

SUGARLOAF METHODIST CHURCH
LIBER 1777 PAGES 131 & 137
LIBER 3555 PAGE 245
LOT No. 2, FILED MAP No. 10316

ZONE : LB-SL LOCAL BUSINESS-SUGAR LOAF REQUIREMENTS - RESIDENTIAL
WITH CENTRAL WATER & SEWER

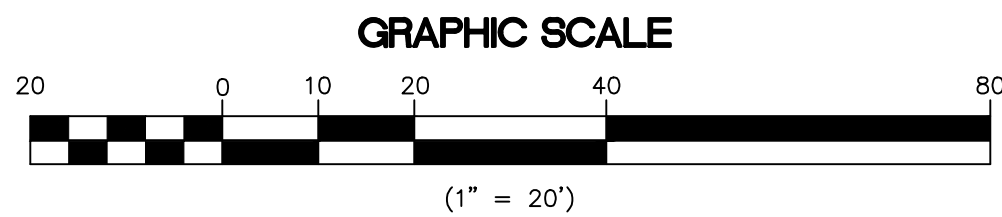
MINIMUM REQUIREMENTS	REQUIRED	LOT 1
MIN. LOT AREA	10,890 SF	17,977 ± SF
MIN. LOT WIDTH	50 FT	133 ± FT
MIN. FRONT YARD	10 FT	40.8 FT
MIN. ONE SIDE YARD	5 FT	16 FT ±
TOTAL SIDE YARD	15 FT	55 FT ±
MIN. REAR YARD	30 FT	63 FT ±
MAX. BUILDING HEIGHT	35 FT	<35 FT
MAX. BLDG. COVERAGE	50%	10% ±

ZONE : LB-SL LOCAL BUSINESS-SUGAR LOAF REQUIREMENTS - COMMERCIAL
WITH CENTRAL WATER & SEWER

MINIMUM REQUIREMENTS	REQUIRED	LOT 2	LOT 3
MIN. LOT AREA	10,890 SF	10,948 ± SF	10,975 ± SF
MIN. LOT WIDTH	50 FT	62 ± FT	62 ± FT
MIN. FRONT YARD	20 FT	56 FT ±	56 FT ±
MIN. ONE SIDE YARD	5 FT	5 FT MIN.	5 FT MIN.
TOTAL SIDE YARD	10 FT	10 FT MIN.	10 FT MIN.
MIN. REAR YARD	30 FT	30 FT MIN.	30 FT MIN.
MAX. BUILDING HEIGHT	35 FT	35 FT	35 FT
MAX. BLDG. COVERAGE	50%	20% MAX.	20% MAX.

PARKING CALCULATIONS

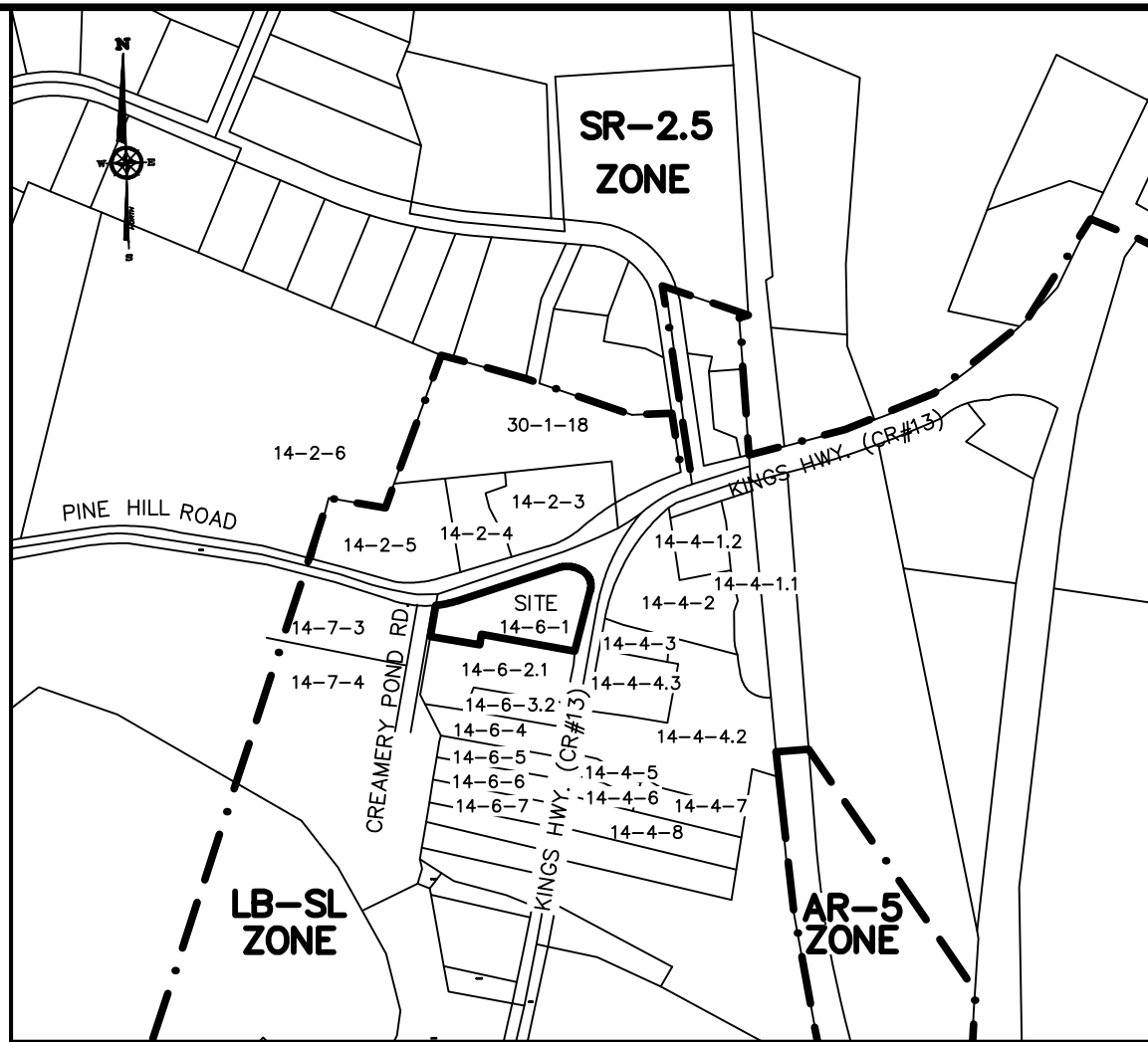
REQUIREMENTS	TOTAL REQUIRED	PROVIDED
SINGLE-FAMILY (LOT 1)	2 SPACES/UNIT	2
HOME OCCUPATION (LOT 1)	3 SPACES/OFFICE	3
MIXED USE (LOT 2)	BASED ON USE, SITE PLAN APPROVAL REQUIRED	N/A UNDETERMINED
COMMERCIAL (LOT 3)	BASED ON USE, SITE PLAN APPROVAL REQUIRED	N/A UNDETERMINED



LIST OF DRAWINGS

SHEET 1	PRELIMINARY SUBDIVISION PLAN
SHEET 2	SUBDIVISION PLAT
SHEET 3	GRADING & UTILITIES

NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID PERMIT HAS BEEN SECURED FROM THE ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS, UNDER SECTION 136 OF THE HIGHWAY LAW.



KEY MAP

SCALE : 1"=400'

GENERAL NOTES :

- TAX MAP DESIGNATION: SECTION 14, BLOCK 6, LOT 1
- AREA OF TRACT: 0.916 ± ACRES
- ZONING DISTRICT: LB/SL
- PROPOSED NUMBER OF LOTS: 3
- OWNER OF RECORD/APPLICANT: DORIAN DEHAAN-ROSSI & JOHN CONDATORE, JR. 1389 KINGS HIGHWAY CHESTER, NY 10918
- PROPOSED USES: LOT 1 - SINGLE-FAMILY & HOME OCCUPATION LOT 2 - COMMERCIAL LOT 3 - COMMERCIAL
- PROPOSED WATER SUPPLY: CONNECTION TO SUGAR LOAF WATER SYSTEM
- PROPOSED SEWAGE DISPOSAL: CONNECTION TO MOODNA BASIN SEWER COMMISSION
- BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY : JOHN MCGLOIN, PLS, NY LIC. #49689 WARWICK, NY, DATED 12-20-04.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITY LINES, WHETHER IN THE PUBLIC RIGHT-OF-WAY, IN EASEMENTS, OR IN PRIVATE PROPERTY PRIOR TO STARTING ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES THROUGHOUT THE COURSE OF CONSTRUCTION. PROJECT SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL NEW UTILITIES SHALL BE CONSTRUCTED UNDERGROUND.
- CALL BEFORE YOU DIG UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION 2 FULL WORKING DAYS BEFORE YOU DIG AT 1-800-962-7962.

LEGEND:

PROPERTY LINE	_____
PROP. PROPERTY LINE	_____
EXISTING DRIVE	-----
PROP. DRIVE	-----
WATER SUPPLY EASEMENT	...o-o
BUILDING SETBACK	-----
EXISTING FENCE	---o---
EXISTING UTILITY POLE	⊕
EXISTING FIRE HYDRANT	⊕

7	7/21/15	REVISE PER NEW CODE
6	1/6/10	ADDED BREEZEWAY & MOVED LOT 2 DRIVE
5	3/17/09	REVISED GARAGE LOCATION
4	12/6/06	REVISED PER PLANNING BOARD COMMENTS OF 10/4/06
3	10/2/06	REVISED PER PLANNING BOARD COMMENTS OF 7/5/06
2	6/30/06	REVISED PER PLANNING BOARD COMMENTS OF 6/21/06
1	6/21/06	FOR PRELIMINARY REVIEW
ISSUE	DATE	DESCRIPTION

SUBDIVISION FOR
DORIAN DEHAAN ROSSI & JOHN CONDATORE, JR.

SECTION 14, BLOCK 6, LOT 1
TOWN OF CHESTER
ORANGE COUNTY, NEW YORK

PRELIMINARY SUBDIVISION PLAN

LEHMAN & GETZ, P.C.
CONSULTING ENGINEERS
17 RIVER STREET WARWICK, NEW YORK 10990

DAVID A. GETZ, P.E.
N.Y.S. LIC. No. 61265

DRAWN BY: K.H.E. DATE: 4/19/06
CHECKED BY: D.G. SCALE: 1" = 20'
JOB No. 1169 SHEET 1 OF 3

APPROVED FOR FILING:	
OWNER _____	DATE _____
SUBDIVISION APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF CHESTER ON: _____	
CHAIRMAN _____	DATE _____