

PROJECT:
TIN BARN
PHASE I

CLIENT:

This set of drawings indicates the general scope of the project in terms of the Architectural design concept, the dimensions of the building, the structural system, the electrical outlets and fixture locations are an outline of major Architectural elements of construction. As a "general scope" document, these drawings do not necessarily indicate or describe all the work required for the full performance and completion of the project. Prices will vary, based on the understanding that the contractor, sub-contractor and/or material suppliers are to furnish all items required for proper completion of the work without adjustment to contract or subcontract price. It is intended that the work be of sound, quality construction in full compliance with all governing codes and ordinances. The contractor, subcontractor, and material suppliers shall be solely responsible for the inclusion of adequate amounts to cover installation of all items indicated, described or implied.

2. All contractors shall hold to the intent of the drawings to provide a complete and finished work, tested and guaranteed for a minimum of one year from the time of completion and ready for occupancy, including all necessary items required, regardless of whether specifically called for or not on the drawing and do all repair work and replacement as may be necessary during that period at the contractors' expense.

3. The contractor is to have all necessary permits and inspections including but not limited to building and occupancy permits. This also includes fees for driveway permits, testing, electrical inspections, sanitary system inspections, plumbing inspections, Misc. building inspection fees, filing fees, etc. A Certificate of Occupancy must be obtained by the contractor for the completion of the work. All work shall conform to the requirements of the governing codes having jurisdiction.

4. In case of discrepancies between the notes and drawings, code requirements shall govern.

5. Dimensions shown are face of new work unless otherwise noted, face of existing surfaces and to the face of all existing surfaces that are to remain unless noted otherwise. Verify actual conditions before beginning construction. Contractor is responsible for insuring that the framing dimensions will produce the finish floor plans as shown in the drawings. Contractor to have all changes approved in writing by Architect.

7. It shall be understood that information appearing on one drawing appears on all drawings whether shown or not.

8. Do not rely on dimensions from the drawings. All written or dimensioned information takes precedence over the scale of the drawing.

9. All contractors are to keep a full set of complete and up to date plans and specifications available at the job site at all times.

10. The Architect shall be the sole interpreter of the scope documents. Decisions of the Architect as to items of work included within the "scope" of these drawings shall be final.

11. All contractors are to familiarize themselves with the conditions of the site and construction documents prior to submitting a bid. All contractors are to verify all conditions on site and report any discrepancies to the Architect prior to starting the work.

12. All contractors shall check all dimensions, assemblies, etc. and report to the Architect in writing any inconsistencies prior to starting work, ordering materials, or fabricating shop-built items. In case of discrepancies or conflicts, notify Architect prior to ordering and installation.

13. Details and criteria used in the design of specialty structural systems (i.e. curtain-wall, fire stairs, architectural precast concrete, metal panels, etc.) to be determined by a third-party engineer contracted by the specialty structural system in accordance with code requirements of governing jurisdiction. Specialty engineer is responsible for all connections of these systems to the superstructure, including, but not limited to, engineering, detailing, and installation. If alteration to the superstructure is required as determined by the engineer of record to reinforce for high concentrated forces applied to the specialty system connection, the reinforcement and cost shall be borne by the contractor. The contractor shall submit a shop drawing of the specialty connection to the Architect for review. All changes and substitutions shall be requested in writing and approved in writing by the owner and the Architect.

15. All contractors shall provide the owner, Architect and authorities having jurisdiction with certificates of insurances and licenses prior to starting work.

16. All work shall be performed by mechanics skilled in their respective trades.

17. No workers shall be under the influence of drugs, alcohol or other substances that may impair their work or judgment while on the job site.

18. Contractor is responsible for having all subcontractors coordinate their work with the work of the other trades and is responsible for the coordination of all trades and work including work not in the contract as well as work performed by separate sub-contractors retained by the owner under separate agreement. All such work not in contract shall be reviewed with the Architect prior to the commencement of construction.

19. The contractor shall give the Architect notice 48 hours in advance with any substantial issues.

20. All contractors are to uncover work to provide for an inspection or installation of ill-timed work. Remove and replace all work not conforming to requirements of the contract documents at the contractors own cost.

21. If the contractor has any issues or concerns regarding the drawings, they must bring them up immediately in writing, unauthorized work or work done contrary to the intent of the contract documents. Such work shall be replaced, repaired or removed at the contractor's expense.

22. Shop drawings, where required, must be reviewed and approved for design intent by the Architect prior to the start of fabrication of those items.

23. All contractors are responsible for initiating, maintaining, and supervising all safety precautions and programs necessary for successful completion of the work and as required by law.

24. Substitutions equal to the items specified will be considered only when required by code or insurance, when proven unavailable or unsafe, or when a manufacturer refuses to certify performance, when it would be substantially to the owner's best interest in terms of cost, time or other consideration. All substitutions shall be approved in writing by the Architect in advance of their purchase or installation by the contractor.

25. Furnish shop drawings, samples and project data when noted for review and approval by the Architect after their purchase and certifying compliance with the contract documents.

26. Provide temporary facilities and controls required for the work, including, but not limited to temporary utilities such as heat, water, electricity, telephone, field office, sanitary facilities, enclosures such as tarpaulins, barricades and canopies. G.O.s to provide necessary safety protections for the general public at all times.

27. All contractors are to review documents with Architect and the Owner and submit, in writing, a description of responsibilities regarding all owner supplied items, including materials and details prior to commencement of construction.

28. The contractor shall verify with the Owner the locations of any and all underground utilities, and septic installations prior to the commencement of construction.

29. No drawings are intended to make recommendations regarding the detection or removal of asbestos, lead or any and all other hazardous substances, or the likelihood of their presence on the site. Asbestos and lead detection and removal is the responsibility of the owner. If any friable asbestos, or asbestos related substances are discovered to be present, the Contractor shall immediately notify the Owner directly giving precise details, locations, etc. The Owner shall at his own expense retain the services of a licensed/certified asbestos abatement contractor to investigate, identify, and remove all possible hazardous materials.

30. All contractors shall be responsible for cutting, patching, filling, and finishing up after their own work.

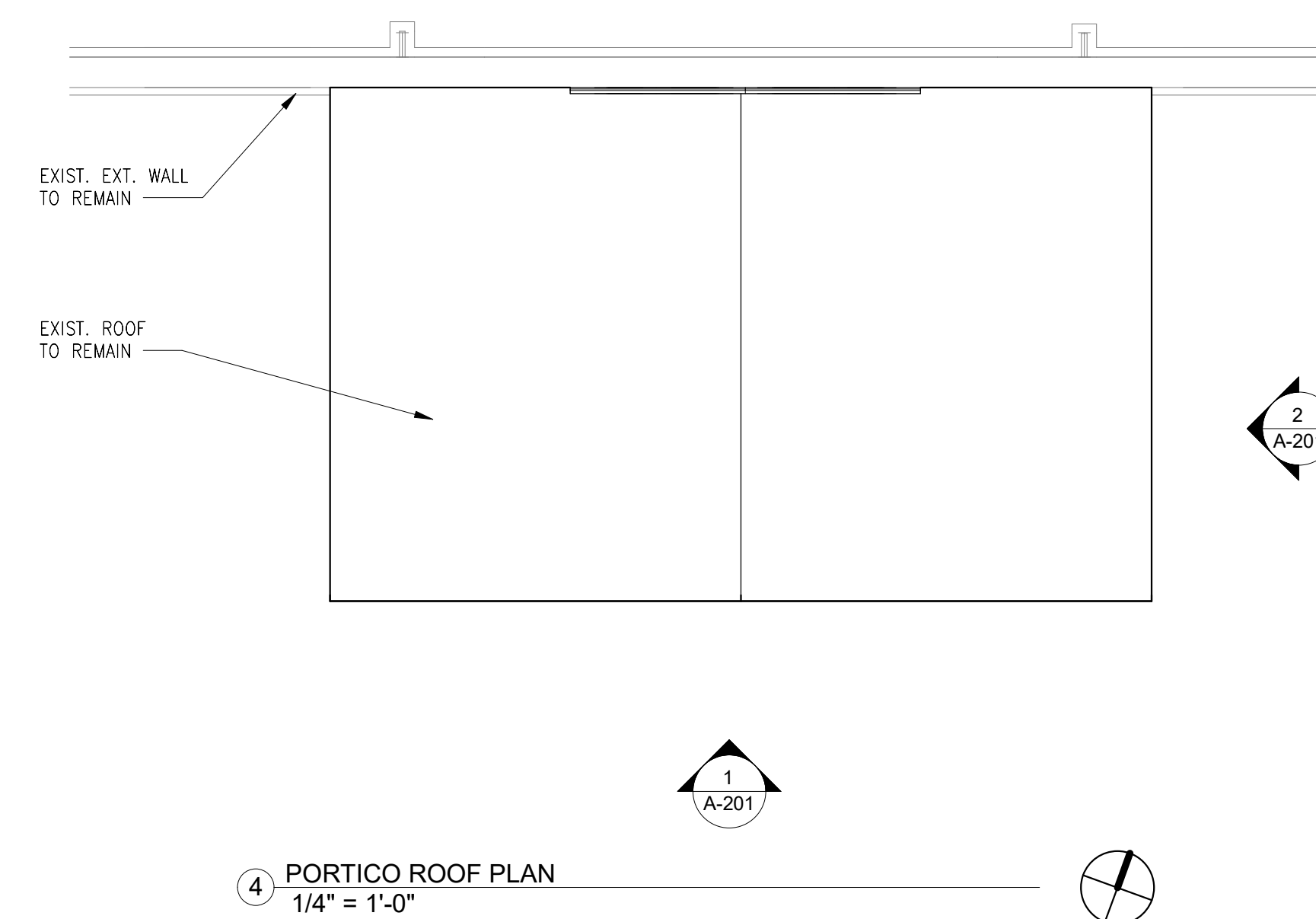
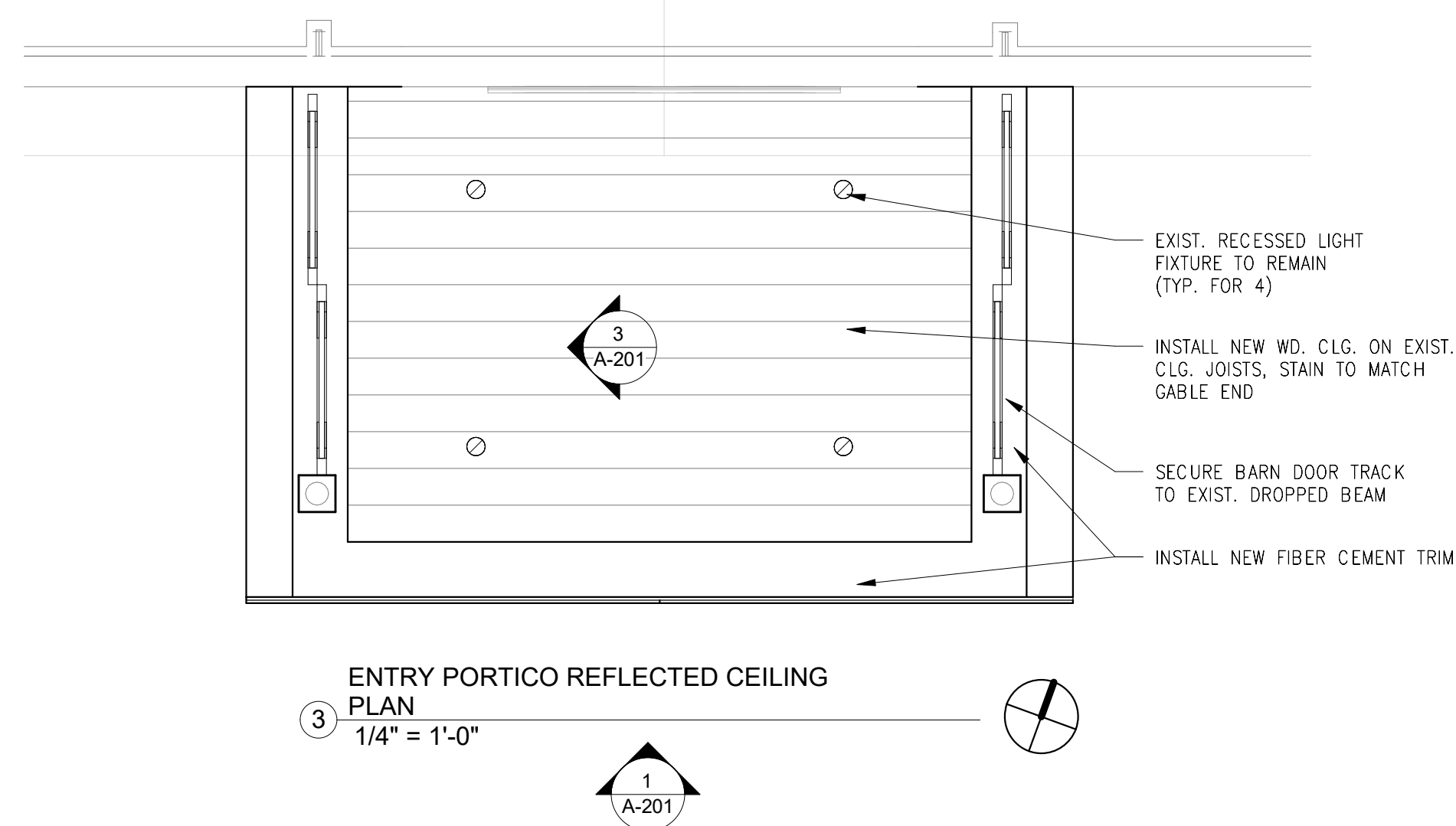
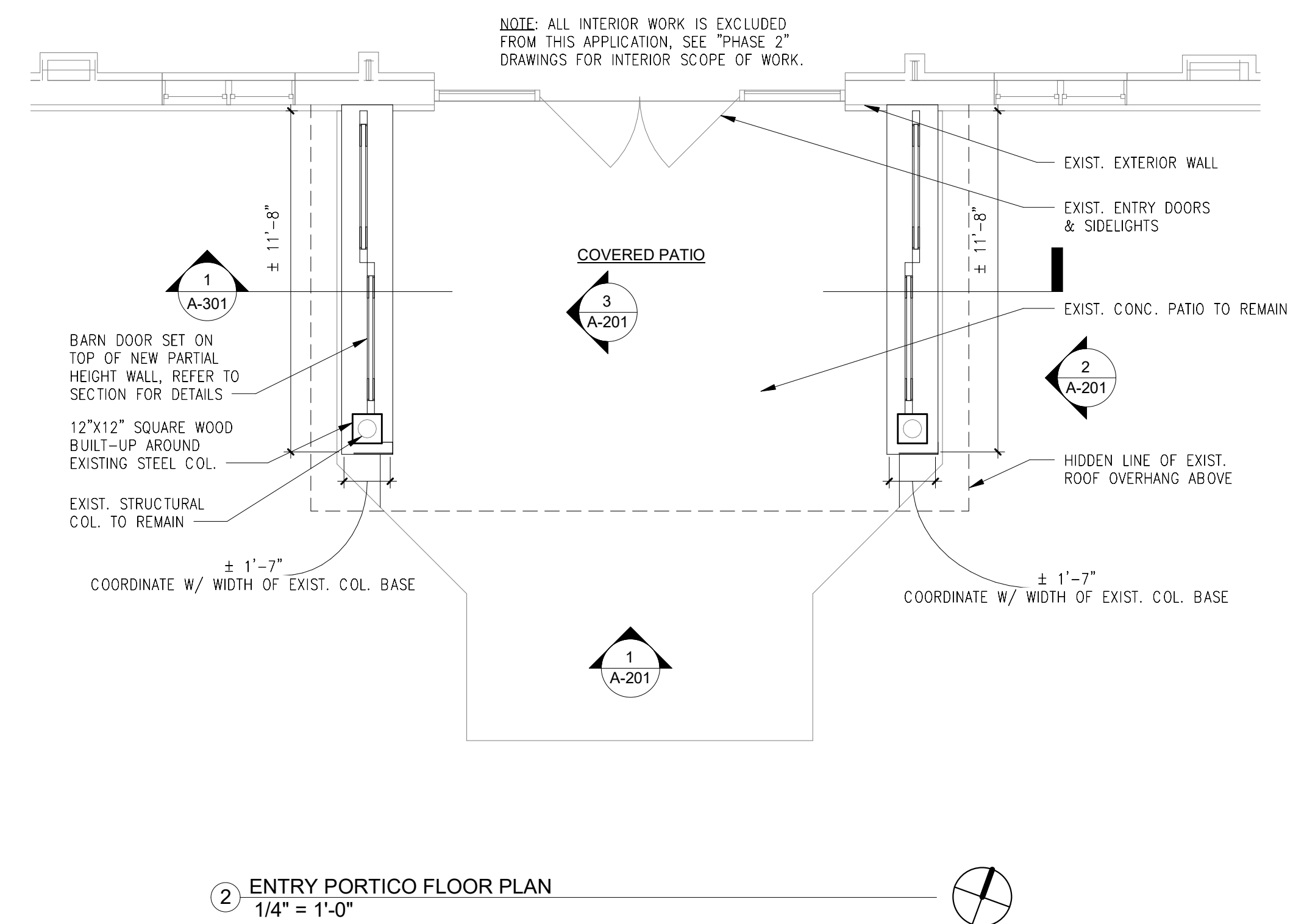
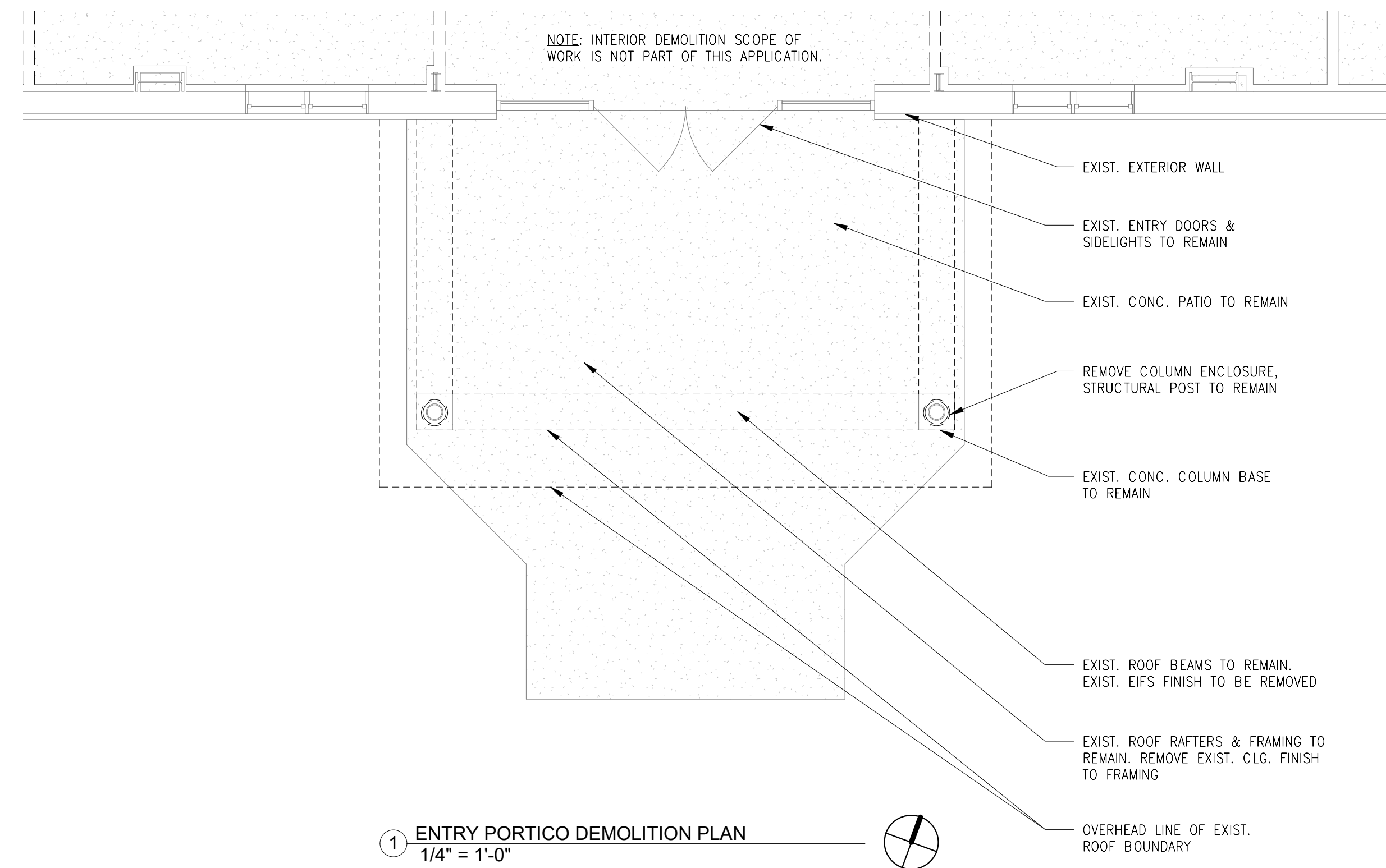
31. Project contract close-out submittals include, but are not limited to: project record documents, operation and maintenance data, warranties and bonds, keys and keying schedule, spare parts and material stock, certificates of inspection / occupancy / insurance, evidence of payment and release of liens, and a list of subcontractors, prices, and vendors and suppliers, including emergency telephone numbers. Instruct the owner on the proper operation and maintenance of systems, equipment and similar items prior to release of final payment to the contractors and/or related sub-contractor.

A. General Removal Procedures

1. Job site must be kept clean during the entire course of construction.
2. Comply with applicable codes and regulations for demolition operations and safety of adjacent spaces and the public.
3. Obtain required demolition permits.
4. All contractors to perform demolition required to complete scope of work. All items to be removed/during demolition that are indicated for reuse should be reviewed with owner for salvage purposes.
5. All contractors are to repair, replace, patch and match any existing materials, areas, and systems, as is necessary or required for successful completion of the work. Connect new work in a neat and approved manner. Restore existing work in making such connections to perfect condition. Any part of the existing structure, site improvement or adjoining properties, that is damaged and/or defaced due to the work or neglect of a contractor or his subcontractors shall be restored to its original condition at no cost to the owner.
6. Take precautions to prevent catastrophic or uncontrolled collapse of structures to be removed; do not allow worker or public access within range of potential collapse of unstable structures.
7. The contractor is responsible for safety of the existing structure during the entire demolition and/or Construction process. Contractor to provide adequate temporary shoring where and when necessary. The contractor is responsible for verifying structural integrity of existing framing before removal of any partition or structural element.
8. Protect from damage all landscaping, etc. scheduled to remain.
9. The contractor shall provide all temporary protection required to keep the building weather tight at all times.
10. The contractor shall perform surveys as the work progresses to detect hazards resulting from selective demolition activities.
11. If hazardous materials are discovered during removal operations, stop work and notify the owner & Architect; hazardous materials include regulated asbestos containing materials, lead, PCB's, and mercury.
12. The contractor shall ensure that demolition work does not interfere with or prohibit the continuing occupation of tenant and adjacent tenants. This includes but is not limited to the selective demolition of partitions, electrical & mechanical systems. The contractor shall inform the owner a minimum of 72 hours in advance of demolition activities that will affect normal function of business.

B. Selective demolition for alterations

1. The drawing showing existing construction and utilities are based on casual field observation and existing record documents only.
2. Verify that construction and utility arrangements are as shown.
3. Report discrepancies to the Architect before disturbing existing installation.
4. Beginning of demolition work constitutes acceptance of existing conditions.
5. Remove existing work as indicated and as required to accomplish new work.
6. Services (including but not limited to hvac, plumbing, fire protection, electrical, and telecommunications): remove &/or modify the existing systems and equipment as required to complete the necessary work.
7. Maintain existing active systems that are to remain in operation; maintain access to equipment and operational components.
8. The electrical contractor is to coordinate the shutdown of all power to areas being demolished prior to performing work.
9. All lighting and power to be coordinated with electrician during demolition for proper removal and re-wiring as necessary to maintain egress where required to remain. Electrician to re-wire renovated areas as necessary to comply with electrical codes and install new lighting, switching and power per drawings to best suit the client's needs and meet all national, state and local codes.



**TIN BARN
PHASE I
62 KINGS HWY BYPASS, CHESTER, NY 10918**

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**TINKELMAN
ARCHITECTURE**

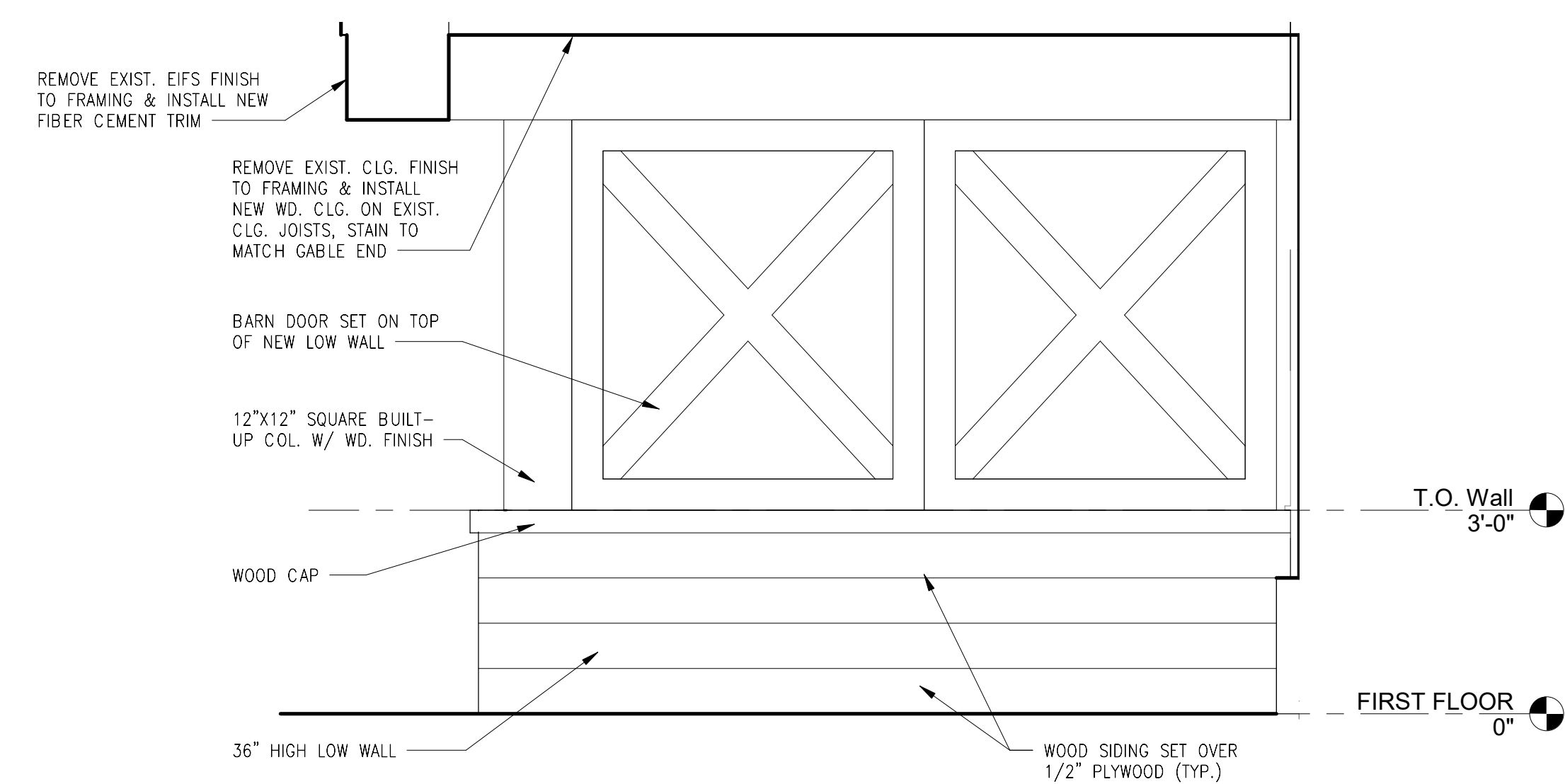
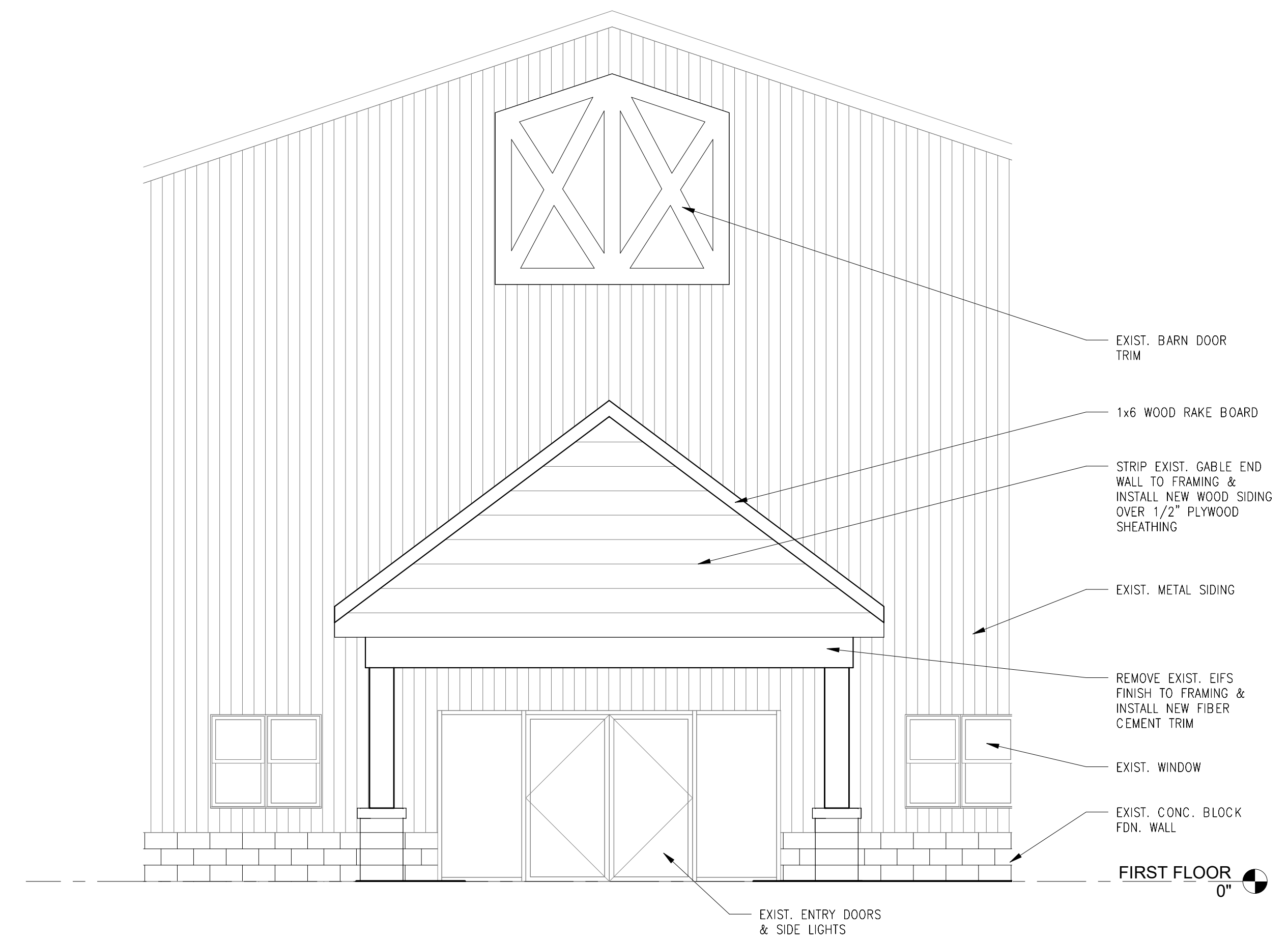
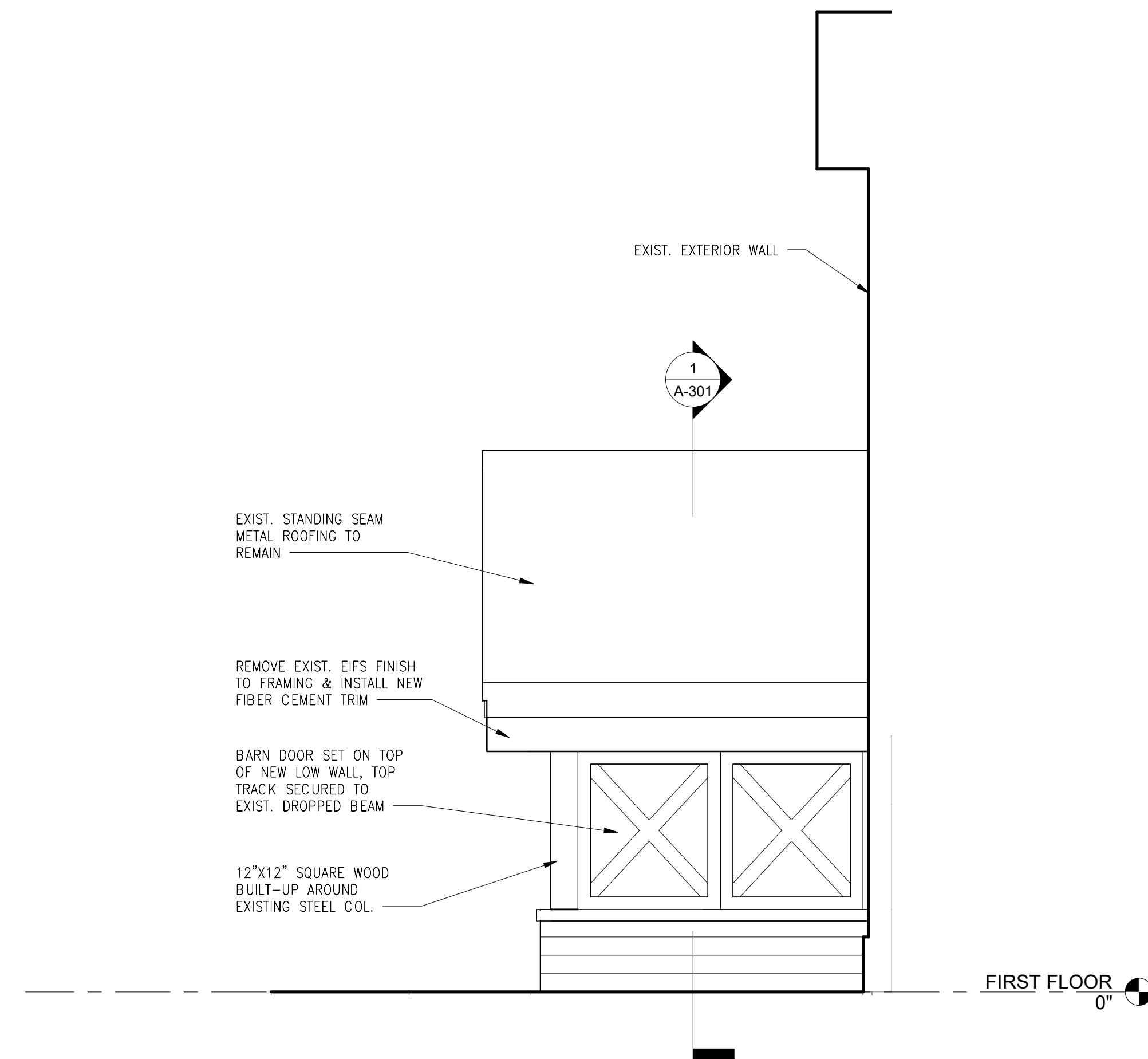
25 Van Wagner Road,
Poughkeepsie,
New York 12603

www.tinkarch.com

ENTRY
PORTICO
FLOOR PLANS &
RCP

Project number	Y1911
Date	Issue Date

A-101



TIN BARN

PHASE I

62 KINGS HWY BYPASS, CHESTER, NY 10918

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**TINKELMAN
ARCHITECTURE**
25 Van Wagner Road,
Poughkeepsie,
New York 12603

ELEVATIONS

Project number	Y1911
Date	Issue Date

A-201

TIN BARN PHASE I

62 KINGS HWY BYPASS, CHESTER, NY 10918

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ARCHITECTURE

25 Van Wagner Road,
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ENTRY
PORTICO
SECTION

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