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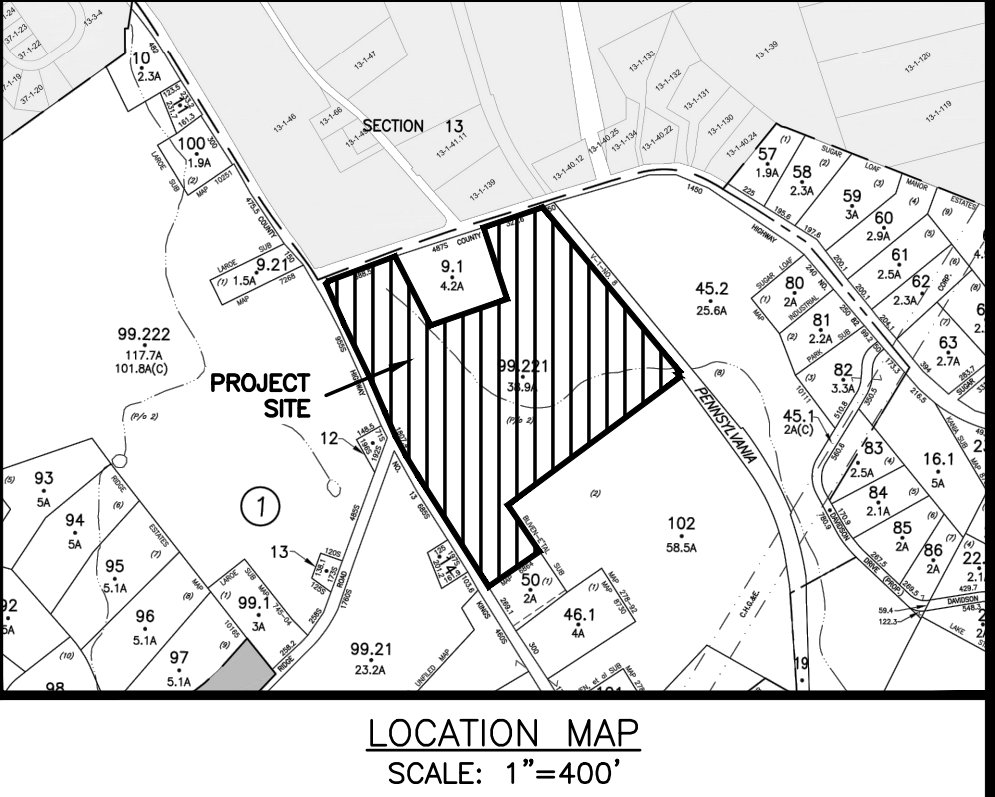
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EXISTING CONDITIONS PLAN
SCALE: 1"=100'



LEGEND:

[Symbol]	EXISTING BUILDING
[Symbol]	EXISTING EASEMENT
[Symbol]	EXISTING WATER EDGE
[Symbol]	EXISTING WETLANDS BUFFER
[Symbol]	EXISTING EDGE OF PAVEMENT
[Symbol]	EXISTING YELLOW LINE
[Symbol]	EXISTING WHITE LINE
[Symbol]	EXISTING OVERHEAD WIRE
[Symbol]	EXISTING WIRE MESH FENCE
[Symbol]	EXISTING SOIL DELINEATOR
[Symbol]	EXISTING PROPERTY LINE
[Symbol]	EXISTING ADJACENT PROPERTY LINE
[Symbol]	EXISTING POND LINE
[Symbol]	EXISTING STONE WALL
[Symbol]	EXISTING DRAINAGE LINE
[Symbol]	EXISTING MAJOR CONTOUR
[Symbol]	EXISTING MINOR CONTOUR
[Symbol]	EXISTING WETLAND
[Symbol]	STEEL BRIDGE
[Symbol]	EXISTING GUY
[Symbol]	RAIL ROAD TRUCK
[Symbol]	GRAVEL SURFACE TO BE REMOVED
[Symbol]	PERCOLATION TEST
[Symbol]	EXISTING WELL
[Symbol]	EXISTING LIGHT POLE
[Symbol]	EXISTING IRON PIPE MARKER
[Symbol]	EXISTING IRON ROD MARKER
[Symbol]	EXISTING RAILROAD SIGNAL X-ING STOP ARM
[Symbol]	EXISTING SIGN
[Symbol]	RR X-ING SIGN
[Symbol]	TREE
[Symbol]	EXISTING TREELINE
[Symbol]	CONCRETE SURFACE



- GENERAL NOTES:
- TOTAL AREA OF SUBJECT PARCEL: 38.891 +/- ACRES
 - TAX MAP IDENTIFICATION NUMBER: SECTION 17, BLOCK 1, LOT 99.221
 - DEED REFERENCE: DEED LIBER 3748, PAGE 208
 - MAP REFERENCES:
 - A MAP ENTITLED, 'SUBDIVISION OF PROPERTY FOR LANDS OF BLIVEN' BY DILLIN & SORACE ASSOCIATES DATED OCTOBER 3, 1984 AND FILED IN THE OFFICE OF THE ORANGE COUNTY CLERK ON JANUARY 9, 1985 AS MAP NUMBER 6864
 - A MAP ENTITLED, 'LEHIGH AND HUDSON RIVER RAILWAY, RIGHT OF WAY AND TRACK MAP STATION 301+35 TO STATION 195+75' DATED JUNE 30, 1918 AND FILED IN THE ORANGE COUNTY TAX MAP DEPARTMENT AS MAP NUMBER V-1-NO.8.
 - ORANGE COUNTY DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAPS ENTITLED, 'WARWICK - HESTER PART TWO, COUNTY ROAD NO. 13', SHET 3 & 4, DATED 1934 AND FILED IN THE OFFICE OF THE ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS.
 - THIS SURVEY IS SUBJECT TO THE FINDING OF AN UP TO DATE ABSTRACT OF TITLE
 - SUBJECT TO ANY UNWRITTEN AND/OR WRITTEN LICENSES, EASEMENTS, RESTRICTIONS, AND/OR AGREEMENTS OF RECORD.
 - OFFSETS OR DIMENSIONS FROM THE PROPERTY LINES TO STRUCTURES OR IMPROVEMENTS ARE SHOWN FOR THE SPECIFIC PURPOSE OF INTERPRETATION OF COMPLIANCE WITH ZONING AND ARE NOT INTENDED TO MONUMENT THE PROPERTY LINES OR TO GUIDE THE ERECTION OF FENCES OR ANY OTHER IMPROVEMENTS TO THE LAND.
 - CERTIFICATIONS ON THIS BOUNDARY SURVEY MAP SIGNIFY THAT THE MAP WAS PREPARED IN ACCORDANCE WITH THE CURRENT EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LANDS SURVEYORS, INC. THE CERTIFICATION IS LIMITED TO THE PERSONS FOR WHOM THE BOUNDARY SURVEY MAP IS PREPARED, TO THE TITLE COMPANY, TO THE GOVERNMENTAL AGENCY, AND TO THE LENDING INSTITUTION LISTED ON THIS BOUNDARY SURVEY MAP.
 - CERTIFICATIONS HERON ARE NOT TRANSFERABLE.
 - WETLANDS LIMITS SHOWN HEREON ARE BASED UPON ACTUAL FIELD LOCATION OF WETLANDS FLAGGING AND AS REFERENCED ON A MAP ENTITLED, 'SKETCH PLAN FOR CLASSIC TILE', AS PREPARED BY CIVIL TEC ENGINEERING & SURVEYING, P.C., DATED 5/10/2017.
 - UNAUTHORIZED COPIES MAY CONTAIN FRAUDULENT, INCORRECT, ERRONEOUS, OR MISLEADING INFORMATION OR OMIT IMPORTANT AND RELEVANT INFORMATION. DO NOT RELY ON UNAUTHORIZED COPIES. THE SEAL, SIGNATURE, AND CERTIFICATE ARE HEREBY REVOKED OR OTHERWISE VOID ON ALL UNAUTHORIZED COPIES. ALL ORIGINAL DOCUMENTS BEAR AN ORIGINAL IMPRESSION AND INK SIGNATURE.
 - ALL UNDERGROUND UTILITIES AND/OR IMPROVEMENTS OR THE ENCROACHMENT OF SUCH IMPROVEMENTS ARE NOT ALWAYS KNOWN AND OFTEN MUST BE ESTIMATED. IF THE ENCROACHMENT OF SUCH UNDERGROUND IMPROVEMENTS EXIST OR ARE SHOWN HEREON, THE ENCROACHMENTS OF SUCH UNDERGROUND UTILITIES AND/OR IMPROVEMENTS ARE NOT COVERED BY THIS CERTIFICATE.

ORANGE COUNTY SOIL SURVEY TABLE

SOIL CLASSIFICATION	SOIL DESCRIPTION	SOIL CHARACTERISTIC	SLOPE
Ab	ALDEN SILT LOAM	POORLY DRAINED	0 - 3 %
BnC	BATH-NASSAU SHALY SILT LOAM	WELL DRAINED	8 - 15 %
ErB	ERIE GRAVELLY SILT LOAM	SOMEWHAT POORLY DRAINED	3 - 8 %
Ma	MADALIN SILT LOAM	POORLY DRAINED	0 - 3 %
MdB	MARDIN GRAVELLY SILT LOAM	MODERATELY WELL DRAINED	3 - 8 %
MdD	MARDIN GRAVELLY SILT LOAM	MODERATELY WELL DRAINED	15 -25 %

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REVISION	BY	DATE	DESCRIPTION

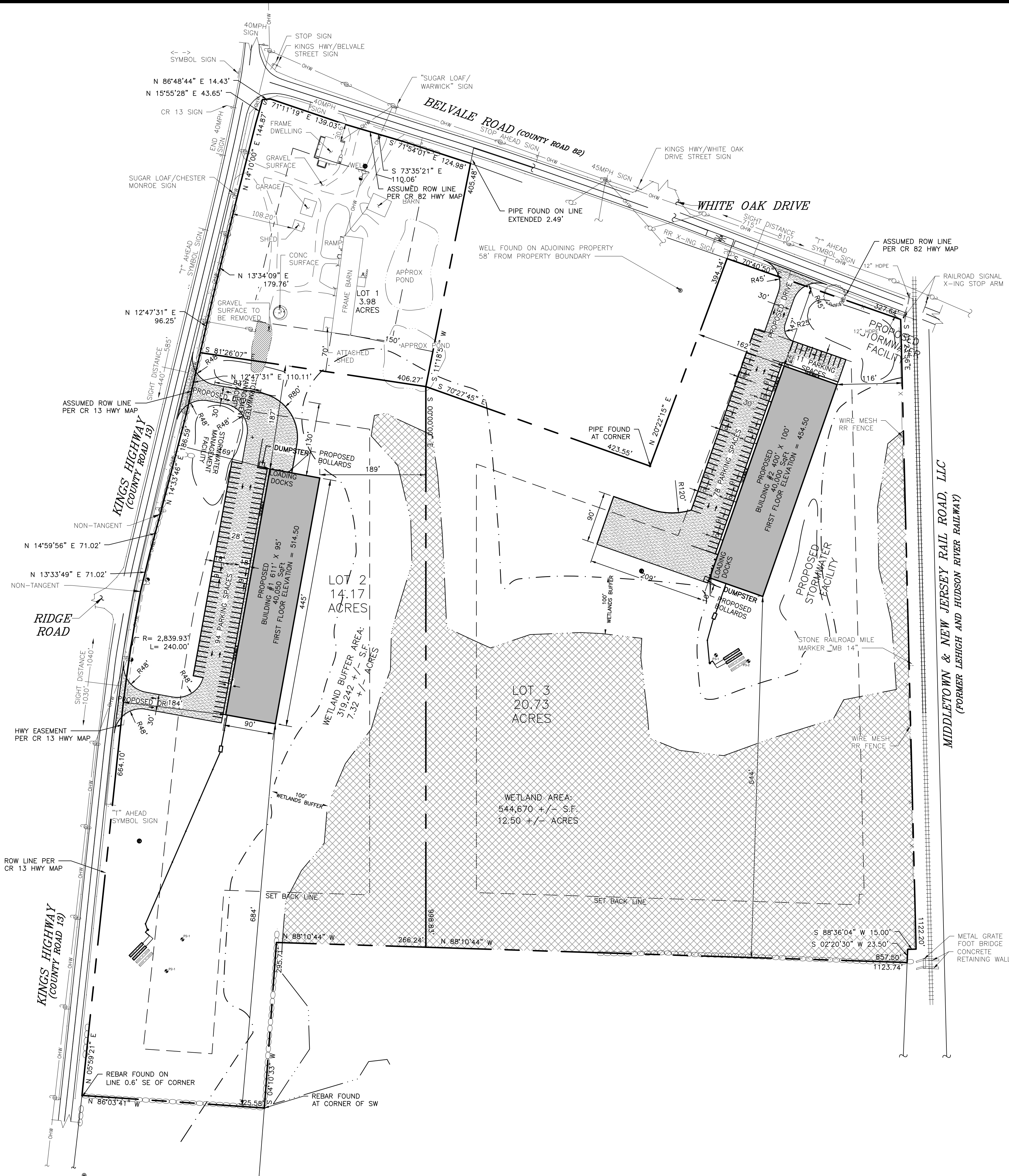
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SUBDIVISION & SITE PLAN FOR
1251 KINGS HIGHWAY LLC
1251 KINGS HWY
CHESTER, NY 10918

EXISTING CONDITIONS PLAN

JOB#:
18-029
SCALE:
AS NOTED
DATE:
01-21-19
DRAWN:
MM
CHECKED:
MM
SHEET NO:
01 of 07



LEGEND:

	DUMPSTER LINE
	ZONING SET BACK LINE
	PROPOSED BUILDING
	PROPOSED EDGE OF PAVEMENT
	EXISTING BUILDING
	EXISTING WATER EDGE
	EXISTING WETLANDS BUFFER
	EXISTING EDGE OF PAVEMENT
	EXISTING YELLOW LINE
	EXISTING WHITE LINE
	EXISTING OVERHEAD WIRE
	EXISTING PROPERTY LINE
	EXISTING ADJACENT PROPERTY LINE
	EXISTING POND LINE
	EXISTING STONE WALL
	EXISTING WETLAND
	EXISTING GUY
	GRAVEL SURFACE TO BE REMOVED
	PERCOLATION TEST
	EXISTING WELL
	EXISTING LIGHT POLE
	EXISTING IRON PIPE MARKER
	EXISTING IRON ROD MARKER
	EXISTING SIGN

ZONING BULK TABLE
IP DISTRICT (INDUSTRIAL PARK)

	REQUIRED (MINIMUM)	PROPOSED		
		LOT 1	LOT 2	LOT 3
LOT AREA	2 ACRES	3.98 ACRES	14.17 ACRES	20.73 ACRES
LOT WIDTH	200 FT.	456.9 FT.	1,340.6 FT.	385.9 FT.
FRONT YARD	75 FT.	108.2 FT. EXISTING	169.0 FT.	147.0 FT.
SIDE YARD (1)	70 FT.	30.6 FT. EXISTING	187.0 FT.	116.0 FT.
SIDE YARD (BOTH)	140 FT.	100.9 FT.	871.0 FT.	278.0 FT.
REAR YARD	75 FT.	149.6 FT. EXISTING	189.0 FT.	644.0 FT.
BUILDING HEIGHT (MAX.)	45 FT.	26.8 FT. EXISTING	45 FT.	45 FT.
LOT COVERAGE (MAX)	40%	5.6%	14.9%	10.4%
DISTURBED AREA			3.13 ACRES	2.84 ACRES

PARKING REQUIREMENTS
WAREHOUSE OR WHOLESALE ESTABLISHMENT
1 PER 500 SQUARE FEET OF GROSS FLOOR AREA

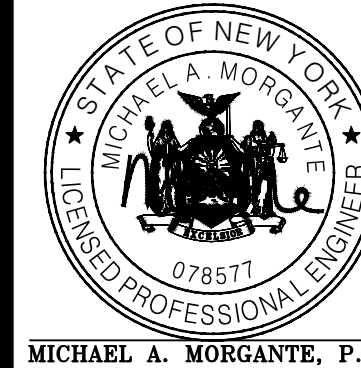
LOT 2: 40,050 SF/500 SF/SPACE=80 SPACES REQUIRED
94 SPACES PROVIDED

LOT 3: 40,000 SF/500 SF/SPACE=80 SPACES REQUIRED
89 SPACES PROVIDED



REVISION	BY	DATE	DESCRIPTION

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MICHAEL A. MORGANTE, P.E.
LIC. NO. 78577

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SUBDIVISION & SITE PLAN FOR
1251 KINGS HIGHWAY LLC
1251 KINGS HWY
CHESTER, NY 10918

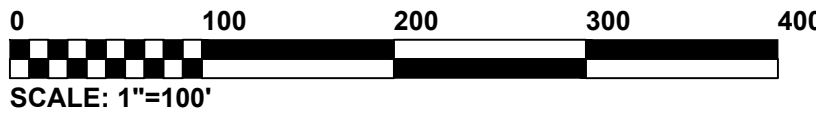
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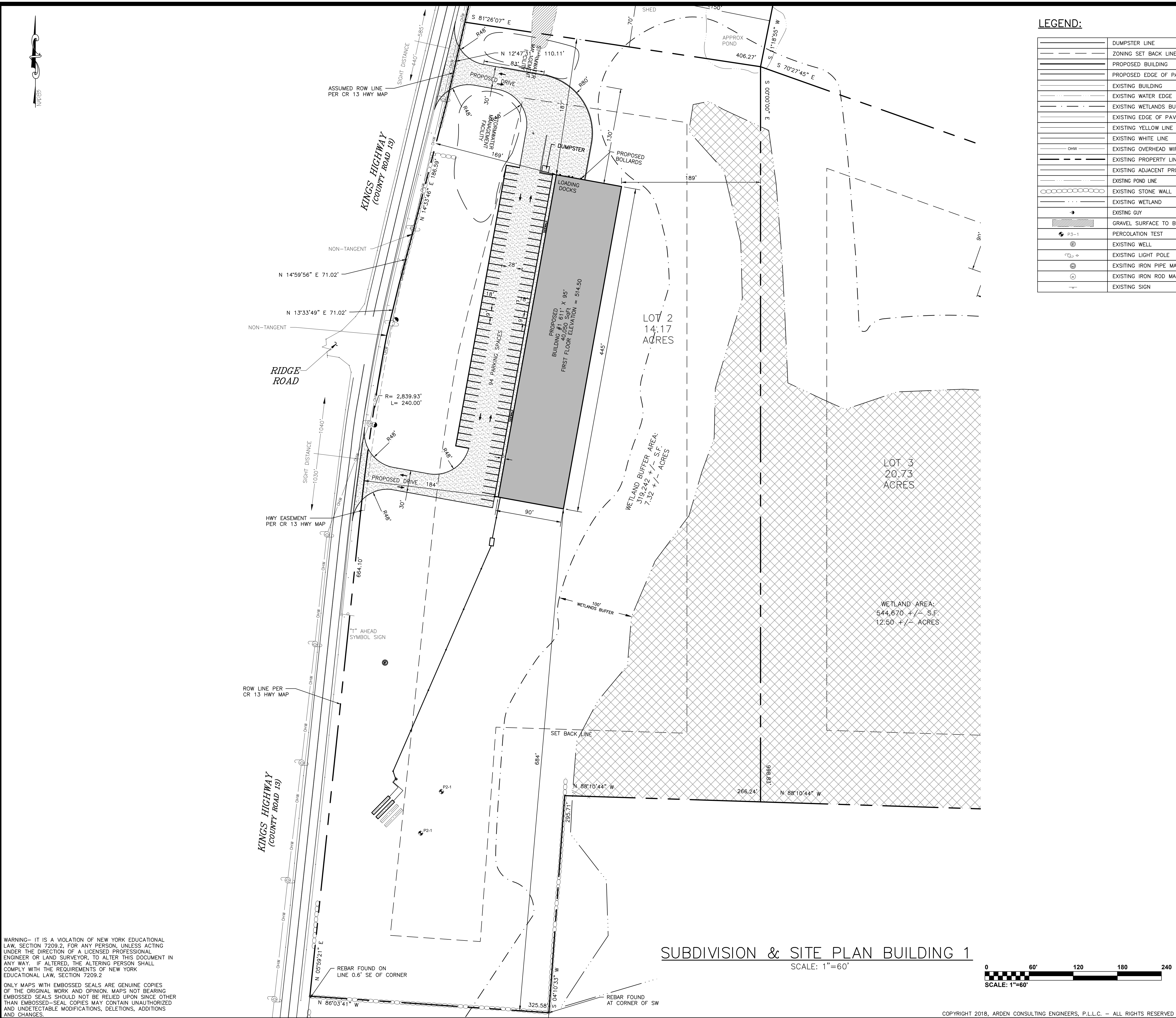
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SUBDIVISION & SITE PLAN
SCALE: 1"=100'





LEGEND:

	DUMPSTER LINE
	ZONING SET BACK LINE
	PROPOSED BUILDING
	PROPOSED EDGE OF PAVEMENT
	EXISTING BUILDING
	EXISTING WATER EDGE
	EXISTING WETLANDS BUFFER
	EXISTING EDGE OF PAVEMENT
	EXISTING YELLOW LINE
	EXISTING WHITE LINE
	EXISTING OVERHEAD WIRE
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	EXISTING POND LINE
	EXISTING STONE WALL
	EXISTING WETLAND
	EXISTING GUY
	GRAVEL SURFACE TO BE REMOVED
	PERCOLATION TEST
	EXISTING WELL
	EXISTING LIGHT POLE
	EXISTING IRON PIPE MARKER
	EXISTING IRON ROD MARKER
	EXISTING SIGN

ZONING BULK TABLE

IP DISTRICT (INDUSTRIAL PARK)

	REQUIRED (MINIMUM)	PROPOSED		
		LOT 1	LOT 2	LOT 3
LOT AREA	2 ACRES	3.98 ACRES	14.17 ACRES	20.73 ACRES
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DISTURBED AREA			3.13 ACRES	2.84 ACRES

PARKING REQUIREMENTS

WAREHOUSE OR WHOLESALE ESTABLISHMENT
1 PER 500 SQUARE FEET OF GROSS FLOOR AREA

LOT 2: 40,050 SF/500 SF/SPACE=80 SPACES REQUIRED
94 SPACES PROVIDED

LOT 3: 40,000 SF/500 SF/SPACE=80 SPACES REQUIRED
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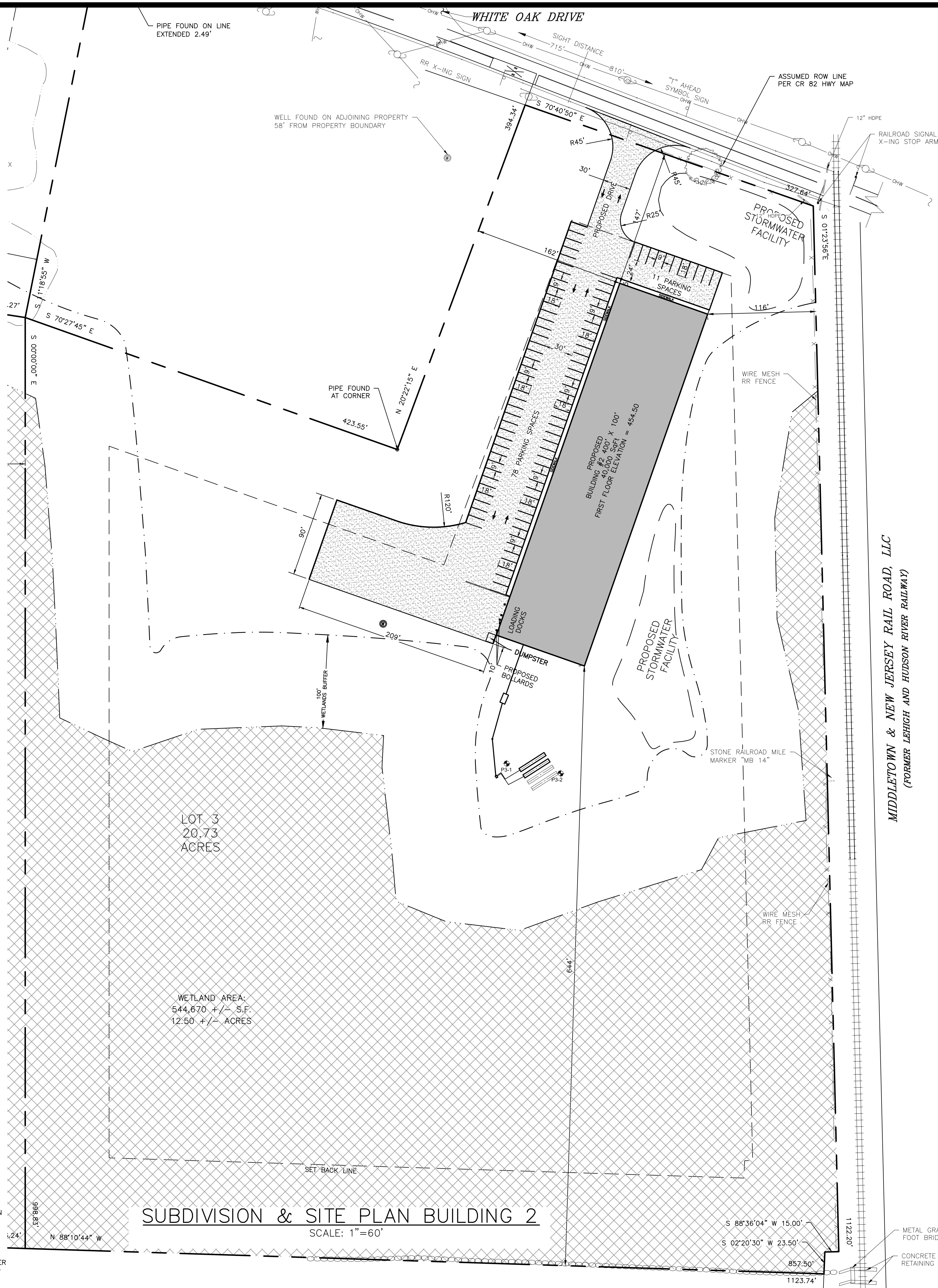
SUBDIVISION & SITE PLAN FOR
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SUBDIVISION & SITE PLAN
BUILDING 1

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	ZONING SET BACK LINE
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	PROPOSED EDGE OF PAVEMENT
	EXISTING BUILDING
	EXISTING WATER EDGE
	EXISTING WETLANDS BUFFER
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	STEEL BRIDGE
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	RAIL ROAD TRUCK
	GRAVEL SURFACE TO BE REMOVED
	PERCOLATION TEST
	EXISTING WELL
	EXISTING LIGHT POLE
	EXISTING IRON PIPE MARKER
	EXISTING IRON ROD MARKER
	EXISTING SIGN
	RR X-ING SIGN

ZONING BULK TABLE
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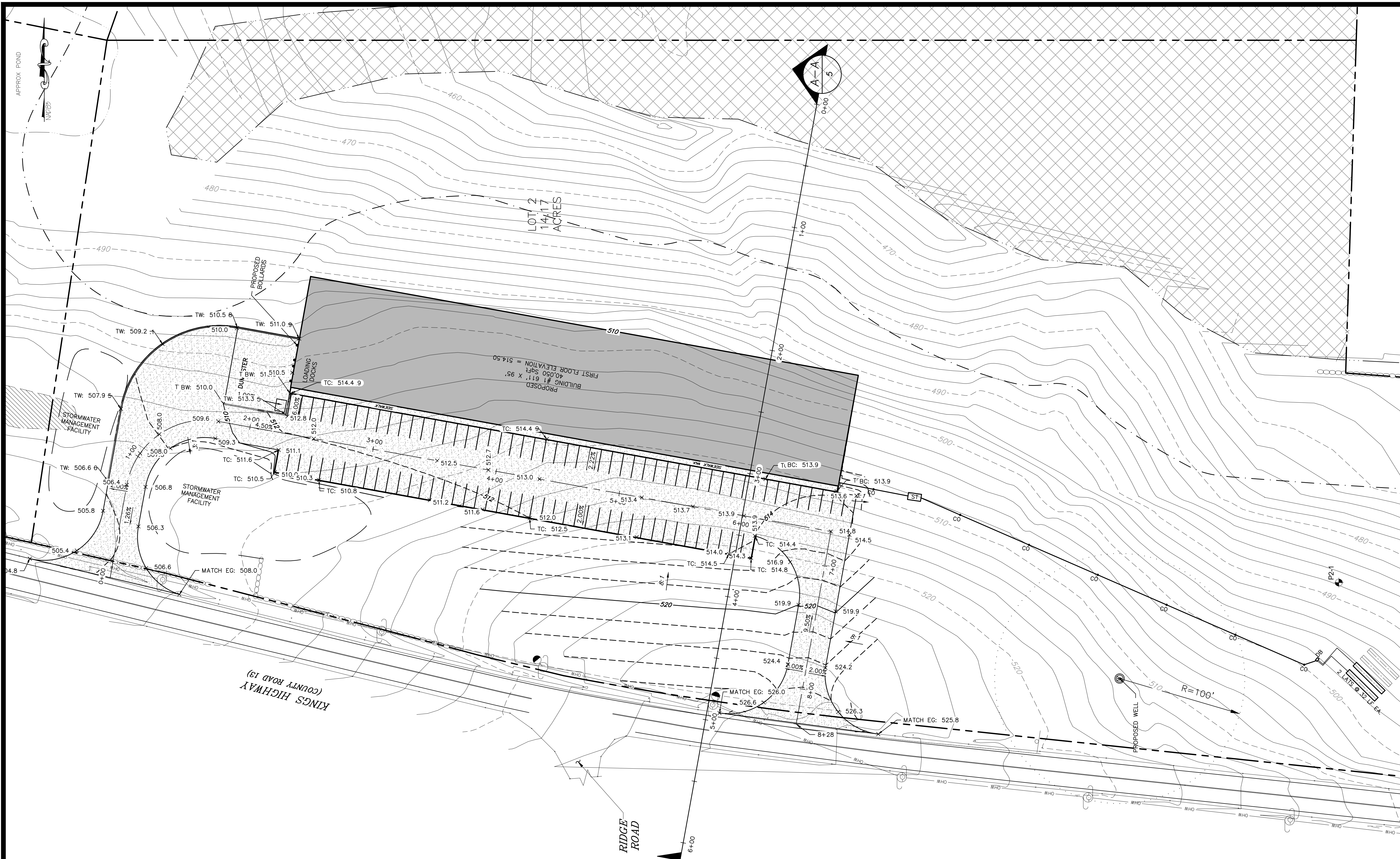
SUBDIVISION & SITE PLAN FOR
1251 KINGS HIGHWAY LLC
1251 KINGS HWY
CHESTER, NY 10918

SUBDIVISION & SITE PLAN
BUILDING 2

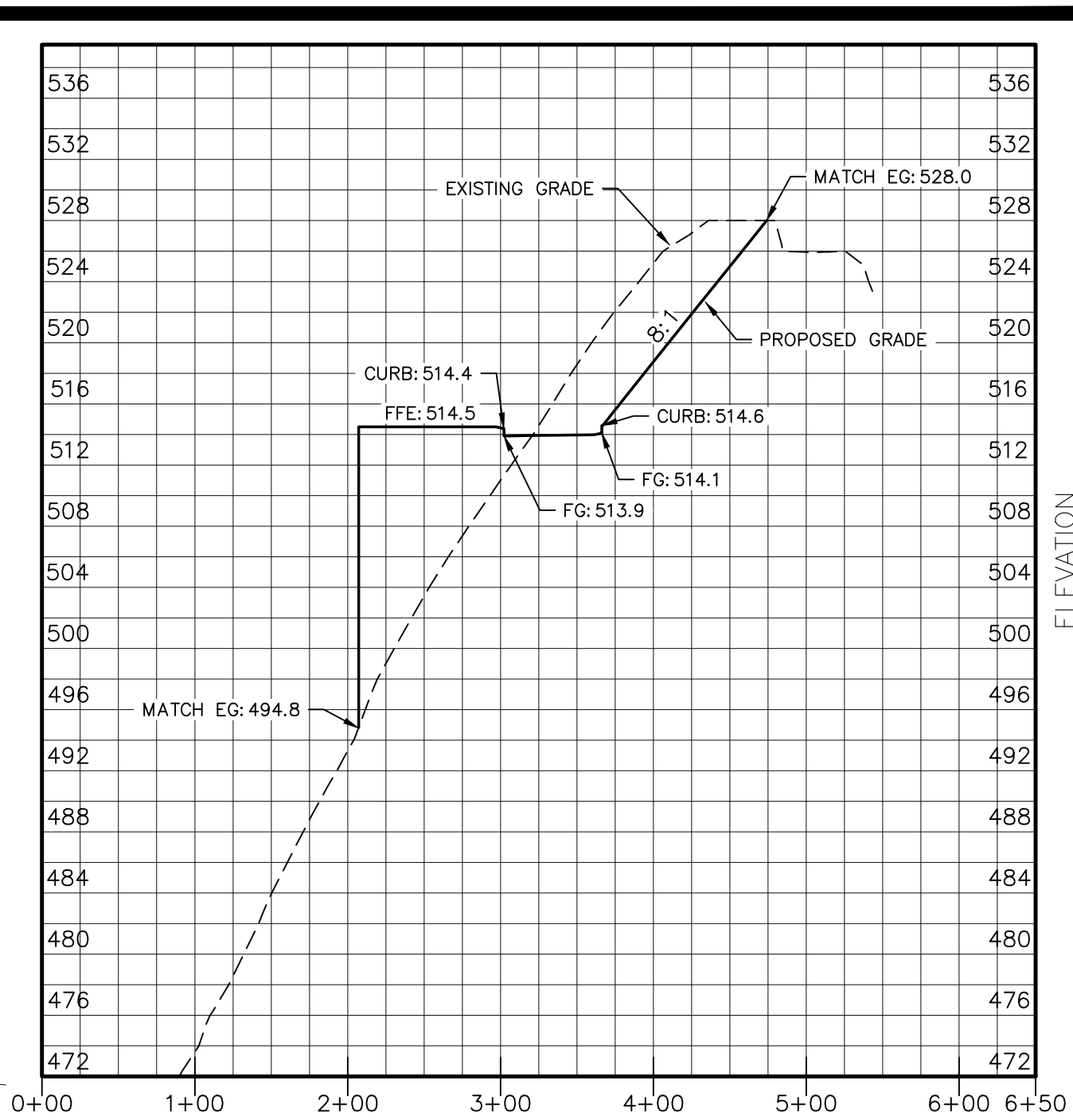
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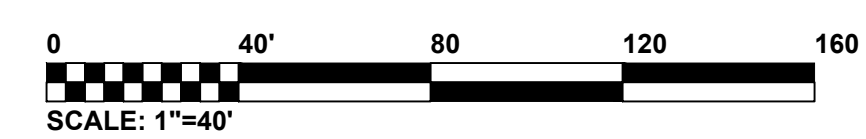
GRADING AND UTILITY PLAN BUILDING 1
SCALE: 1"=40'



SITE CROSS SECTION A-A
HORIZONTAL: 1"=100'
VERTICAL: 1"=10'

LEGEND:

	EXISTING BUILDING
	EXISTING WATER EDGE
	EXISTING WETLANDS BUFFER
	EXISTING EDGE OF PAVEMENT
	EXISTING YELLOW LINE
	EXISTING WHITE LINE
	EXISTING OVERHEAD WIRE
	EXISTING PROPERTY LINE
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	EXISTING STONE WALL
	EXISTING MAJOR CONTOUR
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	EXISTING DRAINAGE LINE
	EXISTING GUY
	GRAVEL SURFACE TO BE REMOVED
	EXISTING RAILROAD SIGNAL
	EXISTING STOP ARM
	PERCOLATION TEST
	EXISTING WELL
	EXISTING LIGHT POLE
	EXISTING IRON PIPE MARKER
	EXISTING IRON ROD MARKER
	EXISTING SIGN
	PROPOSED WELL
	PROPOSED BUILDING
	PROPOSED EDGE OF PAVEMENT
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED SPOT GRADE



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SUBDIVISION & SITE PLAN FOR
1251 KINGS HIGHWAY LLC
1251 KINGS HWY
CHESTER, NY 10918

GRADING AND UTILITY PLAN
BUILDING 1

JOB#: 18-029
SCALE: AS NOTED
DATE: 01-21-19
DRAWN: MM
CHECKED: MM
SHEET NO. 05 of 07

PERCOLATION TEST

LOT 2		LOT 3	
PERC. No. 1		PERC. No. 1	
FIRST RUN	1:50 MIN.	FIRST RUN	1:26 MIN.
SECOND RUN	2:21 MIN.	SECOND RUN	1:55 MIN.
THIRD RUN	2:22 MIN.	THIRD RUN	2:17 MIN.
PERC. No. 2		PERC. No. 2	
FIRST RUN	0:50 MIN.	FIRST RUN	1:54 MIN.
SECOND RUN	0:52 MIN.	SECOND RUN	2:40 MIN.
THIRD RUN	1:05 MIN.	THIRD RUN	2:56 MIN.
FOURTH RUN	1:09 MIN.	FOURTH RUN	3:04 MIN.

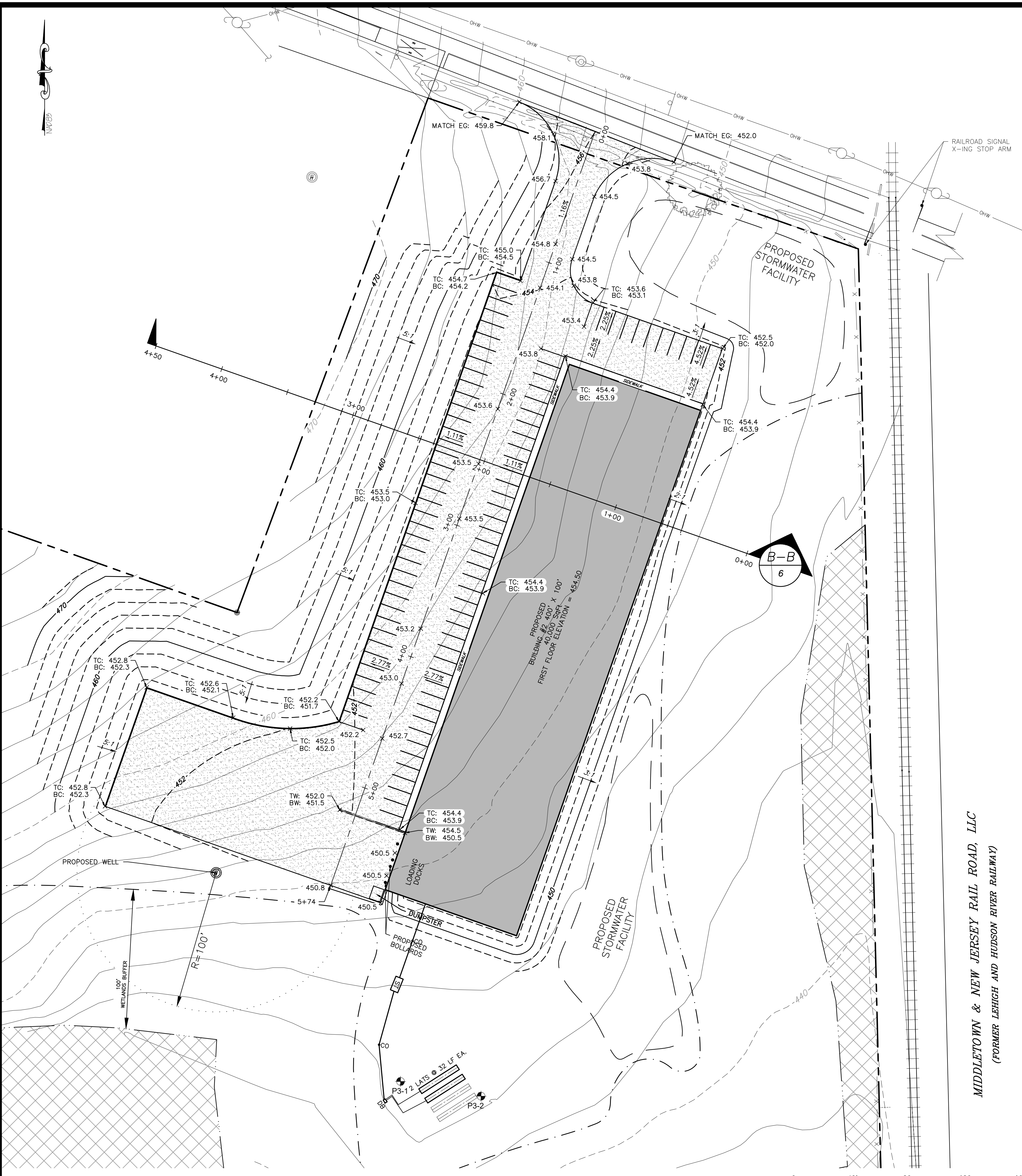
SEPTIC SYSTEM DESIGN CRITERIA:

- HYDRAULIC RATE PER EMPLOYEE/SHIFT = 15 GPD
- SEPTIC TANK DESIGN: 1.5*Q = 1.5*450 GPD = 675 GALLONS
USE A 1,000 GALLON SEPTIC TANK
- MAX. STABILIZED PERCOLATION RATE: 2:22 MIN/IN
DESIGN RATE: 1-5 MIN/IN.
- FLOW RATE (GAL/DAY): 450 GPD FOR 30 EMPLOYEES WITH ONE WORK SHIFT
- ELJEN DESIGN PER 2014 NYSDEC DESIGN STDS. FOR INTERMEDIATE SIZED WTS

- 1.2 GPD/SF APPLICATION RATE
- DESIGN FLOW=450 GPD
- 450 GPD/1.2 GPD/SF = 375 S.F.
- USING 6 SF/LF YIELDS 62.5 LF
- DIVIDING BY 4 LF/ELJEN UNIT
YIELDS 15.625 UNITS-SAY 16 UNITS
- PROVIDED: 2 LAYS. @ 8 UNITS PER LATERAL
=64 LF W/ 100% EXPANSION

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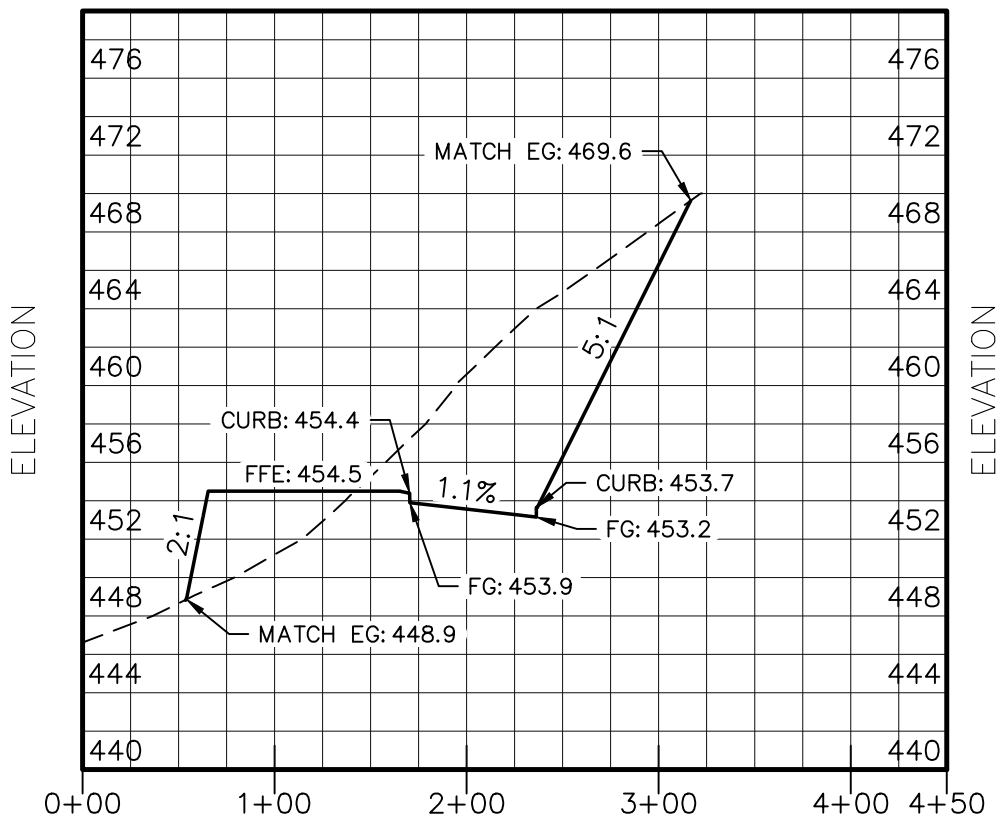
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	PROPOSED SPOT GRADE

PERCOLATION TEST

LOT 2		LOT 3	
PERC. No. 1		PERC. No. 1	
FIRST RUN	1:50 MIN.	FIRST RUN	1:26 MIN.
SECOND RUN	2:21 MIN.	SECOND RUN	1:55 MIN.
THIRD RUN	2:22 MIN.	THIRD RUN	2:17 MIN.
PERC. No. 2		PERC. No. 2	
FIRST RUN	0:50 MIN.	FIRST RUN	1:54 MIN.
SECOND RUN	0:52 MIN.	SECOND RUN	2:40 MIN.
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SEPTIC SYSTEM DESIGN CRITERIA:

1. HYDRAULIC RATE PER EMPLOYEE/SHIFT = 15 GPD
2. SEPTIC TANK DESIGN: $1.5 \times Q = 1.5 \times 450 \text{ GPD} = 675 \text{ GALLONS}$
USE A 1,000 GALLON SEPTIC TANK
3. MAX. STABILIZED PERCOLATION RATE: 2:22 MIN/IN
DESIGN RATE: 1-5 MIN/IN.
4. FLOW RATE (GAL/DAY): 450 GPD FOR 30 EMPLOYEES WITH ONE WORK SHIFT
5. ELJEN DESIGN PER 2014 NYSDEC DESIGN STDS. FOR INTERMEDIATE SIZED WTS
 - 1.2 GPD/SF APPLICATION RATE
 - DESIGN FLOW=450 GPD
 - 450 GPD/1.2 GPD/SF = 375 S.F.
 - USING 6 SF/LF YIELDS 62.5 LF
 - DIVIDING BY 4 LF/ELJEN UNIT
 - YIELDS 15.625 UNITS-SAY 16 UNITS
 - PROVIDED: 2 LATS. @ 8 UNITS PER LATERAL
 - =64 LF w/ 100% EXPANSION



SITE CROSS SECTION B-B

HORIZONTAL: 1"=100'
VERTICAL: 1"=10'

Dig Safely. New York
Call 811
before you dig

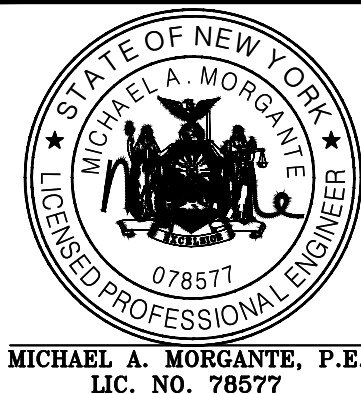
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WWW.ARDENCONSULTING.NET



SUBDIVISION & SITE PLAN FOR
1251 KINGS HIGHWAY LLC
1251 KINGS HWY
CHESTER, NY 10918

GRADING AND UTILITY PLAN
BUILDING 2

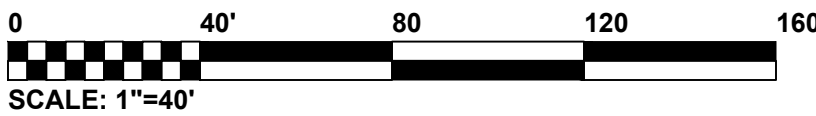
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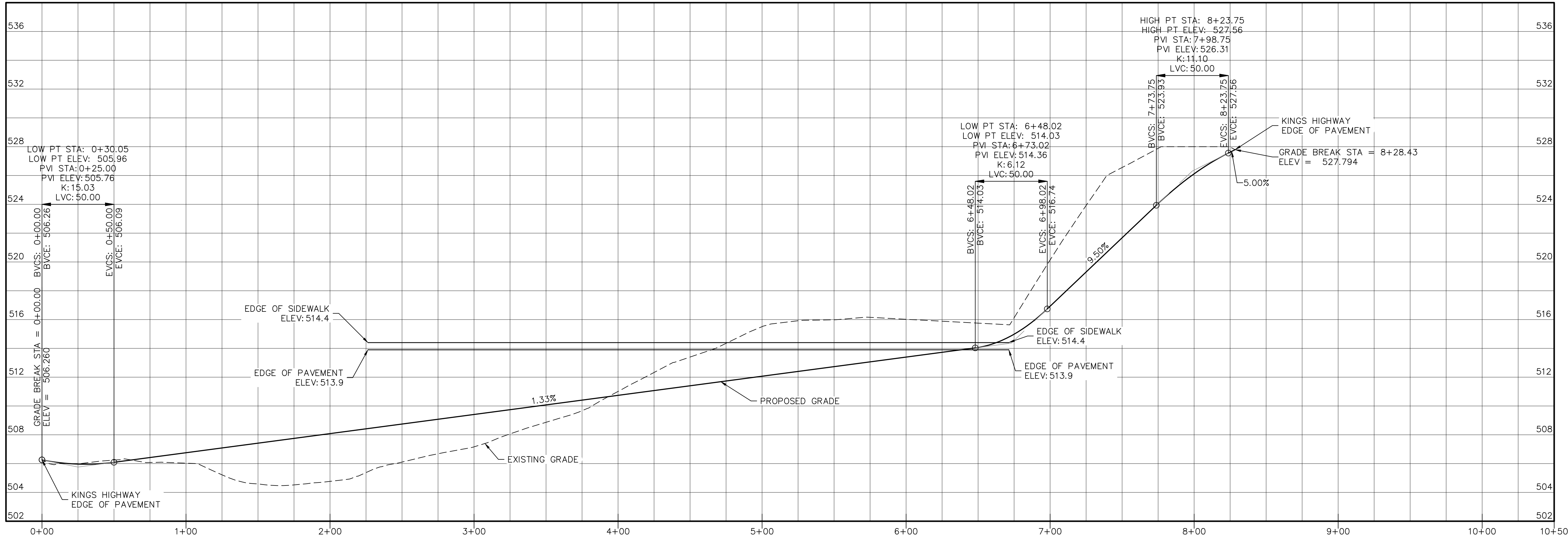
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GRADING AND UTILITY PLAN BUILDING 2

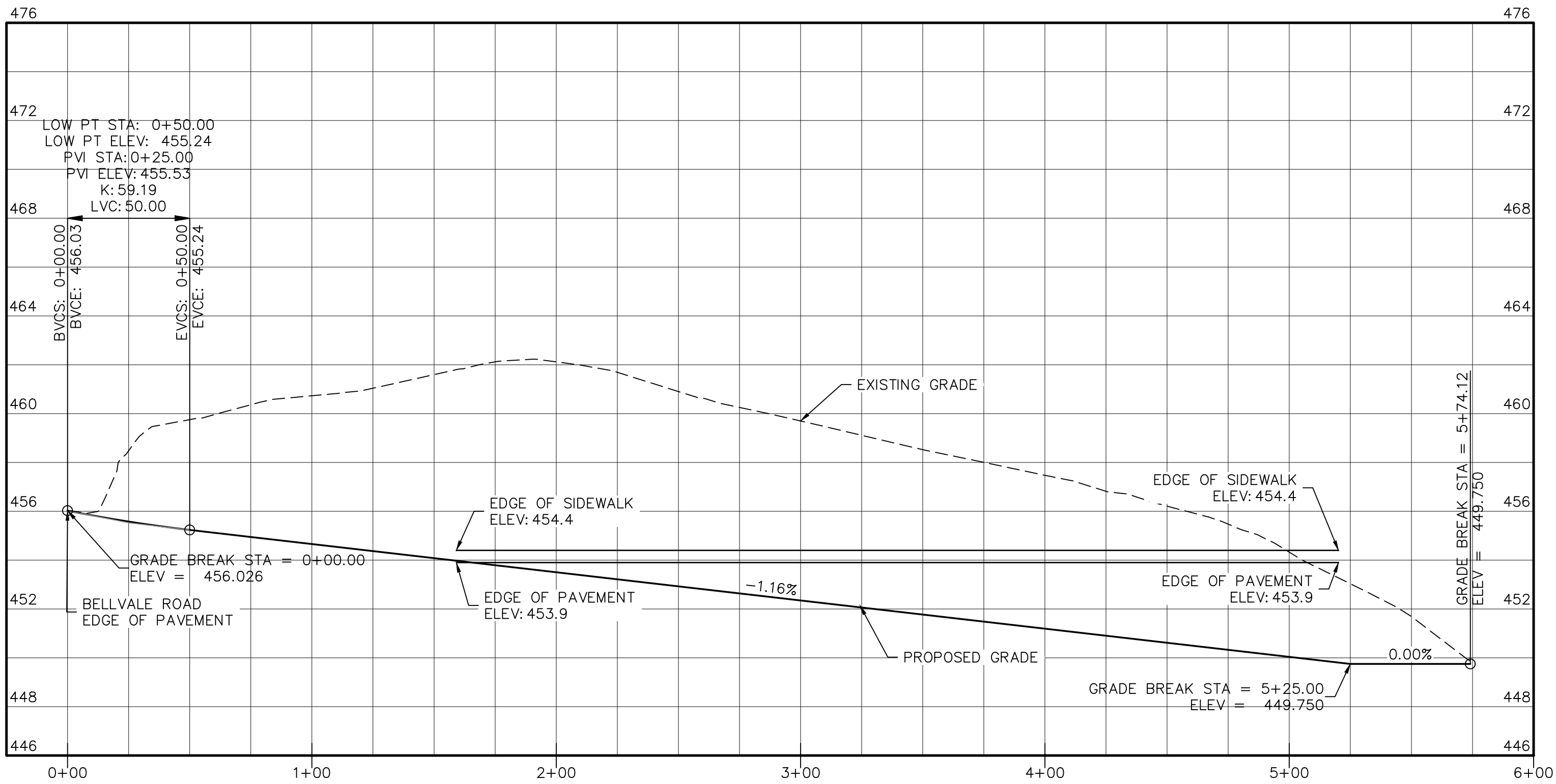
SCALE: 1"=40'





DRIVEWAY PROFILE BUILDING 1

HORIZONTAL: 1"=40'
VERTICAL: 1"=4'



DRIVEWAY PROFILE BUILDING 2

HORIZONTAL: 1"=40'
VERTICAL: 1"=4'

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CHESTER, NY 10918

ROAD PROFILES

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