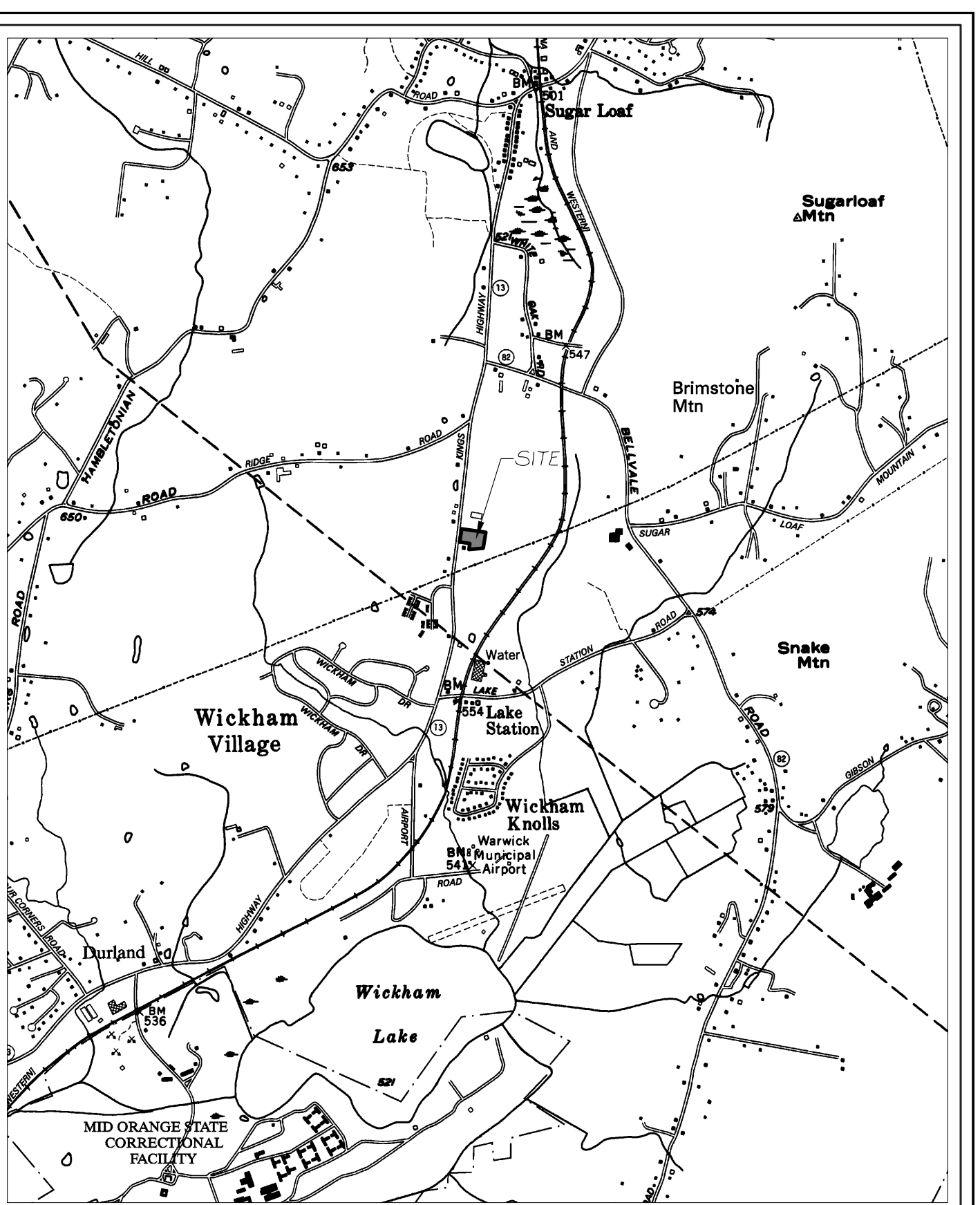




Zoning Legend: IP

USE: MIXED USE		
	REQUIRED	PROVIDED
MINIMUM LOT AREA	2 ACRES	2.00 ACRES
MINIMUM LOT WIDTH	200'	200'
MINIMUM FRONT SETBACK	60'	163.9'
MINIMUM REAR SETBACK	50'	76.0'
MINIMUM SIDE SETBACK (ONE)	50'	72.4'
MINIMUM SIDE SETBACK (BOTH)	100'	150.0'
MAXIMUM BUILDING HEIGHT	45'	<45'
MAXIMUM BUILDING COVERAGE	40%	+30.0%



Location Map

SCALE: 1" = 2,000'

Legend

	PROPERTY LINE & CORNER
	SET 5/8" IRON ROD
	UTILITY LINE AND POLE
	ADJOINER'S PROPERTY LINE
	LIBER OF DEEDS, PAGE
	TAX MAP DESIGNATION
	STONE WALL
	EXISTING WELL
	A.C. UNIT
	CONCRETE
	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	MINIMUM ZONING SETBACK
	MINIMUM PARKING SETBACK
	TEST PIT LOCATION
	PROPOSED 1250 GALLON SEPTIC TANK & 4" DIA. SOLID WALL PVC SDR35 PIPE
	PROPOSED SEWER CLEANOUT
	PROPOSED DISTRIBUTION BOX & 4" DIA. SOLID WALL PVC SDR35 PIPE
	PROPOSED "ELJEN" IN-DRAIN SYSTEM (SEE DETAIL)
	PROPOSED "ELJEN" IN-DRAIN FOR SEWER REPLACEMENT OR EXPANSION AREA
	PROPOSED CURTAIN DRAIN (SEE DETAIL)
	PROPOSED LIMITS OF DISTURBANCE

Parking Requirements

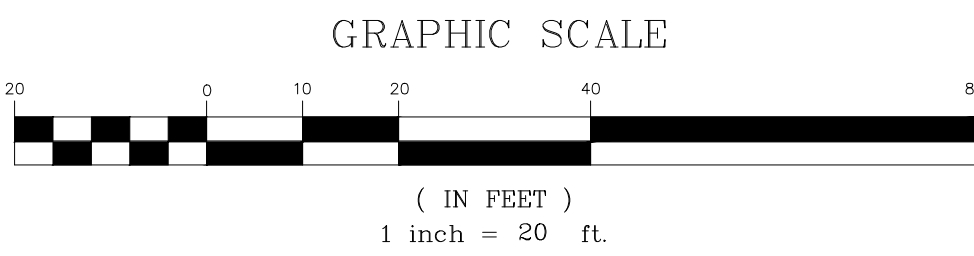
USE:	TOWN PARKING REQUIREMENT:	PROPOSED CRITERIA:	SPACES REQUIRED:	SPACES PROVIDED:
PROFESSIONAL OFFICE	5 SPACES PER DOCTOR	2 DOCTORS	10	
PERSONAL SERVICE	1 SPACE PER 150 SQ.FT. OF CUSTOMER SERVICE AREA	3,300 SQ.FT.	22	
OFFICE	1 SPACE PER 200 SQ.FT.	4,500 SQ.FT.	7.5	
INDUSTRIAL	2 SPACES PER 3 EMPLOYEES	3 EMPLOYEES	2	48
TOTAL PARKING REQUIRED				42
TOTAL PARKING PROVIDED				48

Notes:

- SUBJECT TO ANY FACTS THAT MAY BE REVEALED BY AN ACCURATE, UP TO DATE, TITLE ABSTRACT REPORT.
- SUBJECT TO THAT PORTION OF LAND WITHIN THE BOUNDS OF KINGS HIGHWAY FOR USE AS A PUBLIC HIGHWAY.
- SUBJECT TO UTILITY GRANTS OF RECORD.
- THIS PARCEL IS KNOWN AS LOT 1 ON A MAP ENTITLED "SUBDIVISION OF PROPERTY FOR BURNETT BUVEN, ET AL.", FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON DECEMBER 21, 1992, AS MAP NUMBER 278-92. SUBJECT TO ALL NOTES AND DETAILS AS SHOWN ON SAID FILED MAP.
- EXISTING SEPTIC TANK AND LEACH FIELD SHALL BE REMOVED AND BACKFILLED WITH NATIVE MATERIAL.

Parcel Information

TAX PARCEL:	17 - 1 - 101
AREA:	2.00 ACRES
REFERENCE:	LIBER #219, PAGE 1235
RECORD OWNER:	LAKE STATION PLAZA, LLC 72 SLEEPY VALLEY WARWICK, NY 10990



LANDS OF
ANDREW WILLIAM OPPMANN
L. 1809, P. 265
17-H-25

"UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW." "ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED VALID, TRUE COPIES." "CERTIFICATIONS INDICATED HEREON, SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS, OR SUBSEQUENT OWNERS."			
NO.	DATE	REVISION	BY
1	5-31-18	ENGINEER'S COMMENTS	LJM
2	5-22-18	ENGINEER'S COMMENTS	KMM
3	4-9-18	ENGINEER'S COMMENTS	RTS
4	3-19-18	ENGINEER'S COMMENTS	RTS

NO.	DATE	REVISION	BY
1	5-31-18	ENGINEER'S COMMENTS	LJM
2	5-22-18	ENGINEER'S COMMENTS	KMM
3	4-9-18	ENGINEER'S COMMENTS	RTS
4	3-19-18	ENGINEER'S COMMENTS	RTS

LAWRENCE MARSHALL	PE #08707
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WILLIAM G. NORTON	LS# 49480
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Survey Map & Site Plan for Lake Station Plaza, LLC

Mercutio-Norton-Tarolli-Marshall
ENGINEERING-LAND SURVEYING
PO BOX 166, 45 MAIN STREET, PINE BUSH, NY 12566
P: (845) 744-3620 F: (845) 744-3805 MNTM@MNTM.CO

RECORD OWNER: LAKE STATION PLAZA LLC
TAX MAP REFERENCE: SECTION 17, BLOCK 1, LOT 101
DEED REFERENCE: LIBER #219, PAGE 1235
TOWN OF CHESTER
COUNTY OF ORANGE
STATE OF NEW YORK
DATE: 11-21-2017
SCALE: 1" = 20'
DRAFTED BY: KMM
PROJECT: 4266
SHEET 1 / 4

Deep Soils Testing Results

TEST HOLE #	1	2	3	4	5
TESTING DATE:	9-30-16	9-30-16	9-30-16	9-30-16	9-30-16
TESTER:	RTS	RTS	RTS	RTS	RTS
DEEP TEST SOIL LOG (NO WATER OR ROCK UNLESS SO NOTED)	0' TOPSOIL	0' TOPSOIL	0' TOPSOIL	0' TOPSOIL	0' TOPSOIL
	1' 15" HEAVY SILT LOAM SOME SMALL STONES & COBBLES	1' 12" GRAVELLY HEAVY SILT LOAM	1' 6" GRAVELLY SILT LOAM W/ CLAYEY POCKETS W/ COBBLES & BOULDERS	1' 8" GRAVELLY SILT LOAM W/ SHALE FRAGS	1' 9" GRAVELLY SILT LOAM W/ CLAYEY POCKETS
	2' 48" 42"	2' 54"	2' 45"	2' 36"	2' 54"
	3' 48"	3' 54"	3' 45"	3' 36"	3' 54"
	4' 48"	4' 54"	4' 45"	4' 36"	4' 54"
	5' 48"	5' 54"	5' 45"	5' 36"	5' 54"
	6' 48"	6' 54"	6' 45"	6' 36"	6' 54"
	7' 48"	7' 54"	7' 45"	7' 36"	7' 54"
	8' 48"	8' 54"	8' 45"	8' 36"	8' 54"
NOTES:					

Percolation Testing Results

TEST HOLE #	1	2	3
TESTING DATE:	2-26-18	2-26-18	2-26-18
DEPTH / TESTER:	24" - RTS	24" - RTS	24" - RTS
PERCOLATION TEST RESULTS CALL TESTING COMPLETED WITH A STOPWATCH & ELAPSED TIMES ARE IN MINUTES	RUN 1 ELAPSED TIME: 8:05	RUN 1 ELAPSED TIME: 8:03	RUN 1 ELAPSED TIME: 2:38
	RUN 2 ELAPSED TIME: 9:22	RUN 2 ELAPSED TIME: 9:04	RUN 2 ELAPSED TIME: 3:16
	RUN 3 ELAPSED TIME: 9:59	RUN 3 ELAPSED TIME: 9:40	RUN 3 ELAPSED TIME: 3:34
	RUN 4 ELAPSED TIME:	RUN 4 ELAPSED TIME:	RUN 4 ELAPSED TIME:
	RUN 5 ELAPSED TIME:	RUN 5 ELAPSED TIME:	RUN 5 ELAPSED TIME:
	RUN 6 ELAPSED TIME:	RUN 6 ELAPSED TIME:	RUN 6 ELAPSED TIME:
	RUN 7 ELAPSED TIME:	RUN 7 ELAPSED TIME:	RUN 7 ELAPSED TIME:
	STABILIZED RATE: 9:59	STABILIZED RATE: 9:40	STABILIZED RATE: 3:34

Sewage Disposal System Requirements

DESIGN FLOW RATE (GPD)	SEPTIC TANK SIZE (GALLONS)	DISTRIBUTION BOX MODEL NUMBER	TYPE OF SYSTEM *	DESIGN STABILIZED PERCOLATION RATE (MIN.)	MIN. LENGTH OF ABSORPTION TRENCH (L.F.)	PROPOSED LENGTH OF ABSORPTION TRENCH (L.F.)	SEWAGE DISPOSAL SYSTEM DESIGN	MAX. PERMITTED FLOW RATE (GPD)
600	1,250	DB-9	S.E.I.D.	8-10	112	120	2 ROWS @ 60 L.F.	648

* S.E.I.D. = SHALLOW "ELJEN" IN-DRAIN SYSTEM

General Notes:

- PIPE JOINTS TO BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.
- ALL 4" OUTLET PIPES (SOLID WALL) LEAVE DISTRIBUTION BOX AT SAME ELEVATION ON A MINIMUM SLOPE OF 1/8" PER FOOT UP TO A DISTRIBUTOR LATERAL.
- SEWAGE DISPOSAL SYSTEMS LOCATED OF NECESSITY UPGRADE IN THE GENERAL PATH OF DRAINAGE TO A WELL MUST BE SPACED 200' OR MORE AWAY.
- NO DRIVEWAY, ROADWAY, PARKING AREA OR ABOVE GROUND SWIMMING POOL IS TO BE CONSTRUCTED OVER ANY PORTION OF THE SEWER SYSTEM. HEAVY EQUIPMENT SHALL BE KEPT OUT OF THE ABSORPTION FIELD AREA.
- ALL DISTRIBUTOR LINES (PERFORATED) SHALL BE OF EQUAL LENGTH.
- ALL TREES TO BE CUT & REMOVED FROM SEWAGE DISPOSAL AREA IN A MANNER THAT WILL NOT DISTURB THE VIRGIN SOIL LAYER.
- MAXIMUM GROUND SLOPE OF TILE FIELD AREA SHALL NOT EXCEED 15%.
- NO BASEMENT FIXTURES ARE PERMITTED WITHOUT A SPECIAL DESIGN FOR SEWAGE DISPOSAL.
- NO COMPONENT PART OF ANY SEWAGE DISPOSAL SYSTEM SHALL BE LOCATED OR MAINTAINED WITHIN 100' OF ANY SPRING, RESERVOIR, BROOK, MARSH OR ANY OTHER BODY OF WATER.
- NO ROOF, CELLAR OR FOOTING DRAINS ARE TO BE DISCHARGED IN THE SEWAGE DISPOSAL SYSTEM.
- FLOW EQUALIZERS SHALL BE USED FOR ALL SEWAGE DISPOSAL SYSTEMS.
- SLOPE BETWEEN SEPTIC TANK OR PUMPING CHAMBER AND THE HOUSE SHALL BE POSITIVE AND UNINTERRUPTED, AS TO ALLOW SEPTIC GASSES TO DISCHARGE THROUGH THE STACK VENT.
- THE SEWER PIPE RUNNING FROM THE HOUSE TO THE SEPTIC TANK MUST BE LAID ON SUITABLY COMPACTED EARTH OR VIRGIN SOIL WITH THE FIRST WATERTIGHT JOINT LOCATED AT LEAST 3' FROM THE HOUSE. THE PIPE SHALL BE SCH 80 PVC OR CAST IRON.
- THE DESIGN AND LOCATION OF SANITARY FACILITIES (WELL, SEPTIC TANK, AND LEACH FIELD) SHALL NOT BE CHANGED. ANY RELOCATION OF THE SEPTIC SYSTEMS OR WELLS SHOWN, TO AREAS OTHER THAN AS SHOWN ON THE APPROVED PLANS, MUST BE RESUBMITTED AND APPROVED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH.
- ALL WELLS AND SEPTIC SYSTEMS THAT IMPACT SEPARATION DISTANCES FOR THE PROPOSED WELLS AND SEPTIC SYSTEMS ARE SHOWN ON THE PLANS. WELLS AND SEPTIC SYSTEMS WERE LOCATED WITHIN 300' WHEREVER POSSIBLE.
- THERE SHALL BE NO REGRADING, EXCEPT AS SHOWN ON THE APPROVED PLANS, IN THE AREA OF THE ABSORPTION FIELDS.
- HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELDS EXCEPT DURING THE ACTUAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING, OR AFTER CONSTRUCTION. EXTREME CARE MUST BE TAKEN DURING THE ACTUAL CONSTRUCTION SO AS TO AVOID ANY UNDUE COMPACTION THAT COULD RESULT IN A CHANGE OF THE ABSORPTION CAPACITY OF THE SOIL ON WHICH THE DESIGN LOAD WAS BASED.
- THIS SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS, WATER CONDITIONERS, OR JACUZZI TYPE SPA TUBS OVER 100 GALLONS. AS SUCH, THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SYSTEM IS REDESIGNED TO ACCOUNT FOR THEM.
- SEPTIC TANKS SHOULD BE INSPECTED PERIODICALLY AND PUMPED EVERY 2-3 YEARS.
- DISTRIBUTION BOXES SHOULD BE INSPECTED PERIODICALLY TO ASSURE THAT THEY ARE LEVEL AND OPERATING PROPERLY.
- A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER (OR OTHER DESIGN PROFESSIONAL AS ALLOWED BY THE NYS EDUCATION DEPARTMENT) SHALL INSPECT THE SANITARY FACILITIES (WATER SUPPLY AND SEWAGE DISPOSAL FACILITIES) AT THE TIME OF CONSTRUCTION, PRIOR TO OCCUPANCY OF THE DWELLING, THE ENGINEER SHALL CERTIFY TO THE ORANGE COUNTY DEPARTMENT OF HEALTH AND THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT ANY SEPTIC TANK JOINTS HAVE BEEN SEALED AND TESTED FOR WATER TIGHTNESS. A COPY OF THE NYSDEC WELL COMPLETION REPORT MUST ALSO BE PROVIDED.
- THE OWNER/APPLICANT SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES.
- THE EXISTING LEACH FIELD SHALL BE REMOVED IN ITS ENTIRETY AND BACKFILLED WITH SOILS SIMILAR TO NATIVE MATERIAL. BACKFILL SHALL BE LIGHTLY COMPACTED TO BE SIMILAR TO THE COMPACTION OF NATIVE SOILS. THE EXISTING LEACH FIELD SHALL BE REMOVED PRIOR TO THE INSTALLATION OF THE NEW LEACH FIELD.

Design Flow Rate & Tank Sizing

1) DESIGN FLOW RATE DETERMINED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

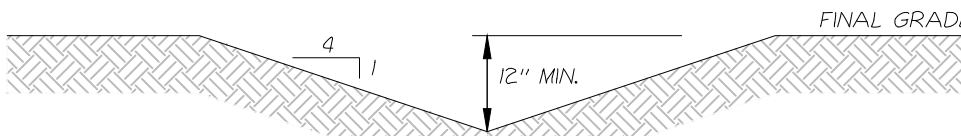
SHOPPING CREDIT: 0.1 GPD/SQUARE FOOT ± 0.8 (WATER SAVING FIXTURE CREDIT) = 0.08 GPD/SF
EXISTING BUILDING: 5,048 SF ± 0.08 GPD/SF = 403.8 GPD
PROPOSED ADDITION: 2,450 SF ± 0.08 GPD/SF = 196.0 GPD

DESIGN FLOW = 600 GPD

2) SEPTIC TANK SIZING CRITERIA IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

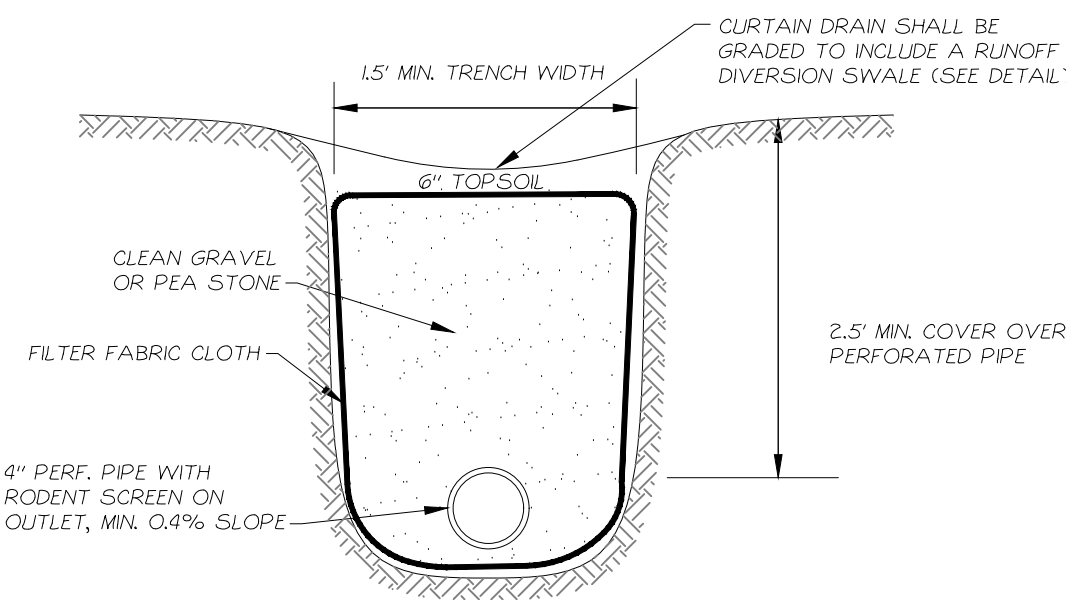
FOR DAILY FLOW (Q) UNDER 5,000 GPD: TANK SIZE = 1.5 ± Q = 900 GPD ± 15

USE 1,250 GALLON SEPTIC TANK



NOTE: THE DIVERSION SWALE SHALL BE SEEDED & MULCHED IMMEDIATELY FOLLOWING CONSTRUCTION

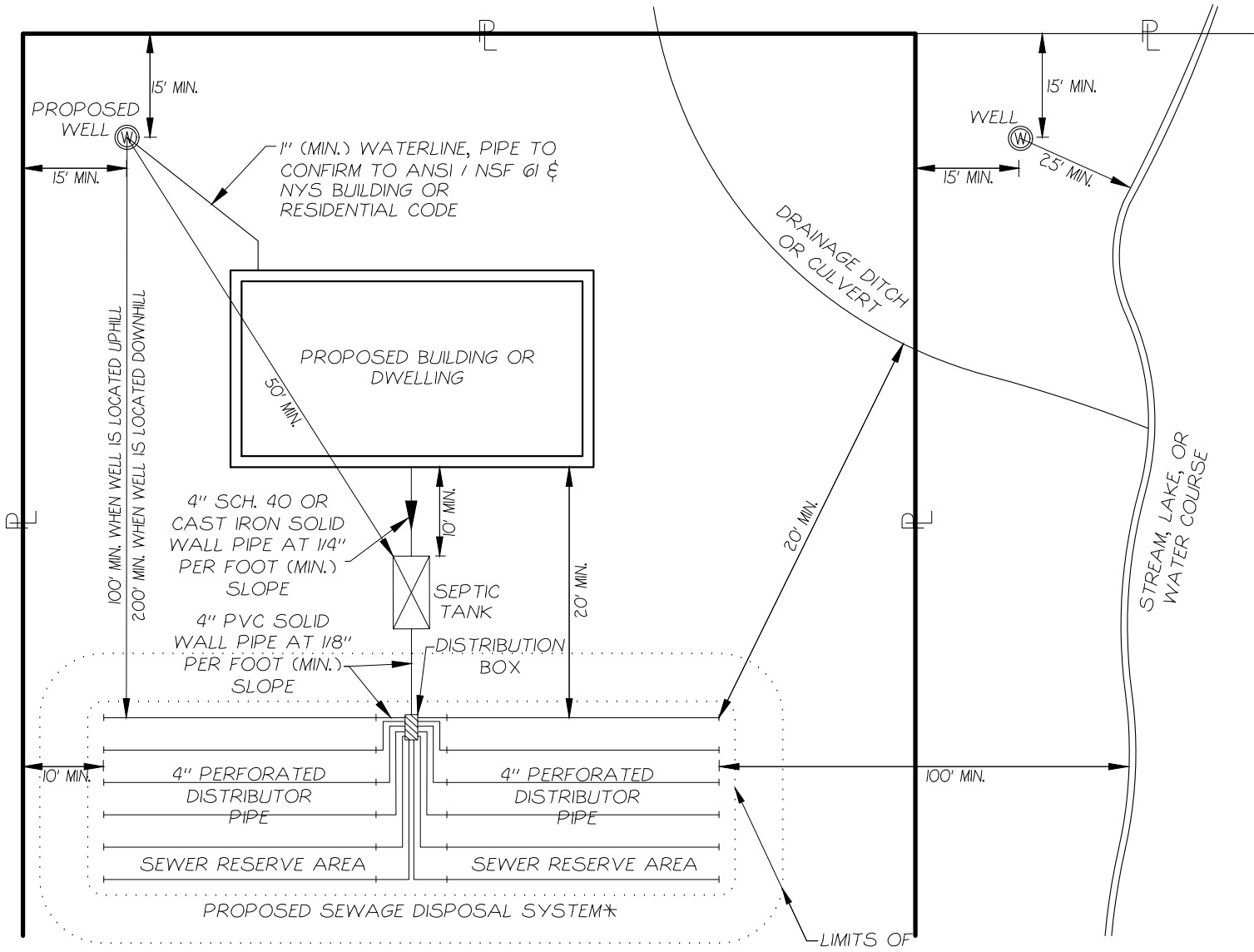
Diversion Swale Detail



- A 15" MINIMUM SEPARATION IS REQUIRED TO THE ABSORPTION TRENCHES.
- CURTAIN DRAIN SHALL PROVIDE A MINIMUM OF 48" OF USEABLE FILL THROUGHOUT THE SYSTEM.
- THE CURTAIN DRAIN SHALL BE DUG TO THE DEPTH SPECIFIED ON THE PLAN. PRIOR TO BEING BACKFILLED WITH STONE AND TOPSOIL, THE CONTRACTOR SHALL CONTACT A N.Y.S. LICENSED ENGINEER FOR INSPECTION AND APPROVAL.

Curtain Drain Detail

NOT TO SCALE



Generic Plot Plan

* THE 'GENERIC PLOT PLAN' IS INTENDED FOR ILLUSTRATION PURPOSES ONLY. FOR SPECIFIC DESIGN INFORMATION ON THE PROPOSED SEWAGE DISPOSAL SYSTEM, SEE THE SEWAGE DISPOSAL SYSTEM REQUIREMENTS TABLE, DETAILS, AND NOTES ON THIS SHEET.

Minimum Separation Distances From Existing Or Proposed Features

AS PER NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION 'DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTEWATER TREATMENT SYSTEMS', PUBLISHED MARCH 5, 2018

FEATURES	SEPTIC TANK	SEWER LINE	ABSORPTION FIELDS	SEEPAGE PITS
DRILLED WELL (PUBLIC WATER SUPPLY)	100'	50'	200'	200'
DRILLED WELL (PRIVATE WATER SUPPLY)	50'	50'	100' (A) (B)	150'
WATERLINE (PRESSURE)	10'	10' (C)	10'	10'
WATERLINE (SUCTION)	50'	50'	100'	150'
DUG WELL / SPRING	75'	50'	150' (B)	150'
SURFACE WATER	50'	25'	100'	100'
RESERVOIR (PRIVATE WATER SUPPLY)	50' (D)	50' (A)	100' (D)	100' (D)
RESERVOIR (PUBLIC WATER SUPPLY)	50' (D)	50' (A)	100' (D)	100' (D)
OPEN DRAINAGE DIVERSION	25'	25'	50' (D)	50' (D)
STORMWATER MANAGEMENT - INFILTRATION	25'	25'	50'	50'
STORMWATER MANAGEMENT - SURFACE DISCHARGE	50'	25'	100'	100'
CULVERT (TIGHT PIPE)	25'	10'	35'	35'
CULVERT OPENING	25'	25'	50'	50'
CATCH BASIN	25'	--	50'	50'
SWIMMING POOL (IN-GROUND)	20'	10'	35'	50'
FOUNDATION	10'	--	20'	20'
PROPERTY LINE	10'	10'	10'	10'
TOP OF EMBANKMENT / STEEP SLOPE	25'	25'	50'	50'
WETLAND (NYSDEC)	100'	100'	100'	100'

(A) IF THE ABSORPTION FIELD IS LOCATED IN GRAVEL SOILS, THEN 200' SEPARATION.

(B) WHEN WASTEWATER TREATMENT SYSTEMS ARE LOCATED UP-GRADIENT AND IN THE DIRECT PATH OF SURFACE RUNOFF TO A WELL, THE CLOSEST PART OF THE SYSTEM SHOULD BE AT LEAST 200' AWAY FROM THE WELL.

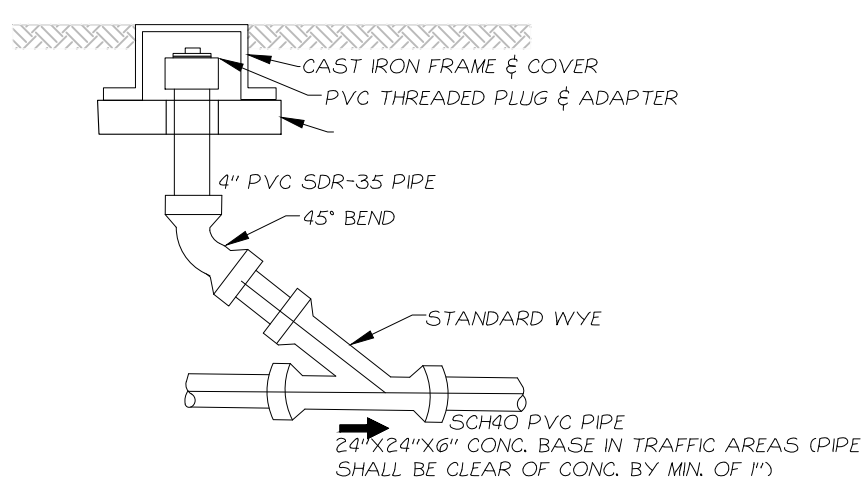
(C) WATER (PRESSURE) AND SEWER LINES MAY BE IN THE SAME TRENCH IF WATER LINE IS PLACED ON AN UNDISTURBED BENCH OR SHELVE SO THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18" HIGHER THAN THE TOP OF THE SEWER MAIN, AND THE SEWER MAIN IS NOT SUBJECT TO SETTLING, VIBRATION, SUPERIMPOSED LOADS, OR FROST ACTION.

(D) IF BOTTOM OF DRAIN IS ABOVE FINISHED GRADE AT LEACHING FACILITY, OTHERWISE 50'.

(E) REFER TO LOCAL WATERSHED RULES AND REGULATIONS FOR POSSIBLE SUPERSIDING SPECIFICATIONS.

(F) FOR ALL SYSTEMS INVOLVING THE PLACEMENT OF FILL MATERIAL, SEPARATION DISTANCES ARE MEASURED FROM THE TOE OF THE SLOPE OF THE FILL.

Shallow "Eljen" In-Drain Absorption Trench Detail



NOTES:
1. CLEANOUTS SHALL BE PROVIDED EVERY 75 FEET ALONG SEWER PIPE FROM SEPTIC TANK TO DISTRIBUTION BOX.

In Line Cleanout

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1	5-3-18	ENGINEER'S COMMENTS	LWM
NO.	DATE	REVISION	BY

LAWRENCE MARSHALL PE #08707

Sewage Disposal System
Details for
Lake Station Plaza, LLC

RECORD OWNER:
LAKE STATION PLAZA LLC

TAX MAP REFERENCE:
SECTION 17, BLOCK 1, LOT 101

DEED REFERENCE:
LIBER 1025, PAGE 1235

TOWN OF CHESTER

COUNTY OF ORANGE

STATE OF NEW YORK

DATE: 11-21-2017

SCALE: 1" = 20'

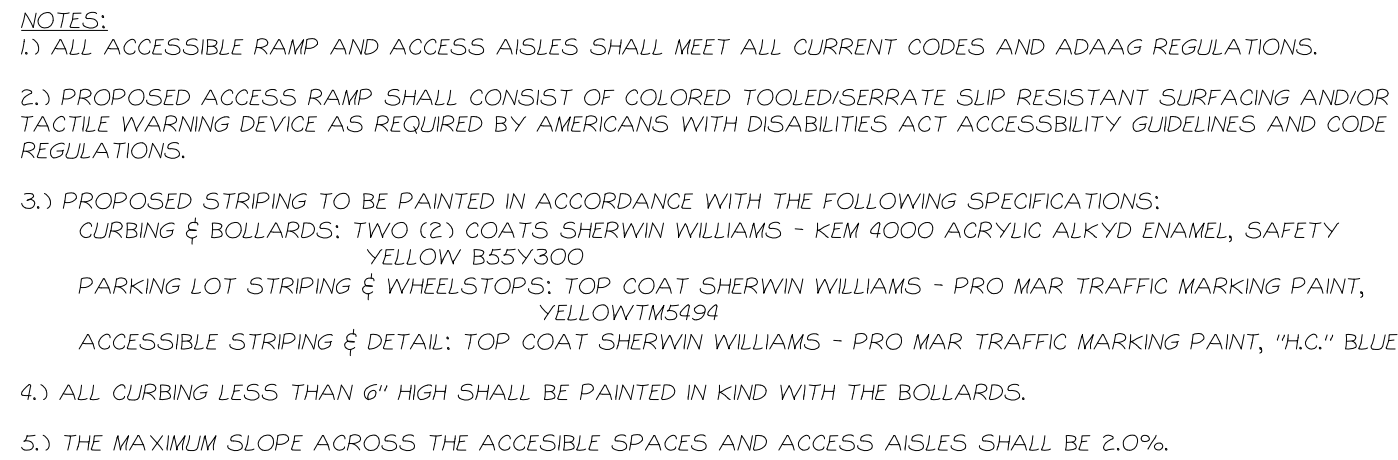
DRAFTED BY: KMW

PROJECT: 4266

Mercurio-Norton-Tarolli-Marshall
ENGINEERING-LAND SURVEYING

PO BOX 166, 45 MAIN STREET, PINE BUSH, NY 12566
P:(845)744.3620 F:(845)744.3805 MNTM@MNTM.CO

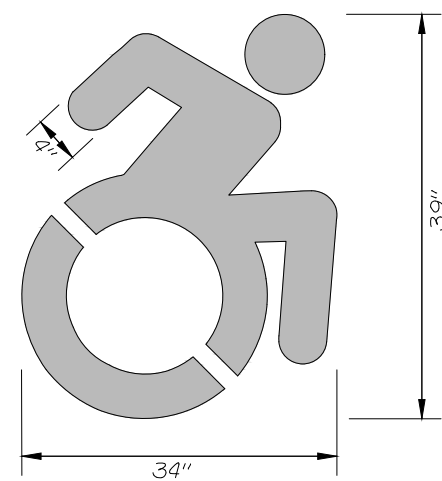
SHEET
2 / 4



The diagram shows a truss section with a diagonal member at a 45-degree angle. The horizontal distance between the vertical members is 24 inches, and the vertical distance is 6 inches. The diagonal member is labeled with a 45-degree angle.

NOTES:
1.) PROPOSED STRIPING TO BE PAINTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
PARKING LOT STRIPING: TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT, YELLOW/TM5494

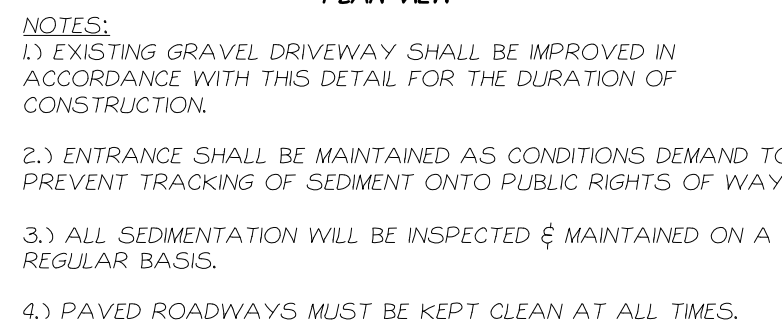
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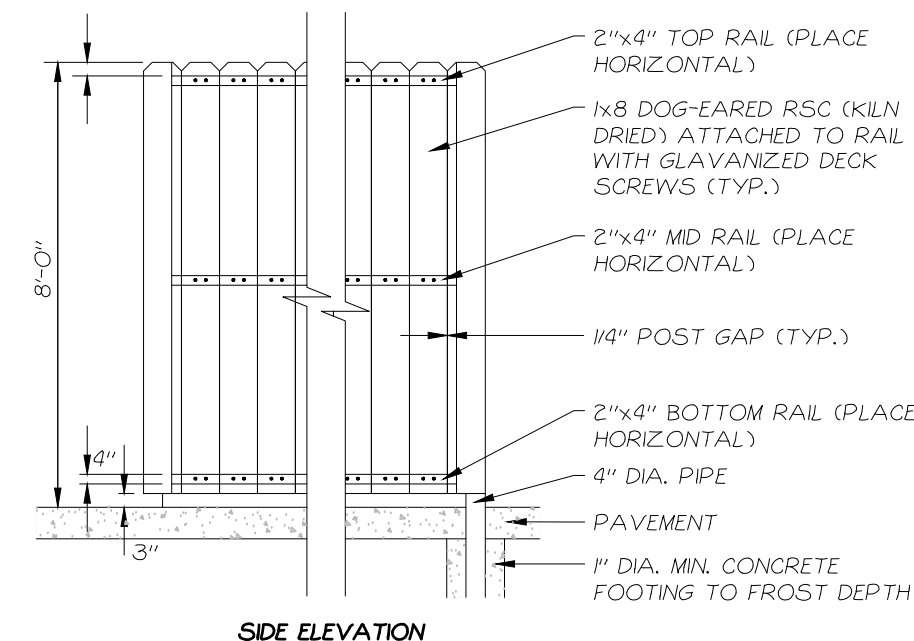
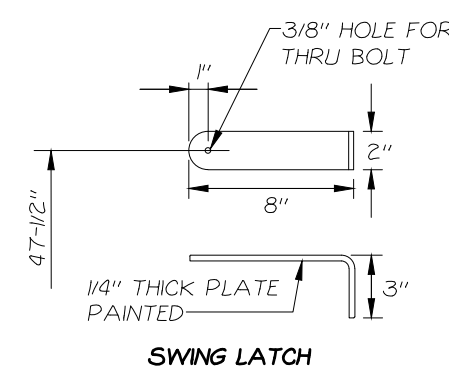
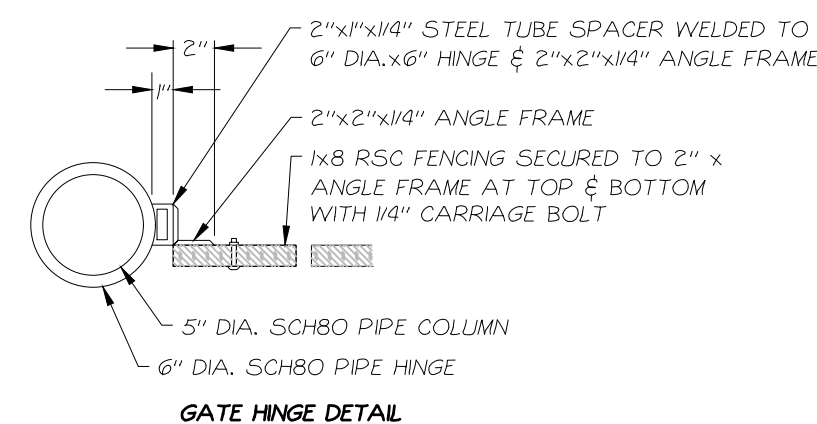
NOT TO SCALE



NOT TO SCALE

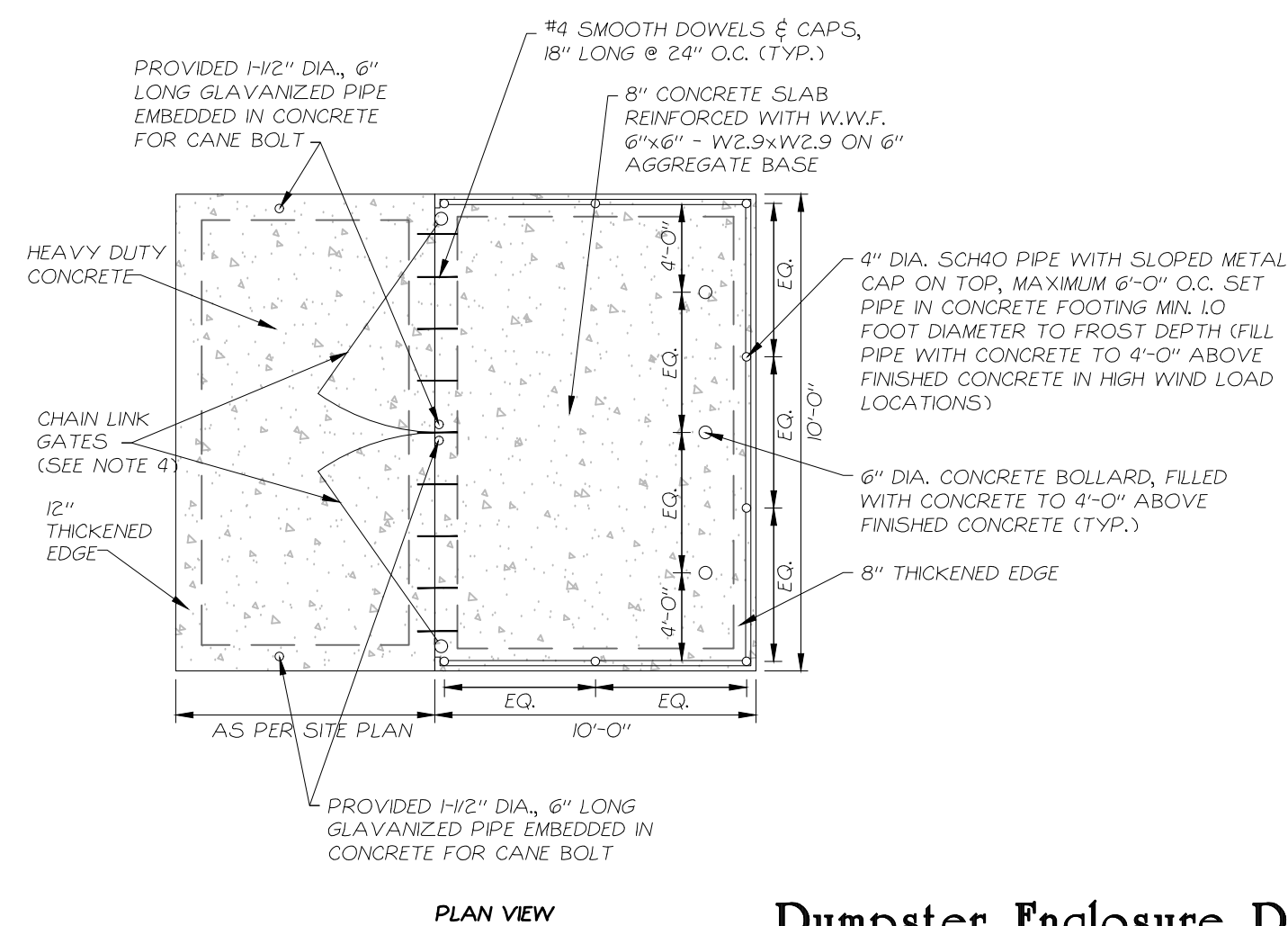


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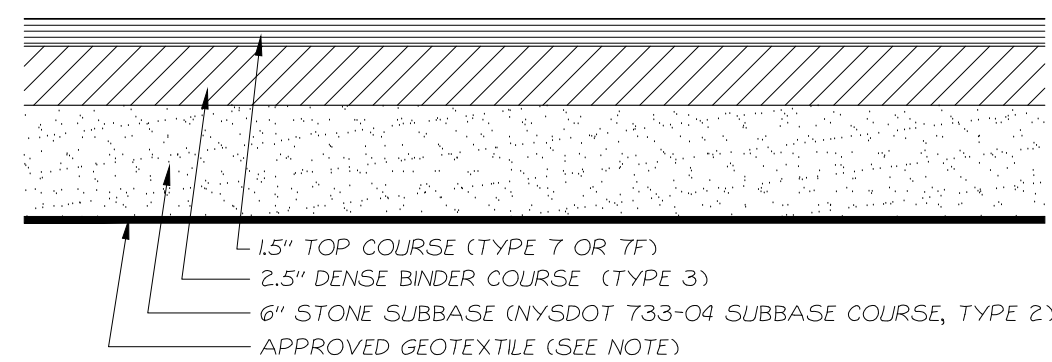


DUMPSTER ENCLOSURE NOTES:

- 1.) DUMPSTER ENCLOSURE SHALL BE 18 FEET X 12 FEET.
- 2.) FOUR (4) BOLLARDS SHALL BE INSTALLED ON THE INSIDE OF THE ENCLOSURE, ACROSS THE REAR FENCE.
- 3.) FOOTINGS SHALL EXTEND 3'-6" MINIMUM BELOW FINISHED GRADE.
- 4.) FRONT GATES SHALL BE CONSTRUCTED OF METAL CHAIN LINK AND CONSIST OF 2'-0" FOOT GATES WITH NO CENTER POST BETWEEN THE TWO GATES. CLOSING RODS SHALL BE INSTALLED ON EACH GATE AND HOLES SHALL BE DRILLED IN THE CONCRETE PAD TO RECEIVE RODS. EVERGREEN SCREENING SLATS SHALL BE INSTALLED IN CHAINLINK PORTION OF THE GATES.
- 5.) CHAINLINK FENCE SHALL CONSIST OF 9 GA. GALVANIZED (2" MESH) FABRIC WITH 1/8" O.D., 2.27 LBS. PER FOOT (MIN.) MESH.
- 6.) 4X4 POSTS AT CORNERS OF FENCING CAN BE REPLACED WITH GALVANIZED POSTS IF DESIRED.
- 7.) 8" THICK CONCRETE SLAB OVER 6" THICK CRUSHED AGGREGATE, 12"X12" THICKENED EDGE FOR APPROACH SLAB. 4# REBAR @ 2'-0" OC. EACH WAY.



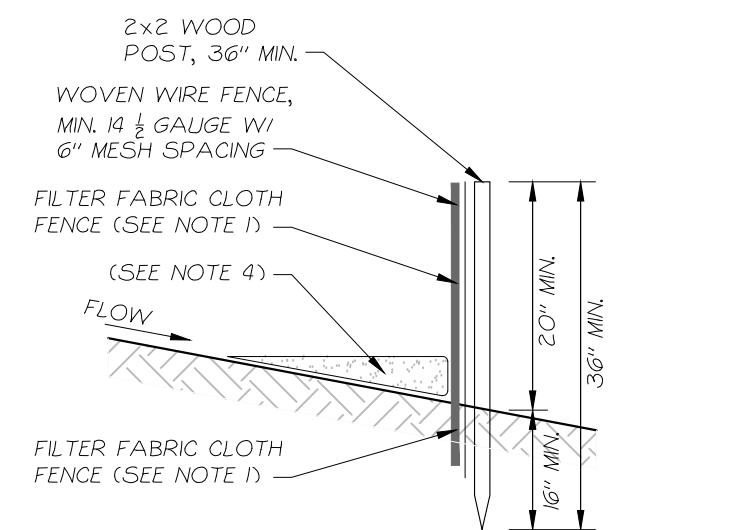
Dumpster Enclosure Details



GEOTEXTILE NOTE:
GEOTEXTILE IS ONLY REQUIRED IN AREAS WHERE SUBBASE IS NOT ACCEPTABLY
STABLE. GEOTEXTILE SHALL BE APPROVED BY A NEW YORK STATE LICENSED
PROFESSIONAL ENGINEER.

Standard Asphalt Pavement Section



- 1.) DUST CONTROL SHALL BE PROVIDED IN TIMES OF DRY WEATHER. AREAS SHALL BE SPRAYED WITH WATER TO PREVENT DUST FROM TRANSFERRING TO ADJACENT PROPERTIES.
- 2.) THE PROPOSED AREA OF DISTURBANCE IS APPROXIMATELY 0.58 ACRES.
- 3.) ALL DISTURBED AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE EROSION STABILIZATION REQUIREMENTS OF THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, JULY 2006 EDITION. TEMPORARY STABILIZATION SPECIFICATIONS INCLUDE:
 - ANNUAL OR PERENNIAL RYEGRASS SEEDING WITH STRAW MULCHING AT A RATE OF 30 LBS PER ACRE.
 - COARSE WOOD CHIPS AT A RATE OF 500 LBS PER ACRE.
 - WOOD FIBER HYDROMULCH, AS PER MANUFACTURERS SPECIFICATIONS.
- 4.) ALL DISTURBED AREAS NOT ENCLOSED BY LANDSCAPING MULCH, PAVEMENT, CONCRETE, OR OTHER IMPERVIOUS COVER BE STABILIZED WITH BLUE GRASS BLEND WITH THE FOLLOWING SPECIFICATIONS:
 - 25% FESTUCA RUBRA COMMUNIS (CHEWINGS FESCUE)
 - 15% LULUM PERENNE (PERENNIAL RYEGRASS)
 - 60% POA PRATENSIS (KENTUCKY BLUEGRASS)
- 5.) SEEDING SHALL BE PERFORMED AT A RATE OF FIVE (5) LBS. PER ACRE.

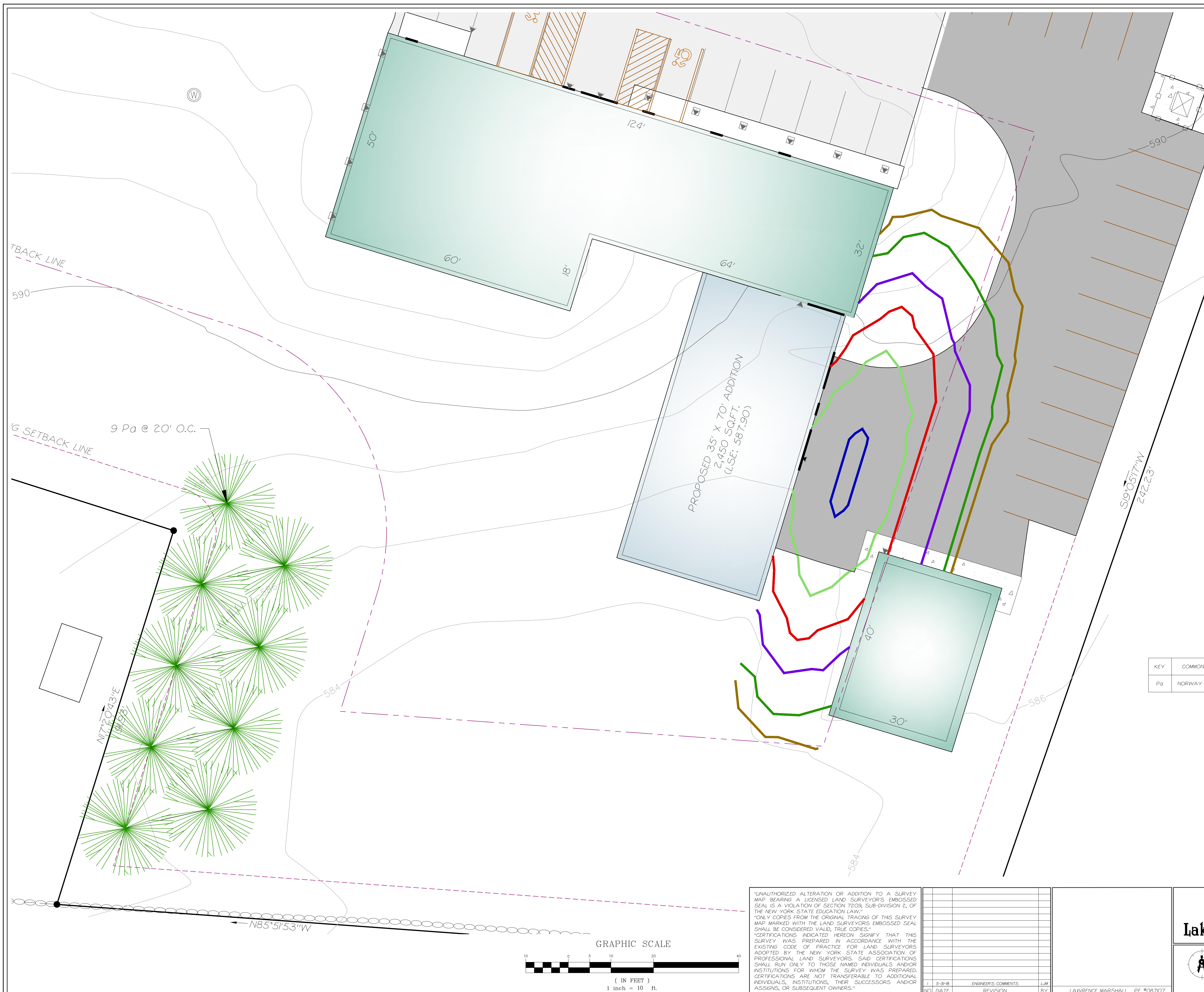


NOTES:

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER 1" OR 1 1/2" OR HARDWOOD.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 2'± AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTION OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED. FILTER CLOTH SHALL BE EITHER FLY X, MIRAFL 100X, STABILINKA THON, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOPAR, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AN MATERIAL REMOVED WHEN 'BULGES' DEVELOP IN THE SILT FENCE.

NOT TO SCALE

<p>"UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW."</p> <p>"ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYORS EMBOSSED SEAL SHALL BE CONSIDERED VALID, TRUE COPIES."</p> <p>"CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS, OR SUBSEQUENT OWNERS."</p>			<p>1 4-9-18 ENGINEER'S COMMENTS RY</p> <p>NO. DATE REVISION BY</p> <p>LAWRENCE MARSHALL PE #08707</p>		<p>Site Plan Details for Lake Station Plaza, LLC</p> <p> MNTM </p> <p>Mercurio-Norton-Tarolli-Marshall</p> <p>PO BOX 166 45 MAIN STREET, PINE BUSI, NY 12566 P: (845)744.3620 F: (845)744.3805 E: MNTM@MNTM.CO</p>		<p>RECORD OWNER: LAKE STATION PLAZA LLC</p> <p>TAX MAP REFERENCE: SECTION 17, BLOCK 1, LOT 101</p> <p>DEED REFERENCE: LIBER 1219, PAGE 1235</p> <p>TOWN OF CHESTER</p> <p>COUNTY OF ORANGE</p> <p>STATE OF NEW YORK</p> <p>DATE: 11-21-2017</p> <p>SCALE: 1" = 20'</p> <p>DRAFTED BY: KMW</p> <p>PROJECT: 4266</p>		<p>SHEET</p> <p>3 / 4</p>
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Legend

PROPOSED RAB LIGHTING: WPLED2T50IPC
LED WALLPACK MOUNTING HEIGHT = 10'
ISOLINES INDICATE FOOT CANDLES (1, 2, 5, 10) AT
FINAL GRADE

EXISTING LIGHTING FIXTURE

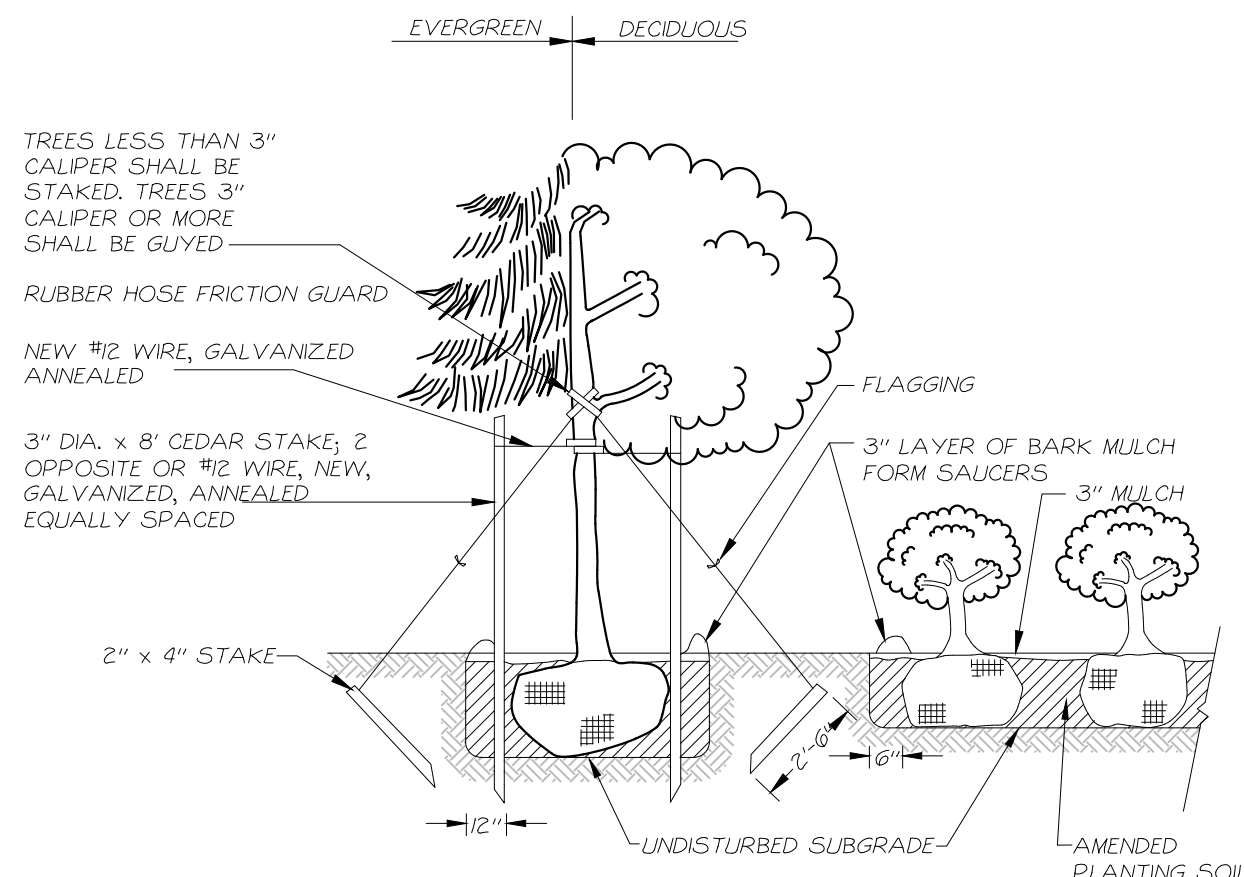
EXISTING RECESSED LIGHTING FIXTURE

- Landscaping Notes:
- 1.) TOPSOIL SHALL BE SPREAD OVER ALL DISTURBED AREAS TO A MINIMUM COMPACTED THICKNESS OF 4". TOPSOIL SHALL BE FINELY GRADED AND LOOSENEED TO REMOVE STONES AND ENSURE SEED ACCEPTANCE.

2.) DISTURBED AREAS SHALL BE STABILIZED WITH BLUE GRASS BLEND WITH THE FOLLOWING SPECIFICATION:
25% FESTUCA RUBRA COMMUTATA (CHEWINGS FESCUE)
15% LOLIUM PERENNE (PERENNIAL RYEGRASS)
60% POA PRATENSIS (KENTUCKY BLUEGRASS)

3.) SEEDING SHALL BE PERFORMED AT A RATE OF 3 LBS. PER ACRE.

4.) TREE AND SHRUB PLANTING SHALL BE IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:
SPRING PLANTING: MARCH 1 - JUNE 30
FALL PLANTING: SEPTEMBER 1 - NOVEMBER 1



- NOTES:
- 1.) ALL PLANT MATERIAL SHALL BE HEALTHY AND FULL AT TIME OF PLANTING.

2.) ALL TREES SHALL BE WARRANTED TO BE HEALTHY FOR 2-YEARS FROM TIME OF PLANTING.

3.) ALL PROPOSED LANDSCAPE PLANTS SHALL CONFORM TO THE GUIDELINES SET FORTH IN THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS FOR NURSERY STOCK.

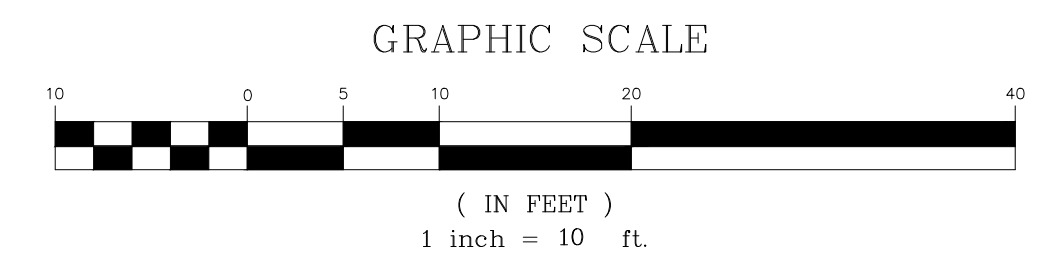
4.) TREE WRAPPING SHALL BE PROVIDED AROUND BASE OF TREE TO 8" ABOVE RUBBER HOSE (DECIDUOUS TREES ONLY).

Typical Planting Detail

NOT TO SCALE

Site Planting Table

KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	TYPE	HARDINESS ZONE	PLANTING SIZE	MATURE SIZE
Pa	NORWAY SPRUCE	PICEA ABIES	9	EVERGREEN TREES	2 - 8	6' - 8' HGT.	40' - 60'



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NO.	DATE	REVISION	BY
1	5-31-18	ENGINEER'S COMMENTS	LJM

LAWRENCE MARSHALL PE #067107

Lighting & Landscaping
Plan for
Lake Station Plaza, LLC

Mercurio-Norton-Tarolli-Marshall
ENGINEERING-LAND SURVEYING
PO BOX 166, 45 MAIN STREET, PINE BUSH, NY 12566
P: (845) 744-3620 F: (845) 744-3805 MNTM@MNTM.CO

RECORD OWNER:
LAKE STATION PLAZA LLC

TAX MAP REFERENCE:
SECTION 17, BLOCK 1, LOT 101

DEED REFERENCE:
LIBER 1823, PAGE 1235

TOWN OF CHESTER

COUNTY OF ORANGE

STATE OF NEW YORK

DATE: 11-21-2017

SCALE: 1" = 20'

DRAFTED BY: KMY

PROJECT: 4266

SHEET
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