	07/31/18	REVISED PER TOWN COMMENTS			
1	06/14/18	REVISED PER TOWN COMMENTS			
REV #	DATE	REMARKS:	REV #	DATE	REMARKS:
<div>1/8" 1/4" 1/2" 0 1" 2"</div> <div>REFERENCE SCALE</div>					
UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.					
<div><div><b>FELLENZER</b> ENGINEERING LLP 22 Mulberry St., Suite 2A, Middletown, NY 10940 t 845-343-1481 fx 845-343-4986</div><div><b>LEHIGH AVENUE SITE PLAN</b> 191 LEHIGH AVENUE CHESTER, NY 181 Church St., Suite 100, Poughkeepsie, NY 12601 t 845-454-9704 fx 855-320-8735</div></div>					
MARK D. FELLENZER, P.E. NEW YORK STATE PROFESSIONAL ENGINEER NO. 064946-1					
PROJECT TITLE: <b>LEHIGH AVENUE SITE PLAN</b>					
DRAWING TITLE: <b>DETAILS</b>					
DESIGNED BY: SAR		DRAWN BY: SAR		APPROVED BY P.M. ACL	
DATE: 03/21/2018		SCALE: AS SHOWN		FE PROJECT #: 18-055	
				<b>C-901</b> PAGE 3 OF 4	



**GATE ELEVATION**  
VIEW FROM INSIDE

NOTES:  
1. GATE TO BE MOTOR DRIVEN.



**NOTES:**

1. MINIMUM CONCRETE SLAB DIMENSIONS ARE 30" WIDE, 20" FRONT TO BACK, AND A DEPTH OF 16". CHECK LOCAL FROST CONDITIONS AND SOIL CHARACTERISTICS FOR EXACT REQUIREMENTS.
2. FOUR (4) 1/2"x8" ANCHOR BOLTS WITH HEAVY WASHERS REQUIRED TO MOUNT SLIDEDRIVER UNIT TO CONCRETE SLAB. TEMPLATE SHOWN IS FOR BOTH LEFT AND RIGHT HAND AND RIGHT HAND OPENING OPERATORS.
3. THESE DIMENSIONS ARE FOR REFERENCE ONLY, ACTUAL DIMENSIONS MAY VARY DEPENDING ON PAD SIZE.
4. UNDER NO CIRCUMSTANCES SHALL THE BASE OF THE UNIT BE CUT, DOING SO SHALL VOID ANY AND ALL WARRANTIES.
5. RECOMMENDED GATE POST SPACING OF 50% OF GATE OPENING SHOULD PROVIDE EFFICIENT AND SMOOTH OPERATION.
6. GUIDE RAIL MUST BE INSTALLED STRAIGHT AND TRUE. SHIMMING MAY BE REQUIRED ON SLIGHTLY BOWED GATES.

**CONCRETE PAD DETAIL**

NOTE:  
DIMENSIONS & HOLE PATTERN SHOWN ARE APPROXIMATE.  
CONTRACTOR SHALL FOLLOW ALL MANUFACTURER'S CURRENT REQUIREMENTS FOR MODEL INDICATED AT TIME OF CONSTRUCTION.

**2 SLIDEDRIVER GATE MECHANISM DETAILS**  
N.T.S.

OPENING	LENGTH (L)	TAIL POSTS (T)
1/5 POST FACE TO 1/5 POST FACE	O/S DIM OF GATE LEAF	O/S POST FACE TO O/S POST FACE
21'-0"	32'	10'-0"

NOTES:  
1. GATE LOCATED ON INSIDE PERIMETER OF FENCING.

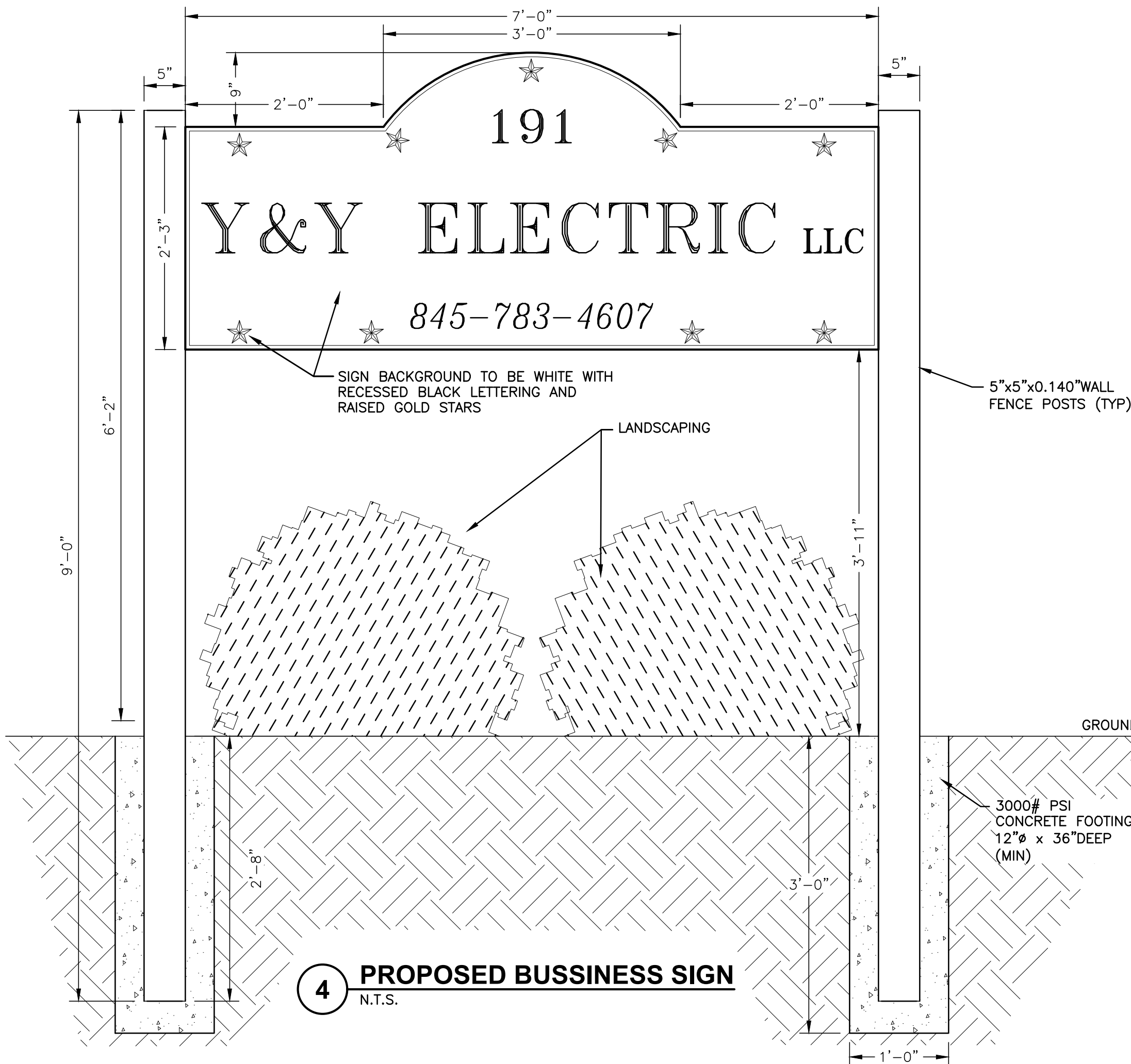
ONE PIECE EXTRUDED ALUMINUM TOP TRACK/FRAME MEMBER 4.6 LBS/FT.

1 1/2"x1 1/2" ALUM. ANGLE HORIZONTAL BRACE  
1 1/2"x1 1/2" SQ. ALUM. DIAGONAL  
2" SQ ALUM UPRIGHT .125" WALL - 1.126 LBS/FT  
1/4"x4"x4" ALUM PLATE GUSSET  
1/4"x1 1/2" ALUM. PLATE NAILER

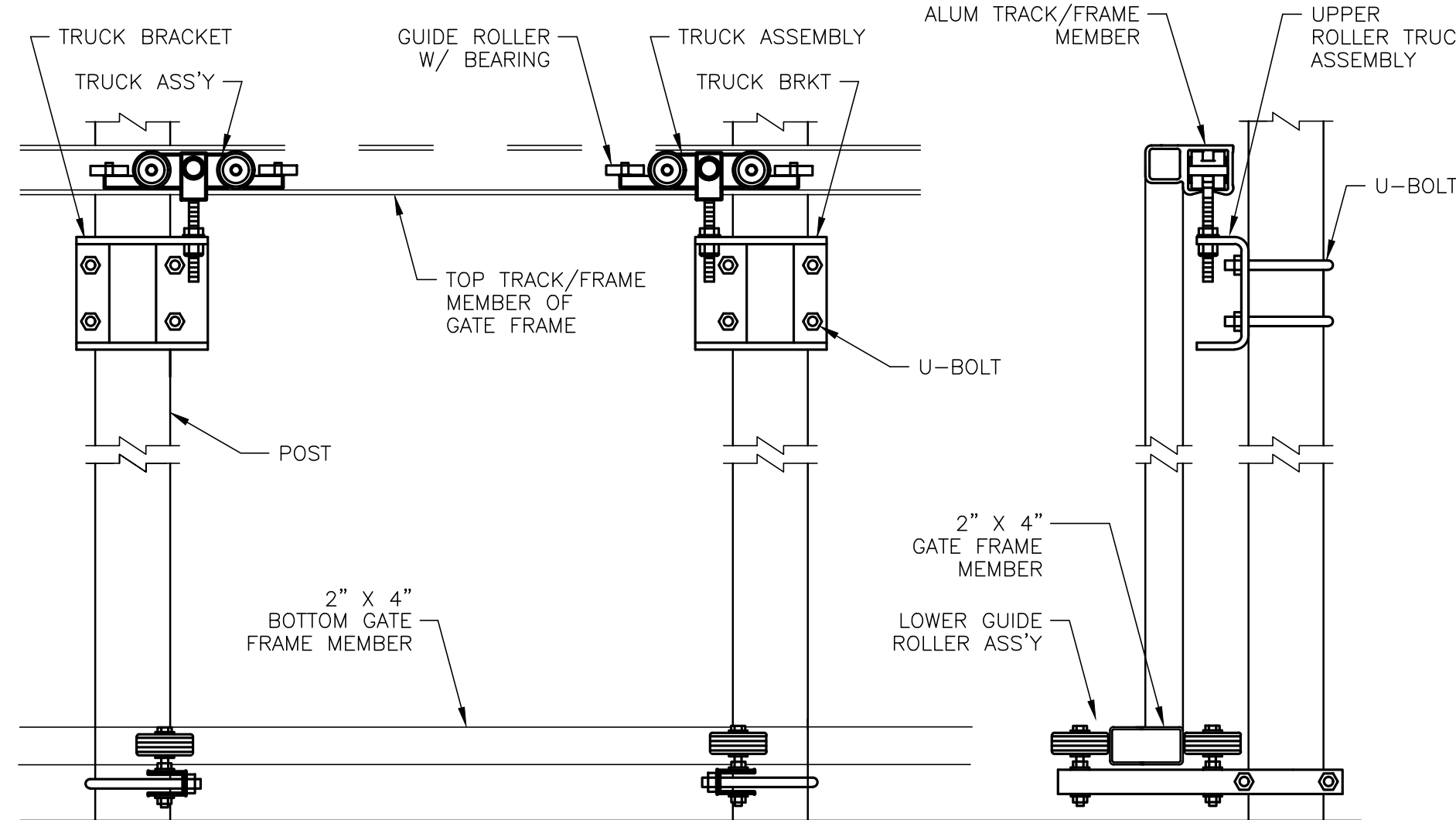
2"x4" ALUM RAIL .125" WALL - 1.724 LBS/FT

**SECTION VIEW A**

**1 20' WIDE SLIDING GATE FOR 6' HIGH VINYL FENCE DETAIL**  
N.T.S.



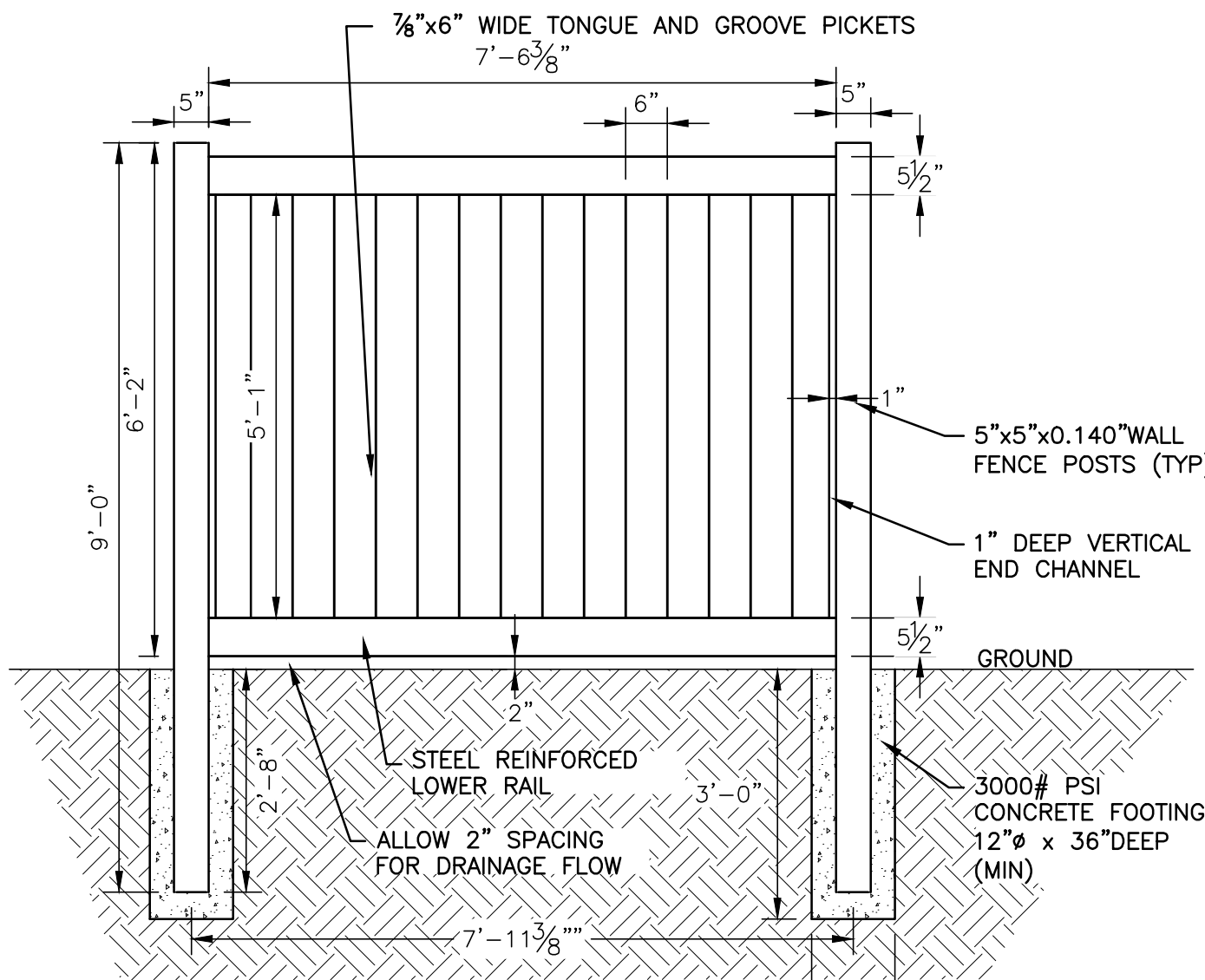
**4 PROPOSED BUSSINESS SIGN**  
N.T.S.



**ELEVATION SECTION**

NOTE: TRUCK BRACKET AND BOTTOM GUIDE ROLLER ASS'Y CAN ALSO BE BOLTED TO A SOLID GROUTED CMU WALL.

**ROLLER BRACKET DETAIL**



FENCING SHALL BE 'V300-6' VINYL WOOD BOND FENCING AS MANUFACTURED BY ILLUSIONS VINYL FENCING INC. COLOR SHALL BE WALNUT OR AN APPROVED SIMILAR WOOD GRAIN.

**4 VINYL PRIVACY FENCE**  
N.T.S.

4	09/13/18	REVISED PER TOWN COMMENTS			
3	09/06/18	REVISED PER TOWN COMMENTS			
2	07/31/18	REVISED PER TOWN COMMENTS			
1	06/14/18	REVISED PER TOWN COMMENTS	10/03/18	REVISED EXISTING SHED LOCATIONS	
REV #	DATE	REMARKS:	REV #	DATE	REMARKS:
<div>1" = 10'-0"</div> <div>REFERENCE SCALE</div>					
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DRAWING TITLE: <b>DETAILS</b>					
DESIGNED BY: SAR	DRAWN BY: SAR	APPROVED BY PM: ACL	APPROVED BY PIC: MDF	DRAWING #: <b>C-902</b>	
DATE: 03/21/2018	SCALE: AS SHOWN	FE PROJECT #: 18-055	PAGE 4 OF 4		