

APPROVED FOR FILING

OWNER *[Signature]* DATE 1/5/89

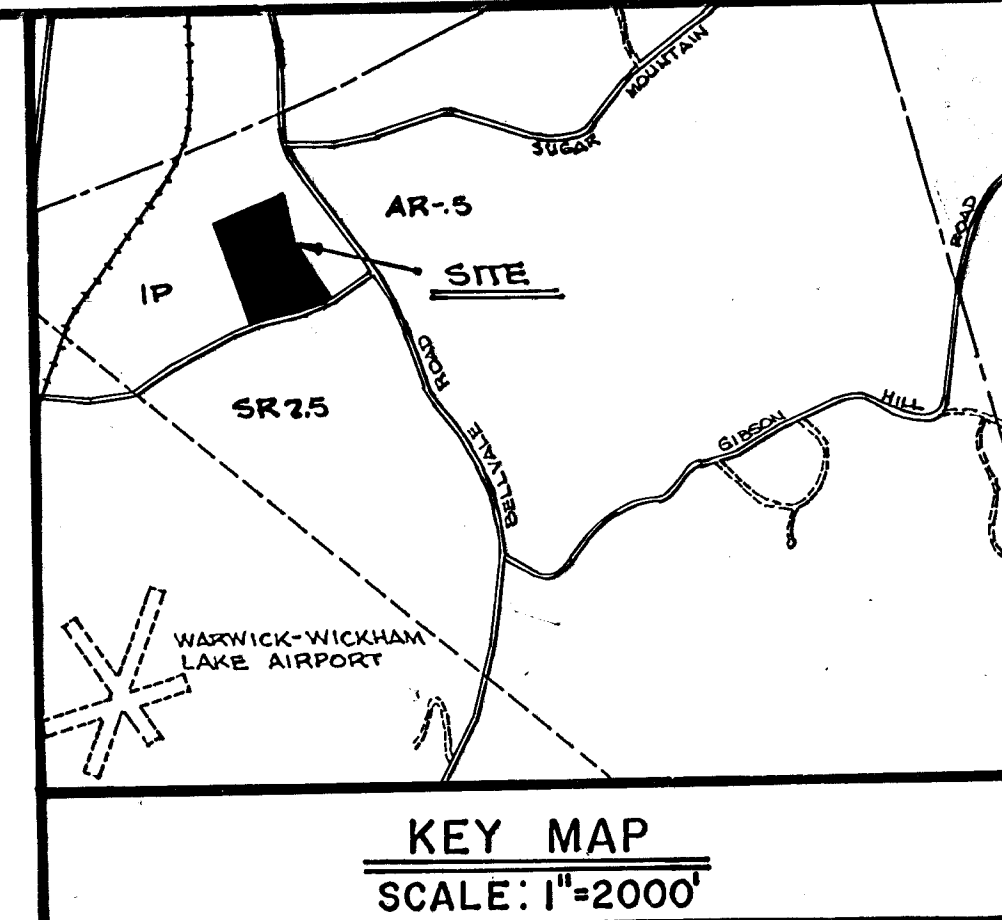
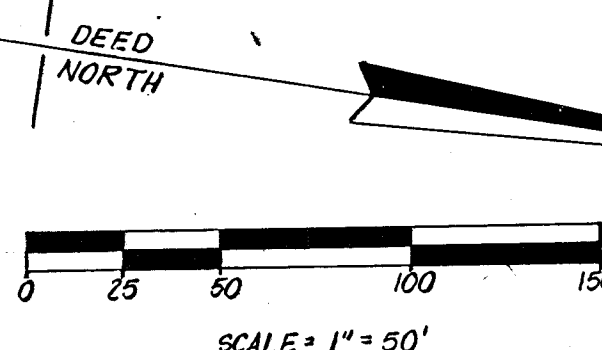
APPROVED AS A FINAL SUBDIVISION PLAT BY A RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF CHESTER ON

CHAIRMAN DATE
TOWN CLERK DATE

NOTE: THIS MAP IS FOR SUBDIVISION APPROVAL FOR INDUSTRIAL PARK PURPOSES. NO BUILDING PERMIT IS TO BE ISSUED FOR ANY LOT UNLESS AND UNTIL INDIVIDUAL SITE PLAN APPROVALS HAVE BEEN OBTAINED FROM THE TOWN OF CHESTER PLANNING BOARD.

THIS PLAN APPROVED
BY THE PLANNING BOARD OF THE TOWN OF CHESTER
ORANGE COUNTY NEW YORK

DATE 11-15-89
SIGNED *[Signature]* CHAIRMAN



BEING: LOT 122
BLOCK 1
SECTION 28-17
ZONE: IP (INDUSTRIAL PARK)
AREA: 18.996 ACRES
TOTAL # OF LOTS: 8

NOTE: THE LOCATION OF ALL BUILDINGS, WELLS, SEPTIC, AND PARKING AREAS FOR EACH LOT ARE "TYPICAL" ONLY. ACTUAL LOCATIONS SHALL BE DETERMINED AT INDIVIDUAL SITE PLAN APPROVAL OF EACH LOT.

OFFER OF DEDICATION:

THE SUBDIVIDER HAS IRREVOCABLY OFFERED TO CEDE TITLE FOR THE LAND AREAS NOTED FOR STREET, WIDENING OF STREETS, RIGHTS-OF-WAY, AND FOR EASEMENTS AND OTHER LANDS AS DESIGNATED ON THE PLAT AS OFFERED TO THE TOWN OF CHESTER.

ZONING DATA

IP ZONE		
ITEM	REQUIRED/PERMITTED	PROVIDED
MIN. LOT AREA	2 ACRES	2,002 AC.
MIN. LOT WIDTH	200'	200'
FRONT YARD	50'	
SIDE YARD	50'	
REAR YARD	50'	
MAX. LOT COVERAGE	40%	
MAX. BLDG. HEIGHT	45' 4" ST.	

NOTE: BUILDINGS TO BE LOCATED 200' MIN. FROM BOUNDARY OF ANY RESIDENCE DISTRICT.

OWNERS OF RECORD

FABRICANT, LIPMAN & STERN
PROFIT SHARING & PENSION PLAN
FBO ALAN LIPMAN
ONE HARRIMAN SQUARE
GOSHEN, NEW YORK

JOHN LEHMAN
10 GALLOWAY HEIGHTS
WARWICK, NEW YORK

HEATHER PARGETER
15 OAKLAND AVE.
WARWICK, NEW YORK

APPLICANT

ALAN LIPMAN
ONE HARRIMAN SQUARE
GOSHEN, NEW YORK

LAKE STATION INDUSTRIAL PARK

FINAL SUBDIVISION PLAT

TOWN OF CHESTER, ORANGE COUNTY, NEW YORK

JOHN LEHMAN, P.E.
CONSULTING ENGINEER

10 GALLOWAY HEIGHTS
WARWICK, NEW YORK

SCALE 1"=50' DATE: FEB. 28 1989
N.Y. LIC. NO. 056653 N.J. LIC. NO. 26030

SHEET 1 OF 2

JOB NO. 40

NOTES:

- THIS SURVEY IS SUBJECT TO ANY FINDINGS OF A TITLE SEARCH.
- SUBSURFACE STRUCTURES AND UTILITIES WHICH WERE NOT VISIBLE AT THE TIME OF SURVEY HAVE NOT BEEN SHOWN.
- COPIES FROM THE ORIGINAL MAP NOT MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.
- UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.
- DEED OF RECORD FOR SUBJECT PARCEL IS FILED IN THE ORANGE COUNTY CLERK'S OFFICE IN LIBER 2729 OF DEED AT PAGE 157.
- REFERENCE: MAP ENTITLED, "SUBDIVISION OF PROPERTY FOR HERBERT & MILA KANIA", DATED MARCH 8, 1984, AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 26, 1984, AS MAP NO. 6733.

7. TOPOGRAPHY SHOWING 2 FOOT CONTOURS IS BASED ON A PHOTOGRAMMETRIC MANUSCRIPT PREPARED BY AERIAL DATA REDUCTION ASSOCIATES, INC. FROM AERIAL PHOTOGRAPHY TAKEN ON APRIL 18, 1986.

8. BOUNDARY SHOWN IS BASED ON AN ACTUAL FIELD SURVEY COMPLETED BY LANC & TULLY, P.C., ON MAY 21, 1986.

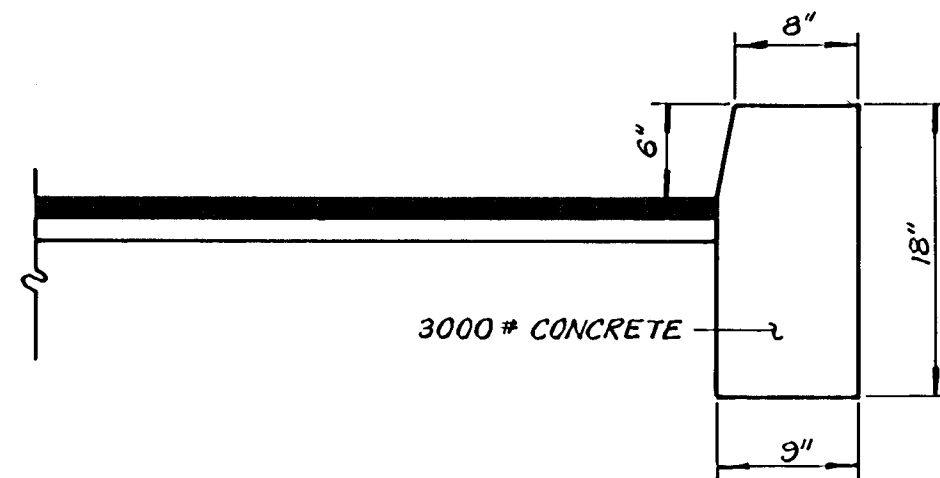
Any trees removed within 75' of the centerline of Lake Station Road shall be replaced with comparable screening.

CERTIFICATION:
I HEREBY CERTIFY TO THE PARTIES OF INTEREST LISTED BELOW THAT PROPERTY BOUNDARIES SHOWN ON THIS MAP ARE THE RESULT OF AN ACTUAL FIELD SURVEY COMPLETED BY LANC & TULLY, P.C., ON MAY 21, 1986, AND THAT SUBDIVISION LOT LINES SHOWN ON THIS MAP ARE BASED ON COMPUTATIONS COMPLETED BY LANC & TULLY, P.C., ON FEBRUARY 14, 1989.

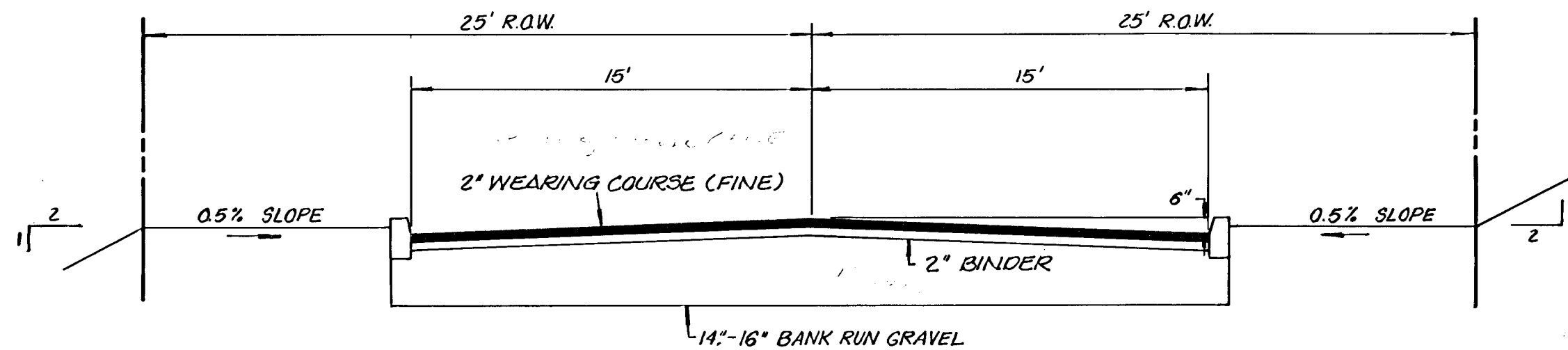
[Signature] LS
DENNIS H. LONES, P.E.
N.Y. STATE LICENSE NO. 49094

REVISED: 10-30-89
REVISED: 4-26-89
REVISED: 5-17-89
REVISED: 5-23-89
REVISED: 6-13-89
REVISED: 7-06-89

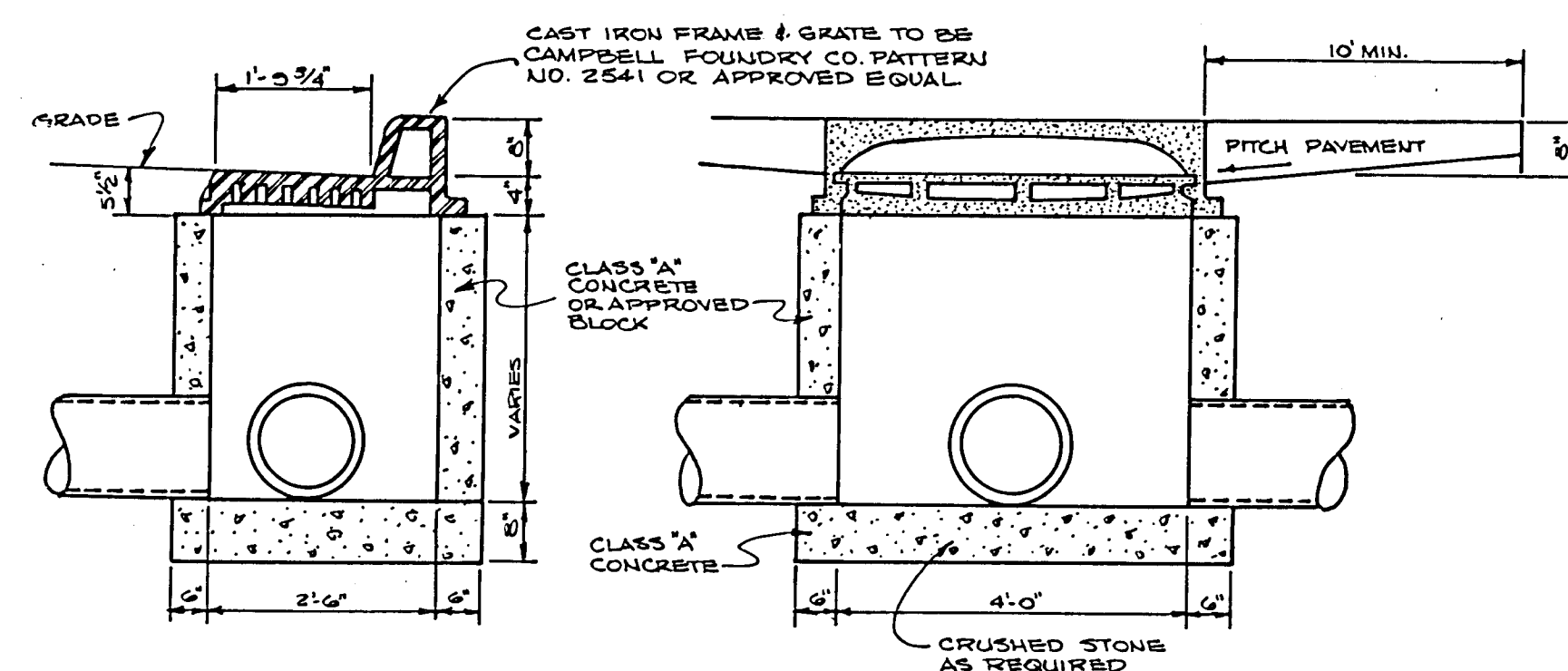
Wm Chg 26 LS



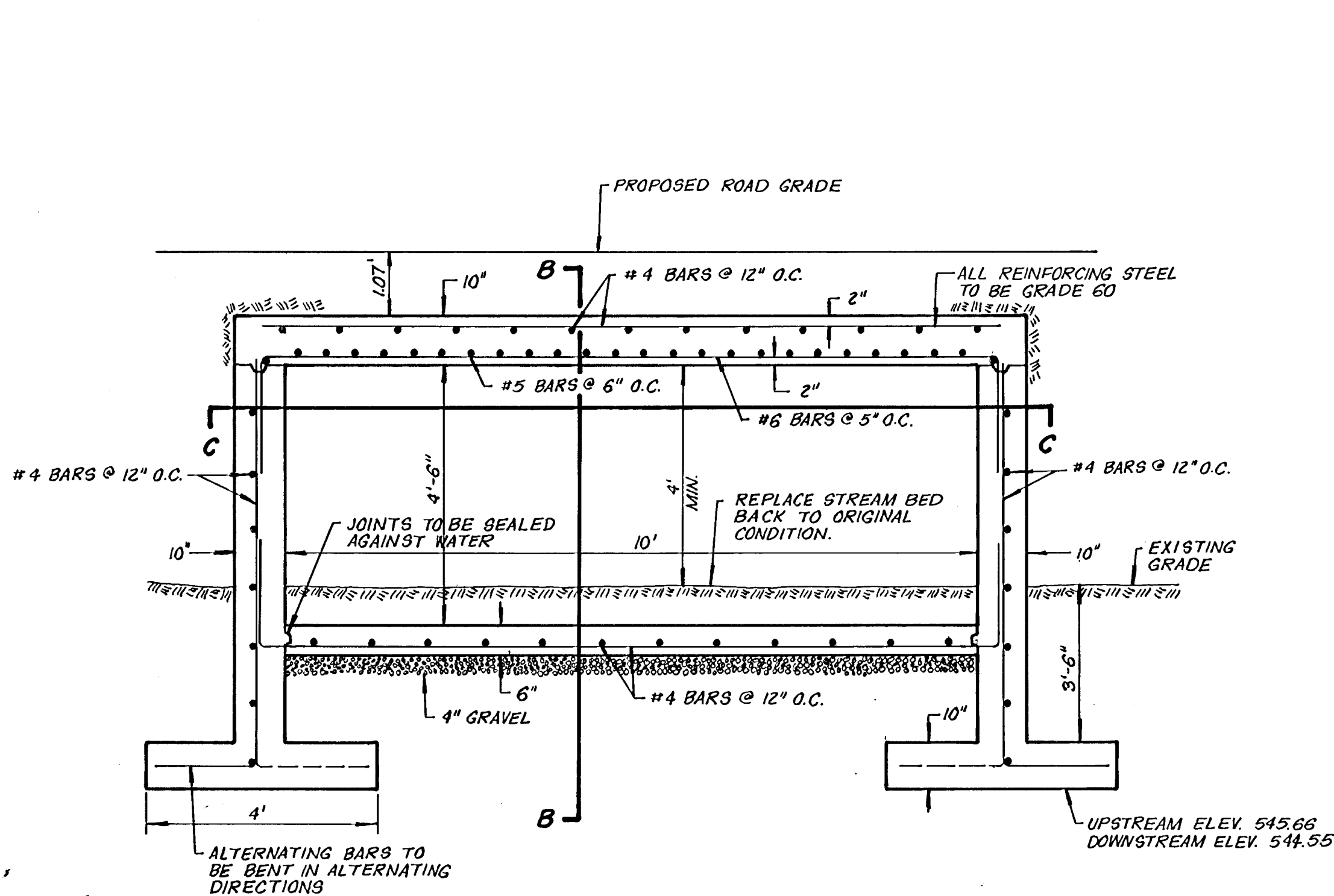
**D.O.T. SPECIFICATION
CURB**
SCALE: 1" = 1'-0"



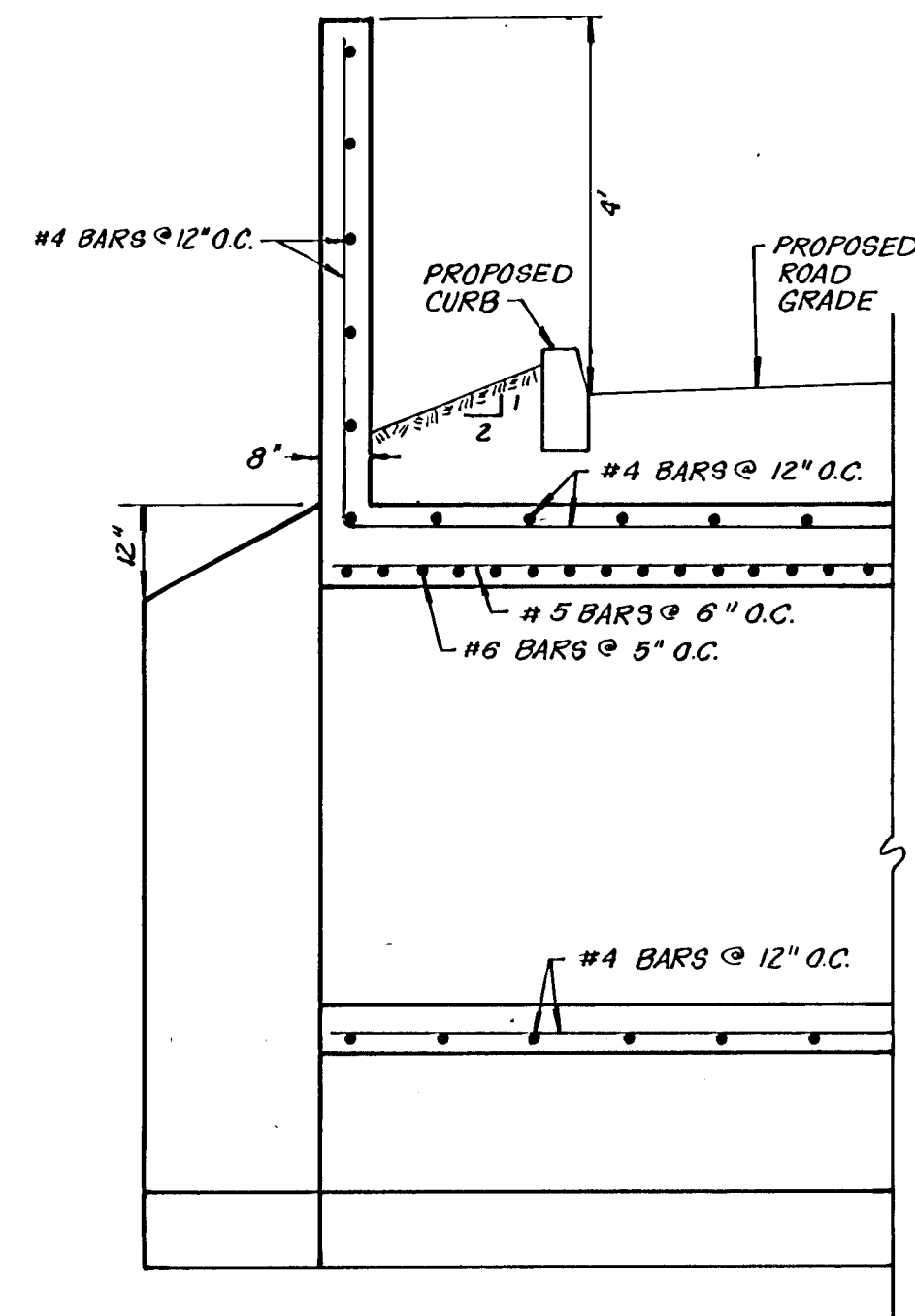
ROAD CROSS SECTION
N.T.S.



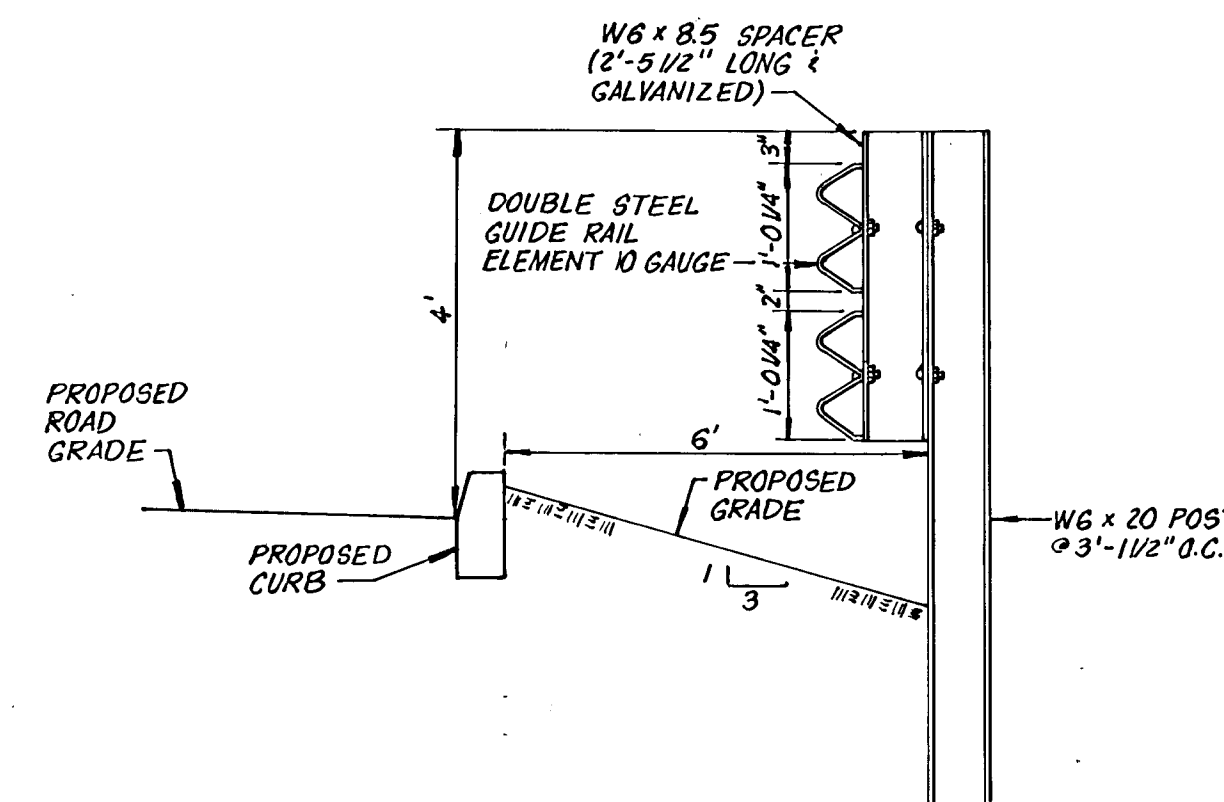
CATCH BASIN DETAIL
N.T.S.



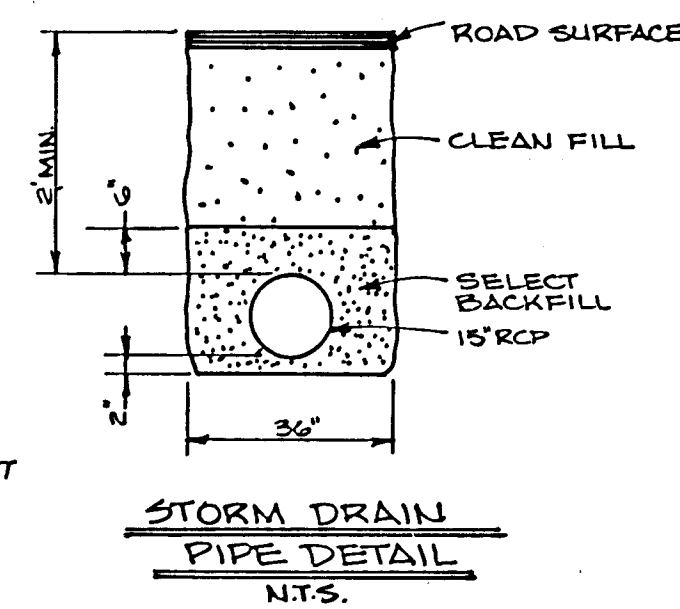
**SECTION A-A
BOX CULVERT**
SCALE: 1" = 20'



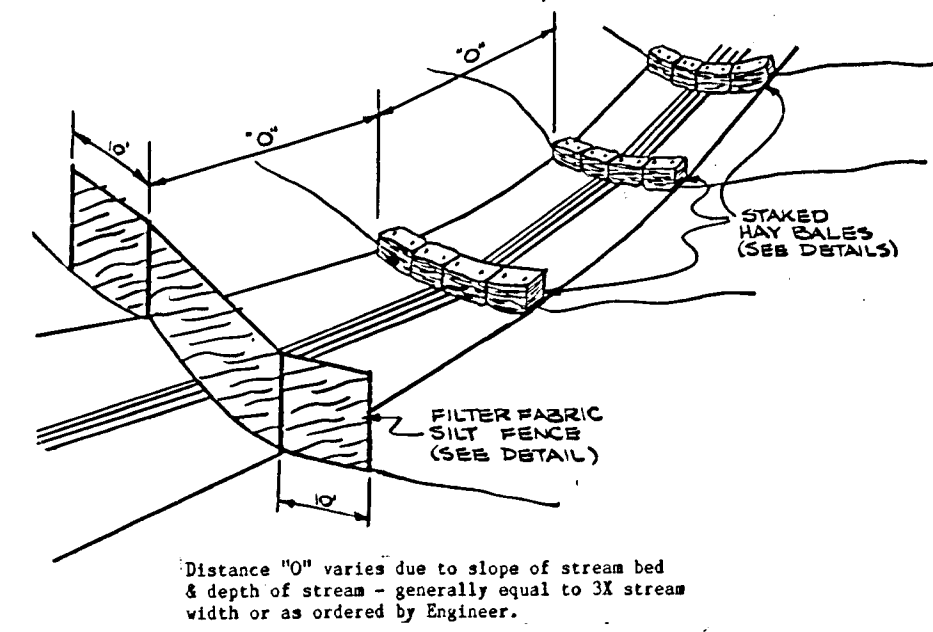
SECTION B-B



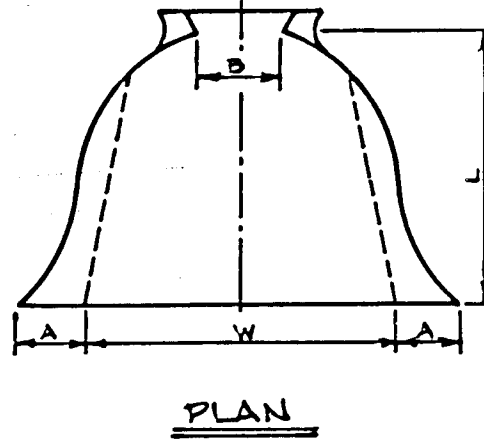
GUIDE RAIL
N.T.S.



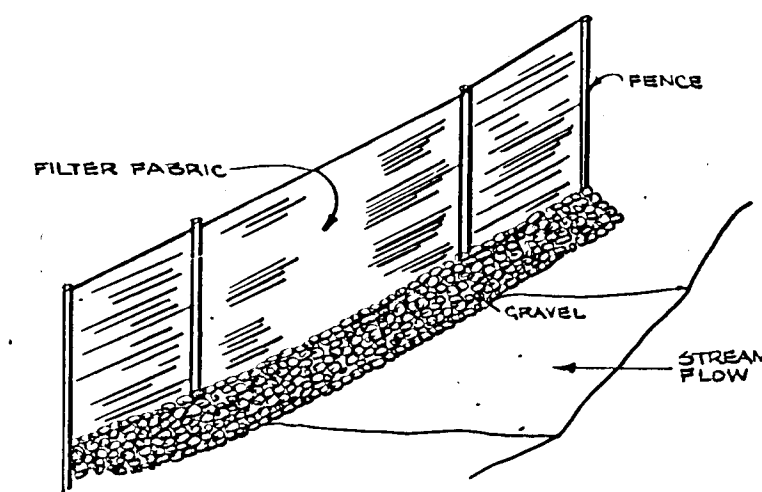
**STORM DRAIN
PIPE DETAIL**
N.T.S.



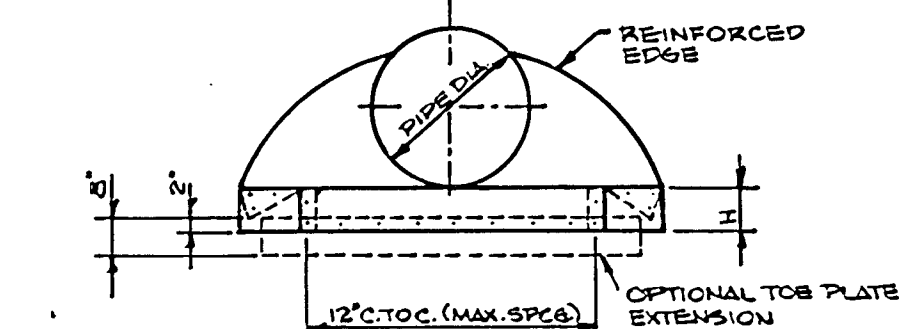
**SILT FENCE - HAYSALE
EROSION & SEDIMENT CONTROL
STANDARD ARRANGEMENT**



PLAN



SILT FENCE



ELEVATION

PIPE DIAMETER IN.	METAL THICKNESS IN.	A 3 1/4 IN.	B 1 1/2 IN.	H 1 1/2 IN.	L 2 1/2 IN.	W 2 1/2 IN.	APPROX. WEIGHT LBS.	BODY
15	0.064	7	3	6	24	30	2 1/4	1PC
30	0.073	12	6	6	31	60	2 1/2	1PC
36	0.079	14	9	9	60	72	2 3/4	2PC

FLARED END DETAILS
N.T.S.

APPROVED FOR FILING:

OWNER: AL DATE: 9/5/89

APPROVED AS A FINAL SUBDIVISION PLAT BY A RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF CHESTER ON:

CHAIRMAN: _____ DATE: _____

TOWN CLERK: _____ DATE: _____

LAKE STATION INDUSTRIAL PARK

DETAILS

TOWN OF CHESTER, ORANGE COUNTY, NEW YORK

JOHN LEHMAN, P.E.
CONSULTING ENGINEER
10 GALLOWAY HEIGHTS
WARWICK, NEW YORK
SCALE AS SHOWN DATE: FEB. 28 1989
N.Y. LIC. NO. 056653 N.Y. LIC. NO. 26030

Stream

Filter fabric is to be Hirsell 140 as manufactured by the Celanese Corporation or approved equal.

All construction activities in or around streams are to be provided with temporary erosion control structures as shown in detail, "Silt Fence-Haystack Erosion & Sediment Control Standard Arrangement", located immediately downstream from such activity. These structures are to be in place as shown prior to the start of any upstream construction activity.

Construction of temporary erosion control structures are to begin with the farthest downstream (the silt fence) and thence proceeding upstream until all four (4) structures are in place.

After construction, the temporary erosion control structures are to be removed in reverse order with the most upstream structure removed first and thence proceeding downstream to the silt fence. The silt fence is to be removed only after the stream is flowing clear downstream of the fence.

Construction activities are to begin with the farthest downstream work and proceed to activities farthest upstream.

All temporary erosion control structures are to be left in place, maintained and replaced as needed until all work upstream therefrom has been completed and all related temporary erosion control structures have been removed.

All embankments to be graded and seeded immediately upon being laid back.

General

- Construction equipment shall not unnecessarily cross live streams except by means of bridges and culverts or other approved methods.
- Wherever feasible, natural vegetation should be retained and protected.
- Only the smallest practical area of land should be exposed at any one time during development.
- When land is exposed during development, the exposure shall be kept to the shortest practical period of time.
- The permanent final vegetation and structures shall be installed as soon as practical, and as may be directed by the engineer.

Concrete Notes

- The concrete work shall comply with the latest recommendations and specifications of the American concrete institute (ACI) and the local building codes.
- All concrete shall be normal weight having a minimum compressive strength of 3,000 PSI at 28 days with the following requirements:

Portland Cement - ASTM C150, type II, minimum 6 sacks per cubic yard.

Aggregate - ASTM C33, 3/4" maximum size

Water - Potable with a maximum water cement ratio of 0.50.

- All reinforcing steel shall be grade 60.
- Reinforcement shall be securely tied in its proper place before and during pouring operations using approved chairs and spacers as required. No bars shall be cut or omitted in the field without the approval of the engineer. Use plastic tipped accessories in concrete exposed to weather, water or view.
- The concrete contractor shall install (or give other trades ample opportunity to install) all anchors, bolts, plants, nailers, slots, chases, pipe sleeves, etc., as required by other trades. The contractor shall verify all dimensions before setting screeds and forms.

- Footings shall rest on clean, sound bedrock having a minimum bearing capacity of 10,000 PSF, or on suitable undisturbed soil having a minimum bearing capacity of 3,000 PSF. Elevations of bottom of footings are shown on plans, but are subject to revision when true soil conditions are exposed by excavation. The engineer shall be notified promptly of any weak strata, water conditions or other poor bearing conditions.

- Unless otherwise noted, all footings and piers shall be centered upon supported members.

- Curing:
 - Surface shall be kept continuously moist for a minimum of 7 days or shall receive 2 coats at a time of stripping and another 3 days later of an approved curing compound.
 - Concrete temperature during the first 7 days shall be maintained between 50 and 90 degrees Fahrenheit. Rapid drying must be prevented.

- Select backfill around piers & footings:
 - An approved material free of boulders larger than 6", organic material, topsoil, and debris.
 - Place in maximum 12" level lifts & compact to 90% maximum density at optimum moisture content as defined by ASTM D-1557.
 - Piers must be at least 7 days old or have reached design strength before backfilling.

- Contractor to design, furnish and install all temporary sheeting, shoring and bracing necessary to safely complete the construction.

CHESTER INDUSTRIAL PARK
9/16/87

SECTION C-C

WATER AT 10'

LOT	PERC DEPTH 24"
LOT 1 0"-10" TOPSOIL 10"-10" BROWN PEBBLY CLAY LOAM (USE AT BOTTOM) FRAGIPAN 3'-8"	LOT 5 0"-12" TOPSOIL 12"-10" BROWN PEBBLY CLAY LOAM WITH COBBLES (3.5-10" FRAGIPAN)
LOT 2 0"-12" TOPSOIL 12"-3" ORANGE CLAY LOAM 3'-3.5" BROWN FRAGIPAN (CLAY LOAM WITH PEBBLES)	LOT 6 0"-12" TOPSOIL 12"-3" ORANGE CLAY LOAM 3'-3.5" BROWN FRAGIPAN (CLAY LOAM WITH PEBBLES)
LOT 3 0"-10" TOPSOIL 10"-10" BROWN PEBBLY CLAY LOAM (FRAGIPAN)	LOT 7 0"-8" TOPSOIL 8"-10" BROWN PEBBLY CLAY LOAM
LOT 4 0"-10" TOPSOIL 10"-10" BROWN PEBBLY CLAY LOAM	LOT 8 0"-10" TOPSOIL 10"-3" TAN CLAY LOAM 3'-10" BROWN CLAY WITH PEBBLES & COBBLES
	LOT 9 10' MIN/IN
	LOT 10 10' MIN/IN
	LOT 11 10' MIN/IN
	LOT 12 10' MIN/IN
	LOT 13 10' MIN/IN
	LOT 14 10' MIN/IN
	LOT 15 10' MIN/IN

Map # 9755
Map # 9755
Dec 8, 1989
M. Mann
Revised
J. J. J. J.
Sub 202