



1. ANY DISTURBED AREAS THAT ARE LEFT EXPOSED FOR MORE THAN FOURTEEN (14) DAYS, AND ARE NOT SUBJECT TO CONSTRUCTION TRAFFIC MUST IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR AN EQUIVALENT MATERIAL. THE SEEDING WILL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS.
2. ANY GRADED AREAS NOT SUBJECT TO FURTHER DISTURBANCE OR CONSTRUCTION TRAFFIC SHALL RECEIVE PERMANENT VEGETATIVE COVER IN COMBINATION WITH SUITABLE MULCH WITHIN TEN (10) DAYS AS PER THE SPECIFICATION.
3. PAVED ROADWAYS SHALL BE KEPT CLEAN AT ALL TIMES.
4. STORMWATER FROM DISTURBED AREAS MUST BE PASSED THROUGH A PROTECTIVE (SILT SOX) BARRIER OR OTHER CONTROL DEVICE BEFORE BEING DISCHARGED BEYOND DISTURBED AREAS, IN TO INLETS, OR IN TO OTHER DRAINAGE SYSTEMS.
5. THE CONTRACTOR SHALL INSPECT THE EFFECTIVENESS AND CONDITION OF EROSION CONTROL DEVICES DURING STORM EVENTS, AFTER EACH RAINFALL OF ONE-HALF INCH ($\frac{1}{2}$ ") MAGNITUDE OR GREATER, PRIOR TO WEEKENDS, AND PRIOR TO FORECASTED STORM EVENTS.
6. THE CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED EROSION CONTROL DEVICES IMMEDIATELY AND IN NO CASE, MORE THAN TWENTY-FOUR (24) HOURS AFTER OBSERVING SUCH DEFICIENCIES.
7. THE CONTRACTOR SHALL BE PREPARED TO IMPLEMENT INTERIM DRAINAGE CONTROL AND EROSION CONTROL MEASURES AS MAY BE NECESSARY DURING THE COURSE OF CONSTRUCTION.
8. THE CONTRACTOR SHALL MAKE AVAILABLE ONSITE ALL EQUIPMENT, MATERIALS AND LABOR NECESSARY TO EFFECT EMERGENCY EROSION CONTROL AND DRAINAGE IMPROVEMENTS WITHIN FOUR (4) HOURS OF ANY IMPENDING EMERGENCY SITUATION.
9. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH NEW YORK STANDARDS & SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (NYSDEC, AUG. 2005)
10. THE TOWN OF CHESTER OR DESIGN ENGINEER MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE THE POTENTIAL FOR ONSITE OR OFFSITE EROSION PROBLEMS THAT MAY OCCUR DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THESE MEASURES.

OFFICE REQUIRES "ONE (1) PER TWO-HUNDRED (200) SQUARE FEET OF FLOOR AREA AND THEN ONE (1) PER THREE-HUNDRED (300) SQUARE FEET OF ANY ADDITIONAL FLOOR AREA."

TOTAL FLOOR AREA = 2092 SQ.FT. PER SPACE = 10.45 SPACES = 11 SPACES.

TOTAL SPACES PROVIDED: 12 SPACES

PARKING:

THERE ARE NO CUSTOMERS THAT COME TO THIS BUSINESS. ALL PARKING IS FOR EMPLOYEES AND BUSINESS VEHICLES.

VEHICLE PARKING SHALL BE LIMITED TO CARS, SMALL TRUCKS, AND CARGO VANS ONLY.

NO UNREGISTERED, WRECKED, OR PARTIALLY DISMANTLED MOTOR VEHICLE OF ANY TYPE OR DESIGN SHALL BE PERMITTED TO BE PARKED OR LEFT STANDING IN ANY YARD OF ANY DISTRICT.

SIGN NOTES:

AS PER SECTION 98-21(c).

1(a) "FOR EACH ESTABLISHMENT, ONE IDENTITY SIGN FOR EACH STREET FRONTAGE, EACH WITH A MAXIMUM AREA OF ONE SQUARE FOOT FOR EACH LINEAR FOOT OF A BUILDING FACADE WHICH FRONTS ON A STREET.

= 52 SQ.FT. MAXIMUM

LIMITS:

2(a) SIGNS MAY BE FLAT WALL SIGNS LOCATED ANYWHERE ON THE SURFACE OF THE BUILDING, BUT IN NO CASE SHALL THEY PROJECT ABOVE THE ROOF LINE, OR GROUND-MOUNTED SIGNS NOT TO EXCEED FIVE (5) FEET IN HEIGHT AND SET BACK AT LEAST TEN (10) FEET FROM A STREET LINE.

(b) NO PRODUCTS OR PRODUCT CONTAINERS OR SIGNS SHALL BE CLOSER TO A STREET LINE THAN 20 FEET.

1. PRIOR TO SUBMISSION OF THE BID, THIS CONTRACTOR SHALL VISIT THE JOB SITE TO ASCERTAIN THE ACTUAL FIELD CONDITIONS AS THEY RELATE TO THE WORK INDICATED ON THE DRAWINGS AND DESCRIBED HEREIN. DISCREPANCIES, IF ANY, SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO SUBMISSION OF THE BID, AND IF NOT RESOLVED TO SATISFACTION, SHALL BE SUBMITTED AS A WRITTEN QUALIFICATION OF THE BID. SUBMISSION OF A BID SHALL BE EVIDENCE THAT SITE VERIFICATION HAS BEEN PERFORMED AS DESCRIBED ABOVE.

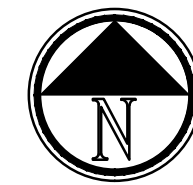
THE EXISTING SEPTIC SYSTEM WAS HYDRAULICALLY TESTED ON SEPTEMBER 16, 2017 FOR THE USE AS CURRENTLY DESIGNED, THERE WAS NO SIGN OF FAILURE OR MALFUNCTION. THE SYSTEM IS FUNCTIONING PROPERLY.

AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE NEW YORK ONE CALL SYSTEM INCORPORATED AT 1-800-962-7962 FOR BURIED UTILITIES LOCATIONS.

MONDAY – FRIDAY: 7:00 AM TO 6:00 PM

SATURDAY: CLOSED

SUNDAY: 7:00 AM TO 6:00 PM



VICINITY MAP
1" = 2000'

474 ————— EXISTING MINOR CONTOUR
470 ————— EXISTING MAJOR CONTOUR
————— EXIST. EDGE OF PAVEMENT
x x x x x x x x x x PROPOSED CHAINLINK FENCE
□ □ □ PROPOSED GUIDE RAIL
○ ○ ○ ○ ○ ○ ○ ○ ○ ○ SILT FENCE
- - - - - PROPOSED OUTDOOR STORAGE
————— PROPOSED PAVEMENT
————— PROPOSED SIGN
▼ EXISTING EXTERIOR LIGHTING
☼ PROPOSED NORWAY SPRUCE



TAX MAP
1" = 1000'

* DENOTES EXISTING NON-CONFORMING

191 LEHIGH AVENUE
CHESTER, NY 10918

SECTION 3, BLOCK 1, LOT 14.1
TOWN OF CHESTER, NY

JOEL SCHREIBER
191 LEHIGH AVENUE
CHESTER, NY 10918

COMMERCIAL/RESIDENTIAL

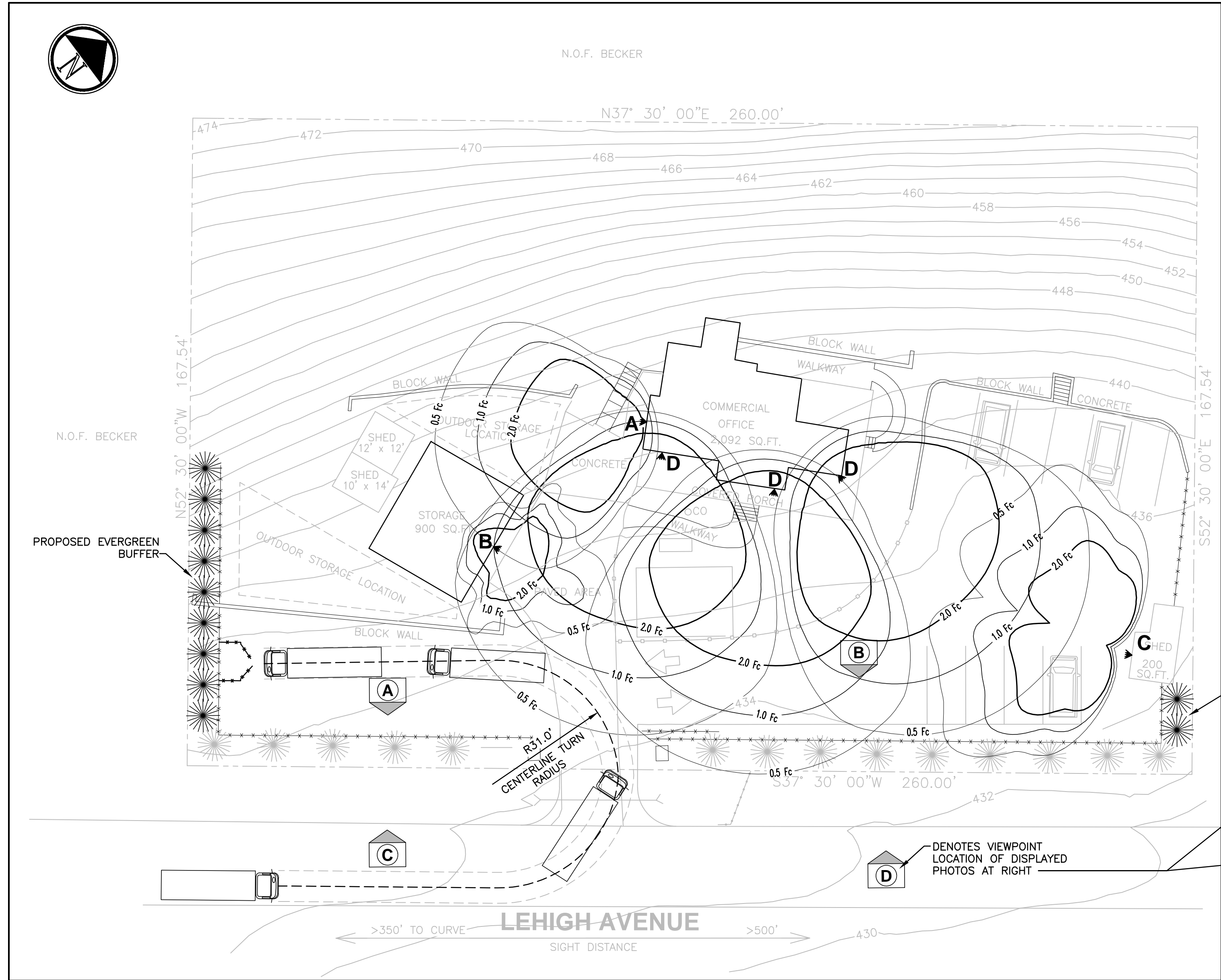
CONTRACTOR'S STORAGE, OFFICES AND
BUILDINGS AND OUTDOOR STORAGE OF
EQUIPMENT WITH ACCESSORY
CARETAKER'S OR WATCHMAN'S DWELLING
PER SECTION 98-9(J)

SURVEY BY EDWARD T. GANNON, P.L.S.
ENTITLED "SURVEY OF PROPERTY
PREPARED FOR 191 LEHIGH AVENUE"
DATED FEBRUARY 27, 2017.

Dig Safely. New York
Call 811
before you dig

STAMP:


PROGRESS PRINT
6 / 14 / 18
NOT FOR CONSTRUCTION

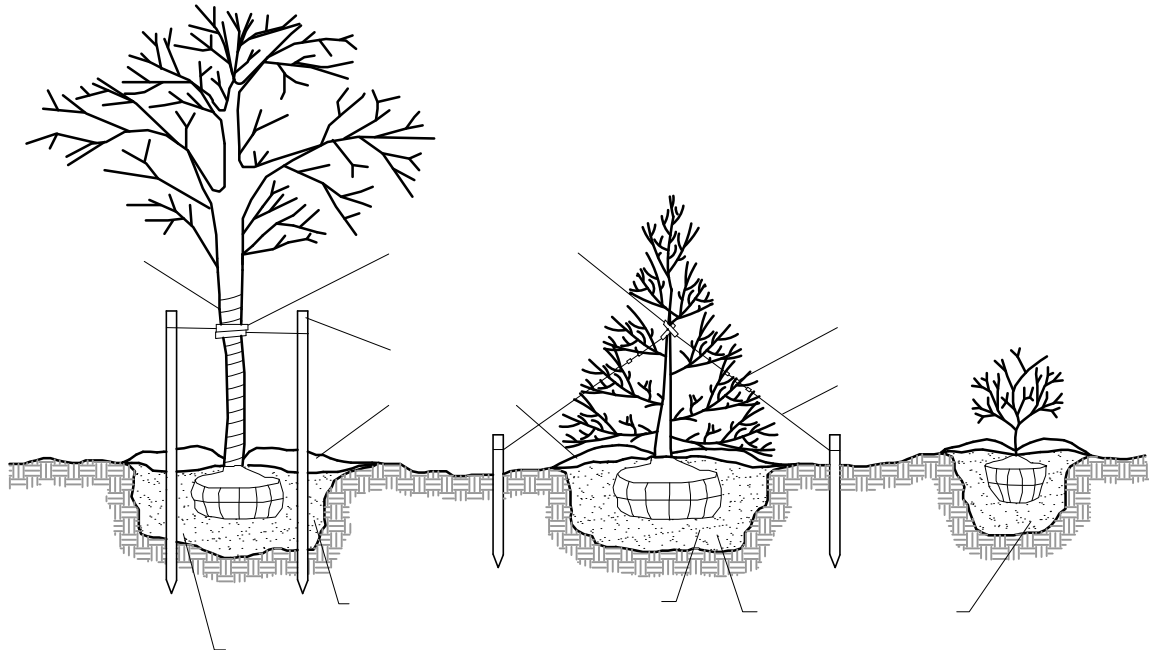





VIEW "A"- LOOKING FROM PROPERTY TOWARDS LEHIGH AVE.

VIEW "B"- LOOKING FROM PROPERTY TOWARDS LEHIGH AVE



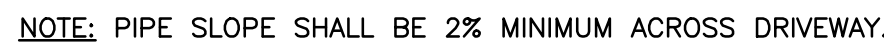
PLANT SCHEDULE						
SYMBOL	TYPE	QTY.	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE	SPACING
	EVERGREEN	11	Picea Abies	Norway Spruce	7' – 8' HEIGHT	8' ON CENTER



	06/14/18	REVISED PER TOWN COMMENTS							
REV #	DATE	REMARKS:			ISSUE #	DATE	ISSUED FOR:		
 <p style="margin: 0;">REFERENCE SCALE</p>									
UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.									
<div style="display: flex; justify-content: space-between; align-items: center;"> <div style="text-align: center;"> <h1 style="margin: 0;">FELLENZER</h1> <h2 style="margin: 0;">ENGINEERING LLP</h2> </div> <div style="text-align: center;">  </div> </div> <div style="display: flex; justify-content: space-between; margin-top: 10px;"> <div> <p>22 Mulberry St., Suite 2A, Middletown, NY 10940 t 845-343-1481 fx 845-343-4986</p> </div> <div> <p>181 Church St., Suite 100, Poughkeepsie, NY 12601 t 845-454-9704 fx 855-320-8735</p> </div> </div>									
STAMP: <div style="border: 1px solid black; padding: 5px; width: 100px; height: 100px; transform: rotate(-45deg); display: flex; align-items: center; justify-content: center; font-size: 24px; font-weight: bold; color: red;"> PROCESS PRINT 6/14/18 NOT FOR CONSTRUCTION </div>		PROJECT TITLE: <div style="text-align: center; padding: 10px;"> <h2 style="margin: 0;">LEHIGH AVENUE SITE PLAN</h2> <p style="margin: 0;">191 LEHIGH AVENUE CHESTER, NY</p> </div>							
DRAWING TITLE: <div style="text-align: center; padding: 10px;"> <h2 style="margin: 0;">LIGHTING & LANDSCAPING PLAN</h2> </div>									
DESIGNED BY: SAR		DRAWN BY: ZWG		APPROVED BY PM: ACL		APPROVED BY PIC: MDF		DRAWING #: <div style="text-align: center; font-size: 24px; font-weight: bold;">C-601</div>	
DATE: 03/21/2018		SCALE: AS SHOWN		FE PROJECT #: 18-055		PAGE 2 OF 3			

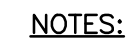


1. SILT SOCK SHALL BE "SILTSOXX" AS MANUFACTURED BY FILTREXX, INC. OR APPROVED EQUAL.
2. SILT SOCK SHALL FOLLOW ALL REQUIREMENTS OF THE N.Y.S. STANDARDS & SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, JULY 2016, PAGES 5.7 - 5.9 INCLUSIVE.



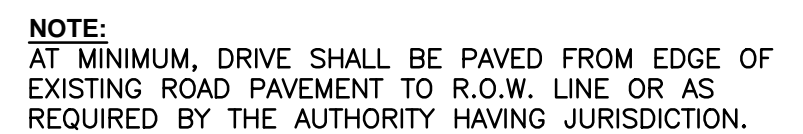
1. ALL PARKING AREAS TO BE RESTRIPTED AT LEAST ONCE A YEAR.
2. ALL STRIPING TO BE 4" WIDE UNLESS NOTED OTHERWISE.
3. SEE SIGN DETAILS FOR SIGN MOUNTING AND SIGN HEIGHT REQUIREMENTS.
4. AT LEAST 1 (ONE) SPACE OF EVERY 8 (EIGHT) REQUIRED HANDICAP SPACES SHALL BE "VAN ACCESSIBLE", WITH A MINIMUM REQUIREMENT OF 1 (ONE) "ACCESSIBLE" SPACE, IF LESS THAN 8 HANDICAP SPACES ARE REQUIRED.

N.T.S.




1. CONSULT PAVEMENT DETAIL SPECIFIC TO TYPE OF PAVEMENT BEING RESTORED FOR THAT AREA FOR REQUIRED MATERIAL SPECIFICATIONS AND DEPTH REQUIRED.
2. IN NO CASE SHALL THE THICKNESS OF NEW PAVEMENT LAYERS BE LESS THE CORRESPONDING LAYERS OF THE EXISTING PAVEMENT.

(7) N.T.S.



N.T.S.

	06/14/18	REVISED PER TOWN COMMENTS			
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1/8" 1/4" 1/2" 0 1" 2"

REFERENCE SCALE

FELLENZER III

STAMP:	PROJECT TITLE:
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<div style="transform: rotate(-45deg); transform-origin: left top; position: absolute; left: -50px; top: 50px; color: red; font-weight: bold; font-size: 1.2em;"> PROGRESS PRIOR 6/14/18 NOT FOR CONSTRUCTION </div>		LEHIGH AVENUE SITE PLAN 191 LEHIGH AVENUE CHESTER, NY			
		DETAILS			
DRAWING TITLE:					
DESIGNED BY:	DRAWN BY:	APPROVED BY P.M.:	APPROVED BY P.I.C.:	DRAWING #:	
SAR	ZWG	ACL	MDF	C-901	
DATE:	SCALE:	AS SHOWN	FE PROJECT #:	Page 3 of 3	
03/21/2018			18-055		



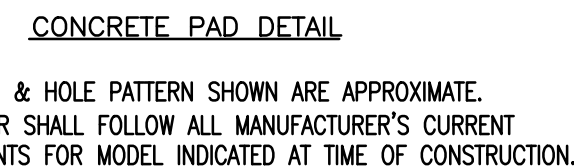
NOTES:

1. METRIC DIMENSIONS ARE NOMINAL EQUIVALENTS TO U.S. DIMENSIONS.
2. FOOTING WIDTH TO BE (4)X POST WIDTH.
3. GATES MAY BE MANUALLY OR ELECTRICALLY OPERATED. HARDWARE WILL VARY FOR ELECTRICALLY OPERATED GATES.

9 N.T.S.



1. WELD ALL PIPE CONNECTIONS.
2. GATE FABRIC TO MATCH FENCE FABRIC. PROVIDE MATCHING POST CAPS WHERE REQUIRED.
3. NOTCH CURBS OR PROVIDE SPEED BUMP/HUMP TO MAINTAIN 4" HEIGHT BETWEEN BOTTOM OF GATE AND PAVING.
4. CHAINLINK FABRIC TO MATCH PERIMETER FENCING



(11) N.T.S.



1. MINIMUM CONCRETE SLAB DIMENSIONS ARE 30" WIDE, 20" FRONT TO BACK, AND A DEPTH OF 16". CHECK LOCAL FROST CONDITIONS AND SOIL CHARACTERISTICS FOR EXACT REQUIREMENTS.
2. FOUR (4) 1/2"x8" ANCHOR BOLTS WITH HEAVY WASHERS REQUIRED TO MOUNT SLIDEDRIVER UNIT TO CONCRETE SLAB.
3. TEMPLATE SHOWN IS FOR BOTH LEFT AND RIGHT HAND AND RIGHT HAND OPERATING OPERATORS.
4. TEMPERATURES ARE FOR REFERENCE ONLY, ACTUAL DIMENSIONS MAY VARY DEPENDING ON PAD SIZE.
5. UNDER NO CIRCUMSTANCES SHALL THE BASE OF THE UNIT BE CUT. DOING SO SHALL VOID ANY AND ALL WARRANTIES.
6. RECOMMENDED GATE POST SPACING OF 50% OF GATE OPERATING SHOULD PROVIDE EFFICIENT AND SMOOTH OPERATION.
7. GUIDE RAIL MUST BE INSTALLED STRAIGHT AND TRUE. SHIMMING MAY BE REQUIRED ON SLIGHTLY BOWED GATES.