PROJECT:

TIN BARN PHASE I

ISSUED FOR PERMIT

62 KINGS HIGHWAY BYPASS CHESTER, NY 10918

CLIENT:

TIN BARN BREWING

62 KINGS HIGHWAY BYPASS CHESTER, NY 10918

	ABBREVIATIONS	SYMBOL LEGEND	DRAWING INDEX	
ACOUSTICAL A.F.F. ABOVE PINISHE ALUM. AND.D. ANDORED APPROX. AVIE. B.O. BOTTOM OF BILDG. BILLIONG BILKG. BILCONING CO.G.	L J-BOX JUNCTION BOX SHED FLOOR JST. JOIST K.E.C. KITCHEN EQUIPMENT SUPPLIER LAM. LAMINATE LAV. LAVATORY LBS. POUNDS L.F. LINEAL FOOT L.P. LOW POINT MANUF. MANUFACTURER OINT MAX. MAXIMUM MIE MECH. MECHANICAL MIN. MINIMUM MISC. MISCELLANEOUS MASONRY UNIT M.O. MASONRY OPENING MSRY. MASONRY MTD. MOUNTED MTL. METAL TION N.I.C. NOT IN CONTRACT JS N.T.S. NOT TO SCALE OR DR O.C. ON CENTER DR O.POPOSITE HAND OPPO. OPPOSITE OPT. OPTIONAL PL. PLATE PLUMB. PLUMBING PLYWD. PLYWOOD PNL. PANEL NSULATION PR. PAIR	ROOM NAME ROOM NUMBER DETAIL SECTION KEY: SECTION NUMBER DRAWING NUMBER SECTION NUMBER DRAWING NUMBER EXISTING TO BE REMOVED NEW WALL CONSTRUCTION EXISTING DOOR DOOR DOOR DOOR DOOR DOOR DOOR DOO	Sheet Number TS-101 TITLE SHEET 1 - GENERAL G-101 GENERAL NOTES & SPECIFICATIONS 2 - ARCHITECTURAL A-101 ENTRY PORTICO FLOOR PLANS & RCP A-201 ELEVATIONS A-301 ENTRY PORTICO SECTION	Submiss No. [01 Issu
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CHESTER, NY 10918

62 KINGS HWY

number Y1911 Issue Date

TS-101

01-GENERAL NOTES: USE APPLICABLE NOTES

- This set of drawings indicates the general scope of the project in terms of the Architectural design concept, the dimensions of the building, the structural system, the electrical outlets and fixture locations are an outline of major Architectural elements of construction. As a "general scope" document, these drawings do not necessarily indicate or describe all the work required for the full performance and completion of the project. Pricing will be based on these documents with the understanding that the contractor, sub-contractor and/or materials suppliers are to furnish all items required for proper completion of the work without adjustment to contract or subcontract price. It is intended that the work be of sound, quality construction in full compliance with all governing codes and ordinances. The contractor, subcontractor, and material suppliers shall be solely responsible for the inclusion of adequate amounts to cover installation of all items indicated, described or implied.
- All contractors shall hold to the intent of the drawings as to provide a complete and finished work, tested and guaranteed for a minimum of one year from the time of completion and ready for occupancy, including all necessary items required, regardless of whether specifically called for or not on the drawing and do all repair work and replacement as may be necessary during that period at
- The contractor is to obtain all necessary permits and inspections including but not limited to building and occupancy permits. This also includes fees for driveway permits, testing, electrical inspections, sanitary system inspections, plumbing inspections, Misc. building inspector fees, filing fees, etc. A Certificate of Occupancy must be obtained by the contractor for the completion of the work.
- All work shall conform to the requirements of the governing codes having jurisdiction.
- In case of discrepancies between the notes and drawings, code requirements shall govern. Dimensions shown are face of new wall studs, face of masonry surfaces and to the face of all existing surfaces that are to remain unless noted otherwise. Verify actual conditions before beginning construction. Contractor is responsible for insuring that the framing dimensions will produce the finish floor plans as shown in the drawings. Contractor to have all changes approved in writing by
- It shall be understood that information appearing on one drawing appears on all drawings whether shown or not.
- Do not scale dimensions from the drawings. All written or dimensioned information takes precedence over the scale of the drawing. All contractors are to keep a full set of complete and up to date plans and specifications available at the job site at all times. The Architect shall be the sole interpreter of the scope documents. Decisions of the Architect as to items of work included within the
- "scope" of these drawings shall be final. All contractors are to familiarize themselves with the conditions of the site and construction documents prior to submitting a bid. All
- contractors are to verify all conditions at site and report any discrepancies to the Architect prior to starting the work. All contractors shall check all dimensions, assemblies, etc. and report to the Architect in writing any inconsistencies prior to starting
- installation Design loads and criteria used in the design of specialty structural systems (i.e. curtain-wall, fire stairs, architectural precast concrete, metal panels, etc.) to be determined by a third-party engineer contracted by the specialty structural system in accordance with code requirements of governing jurisdiction. Specialty engineer is responsible for all connections of these systems to the superstructure, including, but not limited to, engineering, detailing, and installation. If alteration to the superstructure is required as determined by the engineer of record to reinforce for high concentrated forces applied to the specialty system connection, the reinforcement and cost

work, ordering materials, or fabricating shop-built items. In case of discrepancies or conflicts, notify Architect prior to ordering and

- shall be borne by the specialty sub-contractor and shall be considered a part of the specialty connection.
- All changes and substitutions shall be requested in writing and approved in writing by the owner and the Architect. All contractors shall provide the owner, Architect and authorities having jurisdiction with certificates of insurances and licenses prior to
- All work shall be performed by mechanics skilled in their respective trades.
- No workers shall be under the influence of drugs, alcohol or other substances that may impair their work or judgment while on the job Contractor is responsible for having all subcontractors coordinate their work with the work of the other trades and is responsible for the coordination of all trades and work including work not in the contract as well as work performed by separate sub-contractors retained
- by the owner under separate agreement. All such work not in contract shall be reviewed with the Architect prior to the commencement The contractor shall give the Architect notice 48 hours in advance with any substantial issues.
- All contractors are to uncover work to provide for an inspection or installation of ill-timed work. Remove and replace all work not conforming to requirements of the contract documents at the contractors own cost.
- The Architect has the right to reject any unworkmanlike, sloppy, poorly installed, or unauthorized work or work done contrary to the intent of the contract documents. Such work shall be replaced, repaired or removed at the contractor's expense. Shop drawings, where required, must be reviewed and approved for design intent by the Architect prior to the start of fabrication of
- those items. All contractors are responsible for initiating, maintaining, and supervising all safety precautions and programs necessary for successful completion of the work and as required by law.
- Substitutions equal to the items specified will be considered only when required by code or insurance, when proven unavailable or unsafe, or when a manufacturer refuses to certify performance, when it would be substantially to the owner's best interest in terms of cost, time or other consideration. All substitutions shall be approved in writing by the Architect in advance of their purchase or installation by the specified contractor.
- Furnish shop drawings, samples and project data when noted for review and approval by the Architect after checking and certifying compliance with the contract documents.
- Provide temporary facilities and controls required for the work, including, but not limited to temporary utilities such as heat, water, electricity, telephone, field office, sanitary facilities, enclosures such as tarpaulins, barricades and canopies. G.C. to provide necessary safety protections for the general public at all times.
- All contractors are to review documents with Architect and the Owner and submit, in writing, a description of responsibilities regarding all owner supplied items, including materials and details prior to commencement of construction.
- The contractor shall verify with the Owner the locations of any and all underground utilities, and septic installations prior to the commencement of construction.
- This set of drawings is not intended to make recommendations regarding the detection or removal of asbestos, lead or any and all other hazardous substances, or the likelihood of their presence on the site. Asbestos and lead detection and removal is the responsibility of the owner. If any friable asbestos, or asbestos related substances are discovered to be present, the Contractor shall immediately notify the Owner directly giving precise details, locations, etc. The Owner shall at his own expense retain the services of a licensed/certified asbestos abatement Contractor to investigate any/all possible hazardous conditions.
- All contractors shall be responsible for cutting, patching, filling, and cleaning up after their own work. Project contract close-out submittals include, but are not limited to:
 - project record documents, operation and maintenance data, warranties and bonds, keys and keying schedule, spare parts and material stock, certificates of inspection / occupancy / insurance, evidence of payment and release of liens, and a list of subcontractors, principal vendors and service organizations, including emergency telephone numbers. Instruct the owner on the proper operation and maintenance of systems, equipment and similar items prior to release of final payment to the contractors and/or related sub-contractor.

02-REMOVAL, PROTECTION AND CLEAN-UP

A. General Removal Procedures

- Job site must be kept clean during the entire course of construction.
- Comply with applicable codes and regulations for demolition operations and safety of adjacent spaces and the public. Obtain required demolition permits.
- All contractors to perform demolition required to complete scope of work. All items to be removedduring demolition that are indicated for reuse should be reviewed with owner for salvage purposes. All contractors are to repair, replace, patch and match any existing materials, areas, and systems, as is necessary or required for
- successful completion of the work. Connect new work in a neat and approved manner. Restore existing work in making such connections to perfect condition. Any part of the existing structure, site improvement or adjoining properties, that is damaged and/or defaced due to the work or neglect of a contractor or his subcontractors shall be restored to its original condition at no cost to the owner.
- Take precautions to prevent catastrophic or uncontrolled collapse of structures to be removed; do not allow worker or public access within range of potential collapse of unstable structures.
- The contractor is responsible for safety of the existing structure during the entire demolition and/or Construction process. Contractor to provide adequate temporary shoring where and when necessary. The contractor is responsible for verifying structural integrity of existing framing before the removal of any partition or structural element.
- Protect from damage all landscaping, etc. scheduled to remain. The contractor shall provide all temporary protection required to keep the building weather tight at all times.
- The contractor shall perform surveys as the work progresses to detect hazards resulting from selective demolition activities
- If hazardous materials are discovered during removal operations, stop work and notify the owner & Architect; hazardous materials include regulated asbestos containing materials, lead, PCB's, and mercury.
- The contractor shall insure that demolition work does not interfere with or prohibit the continuing occupation of tenant and adjacent tenants. This includes but is not limited to the selective demolition of partitions, electrical & mechanical systems. The contractor shall inform the owner a minimum of 72 hours in advance of demolition activities that will affect normal function of the business.

B. Selective demolition for alterations

- The drawing showing existing construction and utilities are based on casual field observation and existing record documents
- Verify that construction and utility arrangements are as shown.
- Report discrepancies to the Architect before disturbing existing installation.
- Beginning of demolition work constitutes acceptance of existing conditions. Remove existing work as indicated and as required to accomplish new work.
- Services (including but not limited to hvac, plumbing, fire protection, electrical, and telecommunications): remove &/or modify the existing systems and equipment as required to complete the necessary work.
- Maintain existing active systems that are to remain in operation; maintain access to equipment and operational components. The electrical contractor is to coordinate the shutdown of all power to areas being demolished prior to performing work.
- All lighting and power to be coordinated with electrician during demolition for proper removal and re-wiring as necessary to maintain circuitry where required to remain. Electrician to re-wire renovated areas as necessary to comply with electrical code and install new lighting, switching and power per drawings to best suit the client's needs and meet all national, state and local

02 - REMOVAL, PROTECTION AND CLEAN-UP - (CONTINUED)

- C. <u>Protect Existing Work to Remain</u>
- Perform cutting to accomplish removals neatly and as specified for cutting new work.
- Repair adjacent construction and finishes damaged during removal work, to match existing adjacent surfaces. Patch as specified for patching new work.
- Debris and Waste Removal
- All contractors are responsible for the removal of their construction debris as per all governing codes and ordinances. Final clean-up of all work and materials shall be to the owner's satisfaction prior to final completion. Throughout the demolition and/or construction period, the contractors to maintain the building and site in a clean manner and store items in an orderly arrangement allowing maximum access, not impeding the construction process of any subcontractor and providing the required protection of materials. The contractors shall not allow the accumulation of scrap, debris, and waste material. At the end of the project, the contractors are to remove dust, debris, oils, stains, fingerprints and labels from exposed finished surfaces, including glazing.
- Remove and transport debris material in a manner that will prevent spillage on adjacent surfaces and areas.

03 Site Work & Excavation

- All controlled fill material shall be a select granular material free from all organics or otherwise deleterious material with not more than 20% by weight passing a no. 200 sieve (classified as sc, sm, sp or better in accordance with the unified soil classification system) and with a plasticity
- Foundation excavations shall be inspected by soils engineer prior to concrete placement.
- Excavations shall be kept dry by pumping until underground construction is complete. Backfill shall be brought up equally on both sides of foundation walls and grade beams until the final elevation is achieved. Variations shall not exceed 2'-0" between backfill elevations on either side without engineer's approval.
- Establish topsoil depth and strip as much topsoil as possible from the building site. Stockpile for later distribution
- Rough grade to 6" below finish grades. Finish grades around building shall be as shown on elevation and section drawings and shall provide positive drainage. (Pitch) grade 1/4" per foot away from the building on all sides for a distance of 8 to 10 feet.
- New driveways and parking areas shall conform to requirements of local codes as to grading. Base and topping specifications.
- Provide footing drains all around perimeter; drain downhill at grade or provide dry well. Provide unit costs for any necessary blasting and/or jack hammering and rock removal. All blasting shall be done in accordance with the local regulations, state and federal requirements.
- Notify of impending sitework all public agencies as required by code and utility companies.
- Verify locations and provide clear marking of property lines, set back lines, easements and right of way.
- Fill placed shall be free of debris, snow, ice, water or organic material. Excavate as required for all construction, utilities, paving and equipment as indicated or as necessary.
- Excavation shall be performed so that the area of the site and the area immediately surrounding the site and affecting operations at the site will be continually and effectively drained. Water shall not be permitted to accumulate in the excavation. The excavation shall be drained by pumping or other satisfactory methods to prevent softening of the foundation bottom, undercutting of footing, or other actions detrimental to proper construction procedures.
- Shoring, including sheet piling, shall be furnished and installed as necessary to protect workers, banks, adjacent paving, structures and utilities. Shoring, bracing and sheeting shall be removed as excavations are backfilled, in a manner to prevent caving.
- Trenching for underground utilities systems and drain lines shall be excavated to the required alignments and depths. The bottoms of trenches shall be graded to secure the required slope and shall be tamped if necessary to provide a firm pipe bed.
- Backfill as required for all excavation. Backfill in layers not more than 6 inches in depth and tamper to proper dry density compaction. Do not backfill against foundation walls until mortar and/or concrete have attained maximum strength and framing or slabs which brace the wall
- At no time shall bulldozers, trucks or other heavy equipment be permitted to approach foundation walls closer than 8 feet.
- If rock is encountered, the Contractor shall notify the Architect or Engineer before proceeding. Rough grade to within 4" of finished grade.
- Remove all debris from site to a point of legal disposal.
- Provide soil erosion control measures as required, by the authority having jurisdiction.
- Protect all trees to remain that may be near construction.
- Coordinate with the governing municipality all necessary permits, street opening, etc.

03 - SITE WORK & EXCAVATION

- All controlled fill material shall be a select granular material free from all organics or otherwise deleterious material with not more than 20% by weight passing a no. 200 sieve (classified as sc, sm, sp or better in accordance with the unified soil classification system) and with a plasticity
- Foundation excavations shall be inspected by soils engineer prior to concrete placement. Excavations shall be kept dry by pumping until underground construction is complete.
- Backfill shall be brought up equally on both sides of foundation walls and grade beams until the final elevation is achieved. Variations shall not exceed 2'-0" between backfill elevations on either side without engineer's approval.
- Establish topsoil depth and strip as much topsoil as possible from the building site. Stockpile for later distribution.
- Rough grade to 6" below finish grades. Finish grades around building shall be as shown on elevation and section drawings and shall provide positive drainage. (Pitch) grade 1/4" per foot away from the building on all sides for a distance of 8 to 10 feet.
- New driveways and parking areas shall conform to requirements of local codes as to grading. Base and topping specifications. Provide footing drains all around perimeter; drain downhill at grade or provide dry well.
- Provide unit costs for any necessary blasting and/or jack hammering and rock removal. All blasting shall be done in accordance with the local regulations, state and federal requirements.
- Notify of impending sitework all public agencies as required by code and utility companies. Verify locations and provide clear marking of property lines, set back lines, easements and right of way.
- Fill placed shall be free of debris, snow, ice, water or organic material. Excavate as required for all construction, utilities, paving and equipment as indicated or as necessary.
- Excavation shall be performed so that the area of the site and the area immediately surrounding the site and affecting operations at the site will be continually and effectively drained. Water shall not be permitted to accumulate in the excavation. The excavation shall be drained by pumping or other satisfactory methods to prevent softening of the foundation bottom, undercutting of footing, or other actions detrimental to proper construction procedures.
- Shoring, including sheet piling, shall be furnished and installed as necessary to protect workers, banks, adjacent paving, structures and utilities. Shoring, bracing and sheeting shall be removed as excavations are backfilled, in a manner to prevent caving. Trenching for underground utilities systems and drain lines shall be excavated to the required alignments and depths. The bottoms of trenches
- shall be graded to secure the required slope and shall be tamped if necessary to provide a firm pipe bed. Backfill as required for all excavation. Backfill in layers not more than 6 inches in depth and tamper to proper dry density compaction. Do not backfill against foundation walls until mortar and/or concrete have attained maximum strength and framing or slabs which brace the wall are in place.
- At no time shall bulldozers, trucks or other heavy equipment be permitted to approach foundation walls closer than 8 feet. If rock is encountered, the Contractor shall notify the Architect or Engineer before proceeding.
- Rough grade to within 4" of finished grade. Remove all debris from site to a point of legal disposal.

non-shrink grout

- Provide soil erosion control measures as required, by the authority having jurisdiction.
- Protect all trees to remain that may be near construction. Coordinate with the governing municipality all necessary permits, street opening, etc.

07 - STRUCTURAL & REINFORCING STEEL & MISCELLANEOUS METAL WORK

Structural steel shall conform to the American Institute of Steel Construction (AISC) manual (Latest Edition) Unless otherwise noted, all materials shall be in accordance with the following specifications.

Unless otherwise noted, all mate	rials sha	all be in accordan	ce with th	e follov	
member		a.s.t.m.		min. strength	
structural tubing	a500 ((grade b) 46 ksi			
steel pipe		a500 (grade b)	46 ksi		
rolled shapes	a992	,	50 ksi		
plates, channels, & angles a36				36 ks	
connection bolts	a325		92 ksi		
anchor bolts	f1554				
threaded bolts	a36			36 ks	

- Welding shall be in accordance with American Welding Society (AWS) D1.1 using E70xx Electrodes. Unless otherwise noted, provide
- continuous minimum sized fillet welds per AISC requirements. Filler material shall have a minimum yield strength of 58 k.s.i. Burning of holes and torch cutting at the site is not permitted.
- Holes in steel beams shall be drilled or punched. All slotted holes shall be provided with smooth edges. The structural steel erector shall provide temporary guying and bracing as required. columns, anchor bolts, base plates, etc. have been
- designed for the final complete condition, and have not been investigated for potential loadings encountered during steel erection and construction. any investigation of the columns, anchor bolts, framing, etc. for adequacy during the steel erection and construction process is the sole responsibility of the contractor.
- Steel fabricators shall be an AISC certified shop and maintain detailed quality control procedures as required to satisfy the special inspection requirements of the latest building code having jurisdiction or contractor to reimburse owner for cost of steel shop special inspections for non- AISC certified shops.
- Unless otherwise noted, structural steel permanently exposed to the weather, shall be hot-dip galvanized in accordance with ASTM A123. protective coating damaged during the transport, erecting and field welding process shall be repaired in the field to match the
- The contractor will hire an independent testing agency to provide special inspections of the bolting, welding, and other items in
- accordance with the latest building codes having jurisdiction. Reinforcing shall be provided at connections where cuts have reduced the shear or moment capacity below that required to sustain the
- reaction. flanges and web are to be reinforced where the local capacity to sustain load is inadequate.

08 - FRAMING LUMBER

- All wood framing material shall be surfaced dry and used at 19% maximum moisture content.
 - All stud and wall framing shall be either of the following: No. 2 grade southern yellow pine (syp)
- b. No. 2 grade spruce-pine-fir (spf) "stud" grade material is strictly prohibited from use. All joist, rafter & misc. framing shall be no. 2 grade, Douglas fir. provide full-depth (or metal) bridging at midspan and at a maximum
- All framing exposed to the weather or in contact with masonry or concrete shall be pressure-treated in accordance with the American Wood Preservers Association specification and be no. 2 southern pine. Where possible, all cuts and holes should be complete before treatment. Cuts and holes due to on-site fabrication shall be brushed with 2 coats of copper naphthenate solution containing a minimum
- of 2% metallic copper in solution (per AWPA ST. M4). The contractor shall carefully select lumber to be used in loadbearing applications. The length of split on the wide face of 3" (nominal)
- and thicker lumber shall be limited to 1/2 of the narrow face dimension. Provide double joists under all partitions which run parallel with joists and under all concentrated loads from framing above.
- Provide header beams of the same size as joists or rafters to frame around openings in the plywood deck unless otherwise indicated. Structural steel plate connectors shall conform to ASTM A-36 specification and be 1/4" thick unless otherwise indicated. Bolts connecting wood members shall be per ASTM A-307 and be 3/4" diameter unless otherwise indicated. Provide washers for all bolt
- heads and nuts in contact with wood surfaces. Bolt holes shall be carefully centered and drilled not more than 1/16" larger than the bolt diameter. Bolted connections shall be snugged tight but not to the extent of crushing wood under washers.
- Prefabricated metal joist hangers, hurricane clips, hold-down anchors and other accessories shall be as manufactured by "Simpson Strong-tie company", tel. 800-999-5099). or approved equal. install all accessories per the manufacturer's requirements. All steel shall
- have a minimum thickness of 0.04 inches (per astm a446, grade a) and be galvanized (coating g60). Holes and notches drilled or cut into wood framing shall not exceed the requirements of latest edition of the international building code.
- All plywood construction shall be in accordance with the American Plywood Association (APA) specifications. All wall panel sheathing shall be 1/2" (nom.) type cdx. exp. APA rated sheathing. unless otherwise indicated, connect wall sheathing
- with 10d common nails spaced 6" o/c at supported panel edges and 12" o/c at intermediate supports. Install all plywood sheathing with the long dimension of the panel across supports and with panel continuous over two or more spans. Stagger panel end joints. Allow 1/8" spacing at panel ends and edges unless otherwise recommended by the sheathing manufacturer.
- All nailing shall be carefully driven and not overdriven. The use of stables is prohibited from use. Firestopping shall be constructed to close all concealed draft openings and to form effectual fire barriers against the spread of fire
- between stories of the building and in all open structural spaces therein. Sill plates shall be level and square and anchor bolted as specified on drawings at not more than 6 feet on centers and not more than
- 12 inches from each end of each piece. A minimum of two anchors shall be used for each piece of wood. Coordinate plumbing and HVAC required openings with framing to provide proper framed openings. Blocking shall be provided as necessary for application of sheathing, wallboard, and other materials or building items, installation of
- wall and ceiling mounted fixtures and equipment and to provide fire stopping. Provide anchors, brackets, frames, hangers and other supports, to support ceiling-hung or supported, piping, conduits, ducts, shelving, light fixtures and other miscellaneous items
- Provide clearances between framing and other construction that may be subject to differential movement, noise transfer and fire

11 - FINISH CARPENTRY - INTERIOR AND EXTERIOR

- Installation of finish wood carpentry to conform to the Architectural Woodwork Institute (AWI).
- All interior millwork shall be selected by owner unless specified otherwise on drawings. Provide permanent heat, light and ventilation prior to installation. Maintain minimum room temperature 65 degrees F for a period of 2 days
- prior to delivery of materials, during, and after installation until Substantial Completion. Lay wood flooring in direction indicated. Provide saddles where indicated on the drawings.
- Sand wood flooring to a smooth and even finish with no evidence of sander marks. Take precautions to contain dust. Remove dust by vacuum. Apply stain as specified, buff as required, verify even application of stain over all surfaces and spot stain as required for uniform
- color application and prepare for finish coats. Contractor to provide sample area to be approved by architect prior to completing. Prohibit traffic on flooring during finishing operations and for a minimum of 3 days after completion. Protect finished floors from traffic until final payment.
- Glue & nail all interior trim in place with adhesives specified for the materials to be joined.
- Use maximum length boards to minimize joints. Use bright finish nails for interior trim work, size appropriate to the work. Set nails below surface of wood. Nail holes will be filled with wood
- All exterior trim material at fascias, soffits and rakes to be as specified on drawings. Color to be determined by Owner/Architect. Provide all blocking for installation of exterior trim as required.

14- FINISHES, MATERIALS AND PAINTING

All room finishes shall be as per finish plans and schedules.

approved equal at shower walls and ceiling.

Reapply after prime coat as required.

fault circuit interrupter GFCI protection.

specified on plans and as per building code.

- The Contractor shall inspect all surfaces and provide all preparation work necessary to receive new paint finish as indicated on the drawings. Before painting work is to begin, arrangements shall be made for proper ventilation and lighting of all areas.
- All preparation and painting work shall be of first quality workmanship and only skilled mechanics will be employed. Prepare all surfaces to be painted in accordance with the paint manufacturer's latest printed specifications and instructions. Upon completion of painting work, the entire work area shall be cleaned and made free of all runs, brush marks, sags, holidays and other defects, which shall be rejected. All
- glazing shall be masked on both sides. The Contractor shall be responsible for cleaning and removing of same. Edges adjoining other materials or color shall be sharp and clean, without overlapping. Paint coloring shall be of the same intensity in adjacent areas and shall be such that it shall completely hide and cover the substrate.
- Contractor to submit samples of all paints and stains to be used. All exterior paint and stains should be allowed 48 hours to dry between coats; interior finishes should be allowed 24 hours between coats to
- dry. Ferrous metal to receive red primer and one coat of metal paint. All exterior wood fascia boards and soffits shall be back primed and painted before installation. All ceramic tile in showers and surrounding bath tubs shall be installed over approved cement backerboard. All ceramic tile shall be
- installed in tile-tight adhesive in strict accordance with the manufacturer's written instructions. Tiled floors to receive matt glazed tile set in thin-set grout. Installation to be as per latest edition of the Tile Council of America specifications. Consult Architect if other setting methods are to be used to verify floor structure. Install wall and floor tile surfaces smoothly and free of irregularities, humps or dips, with joints straight, level, aligned, uniform in size and tile
- cuts not smaller than half a tile. Tile shall be firmly in place with finished surfaces in true plains, joints shall be straight uniform in width and solidly filled. All tile work shall include appropriate trims and cove base. Perform all gypsum wallboard work in accordance with Gypsum Association installation publications. All gypsum wall board partitioning shall be plumb, level, true and straight, properly braced and rigid. Surface shall be smooth and free from flaws and defects in a ready to
- paint condition. All taping and spackling shall be sanded and prepared so that location of joints and blemishes cannot be detected after wall Gypsum materials shall be by United States Gypsum or approved equal. Provide Durlock Cement Board by United States Gypsum or
- Sound insulated, and fire rated partitioning shall be caulked at perimeters and provided with building standard fire rated and sound attenuating insulation securely fastened to stud framing. At these partitions, back-to-back electrical junction boxes are not permitted. Accessories shall include all bolts, inserts, clips, attachments, brackets, fastenings, hangers and all other material (other than structural
- members), necessary for complete installation of gypsum wall board. Provide bathroom accessories such as soap dish, paper holder, towel bars and medicine cabinets as specified on plans or selected by

All gaps, spaces, etc., between woodwork and walls, cracks, etc. shall be filled with clear, paintable, Phenoseal caulk prior to painting.

All sound partitions are to extend to the underside of the deck. Partitions that do not extend to the structure above are to be firmly braced to

All plumbing, mechanical and electrical lines to be concealed, unless otherwise noted. Where concealment under floors, above ceilings or within walls or partitions is not possible the lines are to be covered. Use furring and gypsum board installed in accordance with code

an approved bracing structure.

18- ELECTRICAL

standards for such materials, provide only materials bearing the UL label.

equipment, provide required supports and wiring to clear the encroachment.

- The scope of work for the electrician is to provide a complete system conforming to with NFPA 70 code and standards and local requirements. The electrician shall be responsible for all required permits and inspections of his work. Provide only materials that are new, or the type and quality specified. Where UNDERWRITERS LABORATORIES, INC. has established
- The electrician shall do all required wiring of heating, cooling and ventilating equipment and other mechanical equipment furnished under this contract. All fixtures and outlets will be as shown, or per code minimum, whichever is most stringent.
- All fixtures, switches, wall plates, receptacles etc. locations and finishes shall be as specified on drawings and/or coordinated with the owner prior to installation. The electrician shall wire washer, dryer, dishwasher, wall ovens, range top, exhaust hood, refrigerator, etc. With local switch disconnects for each appliance in approved locations. The electrician shall wire thermostats and mechanical equipment and controls furnished by others. This contractor shall provide and install bathroom fans as specified or approved equal. The contractor shall furnish and install all switches,
- outlets and smoke detectors of approved manufacturer as required by code, or as indicated on drawings. Provide a minimum of 120/208-200 amp, or larger, if required, for service. All 125-volt, single phase 15 and 20 ampere receptacles installed in bathrooms and exterior receptacles located at direct shall have ground-
- Outlets shall be staggered to avoid sound transmission. Provide sound attenuating insulation behind outlets. Contractor to provide carbon monoxide, smoke & heat detectors with alarm with battery back-up hardwired and interconnected where
- Supply schematic layout of circuit service to owner/design professional to sign off on prior to wiring. Label circuit panel box using a tape style professional labeler. Supply list to owner and design professional. Provide thermally protected (IC) recessed lights at all locations where lights will be in contact with insulation. Provide these regardless of
- model number specified on the schedule. Electrical contractor to arrange all required electrical inspections with the governing authorities within a timely manner. Where lighting fixtures and other electrical items are shown in conflict with locations of structural members and mechanical or other

Provide steel plate protectors to protect all non-metallic sheathed cables within 1-1/4 inches of the edge of a stud.

KINGS

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Submissions Description Issued for Permit



GENERAL NOTES & SPECIFICATIONS

25 Van Wagner Road,

Poughkeepsie,

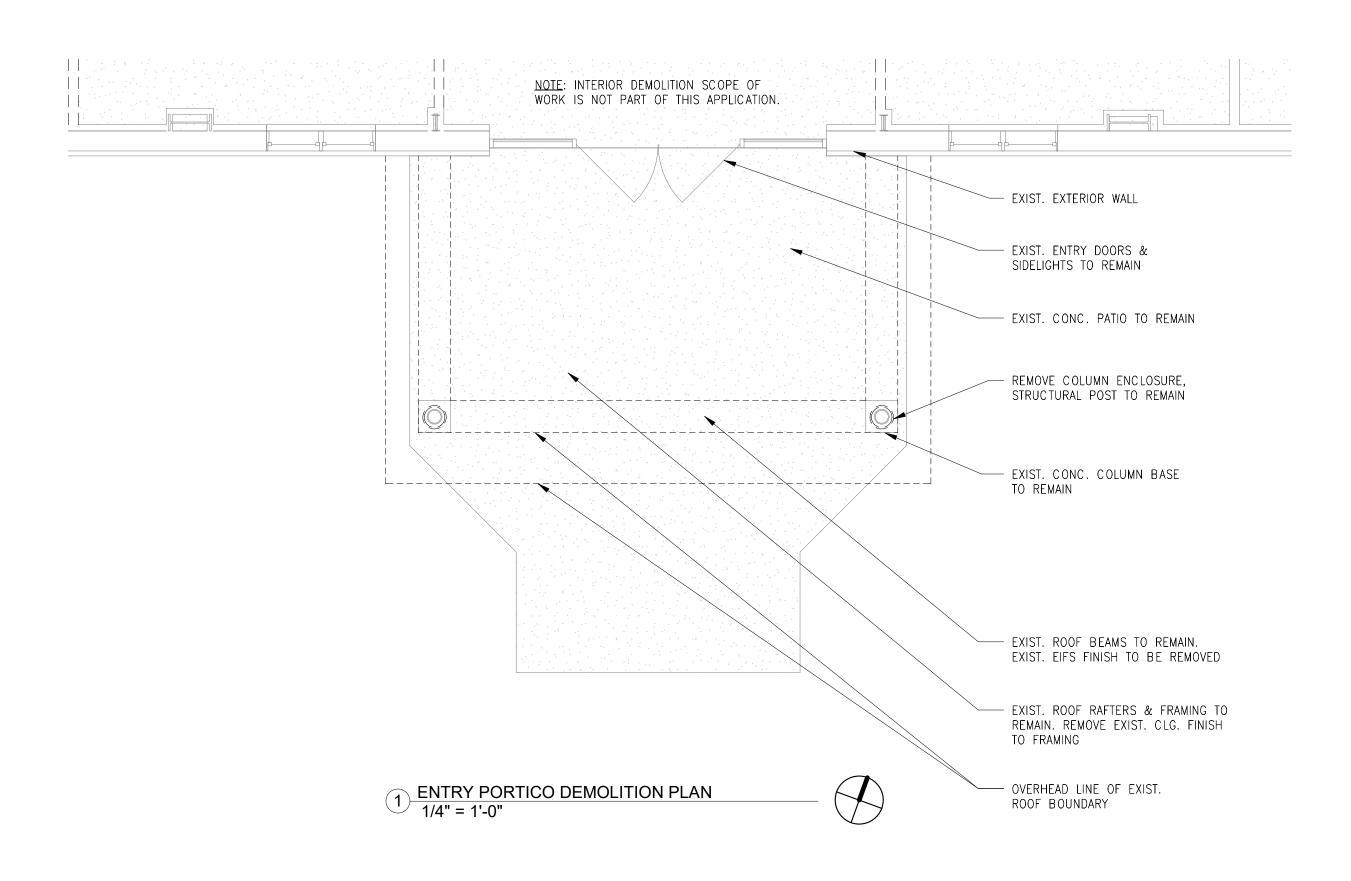
New York 12603

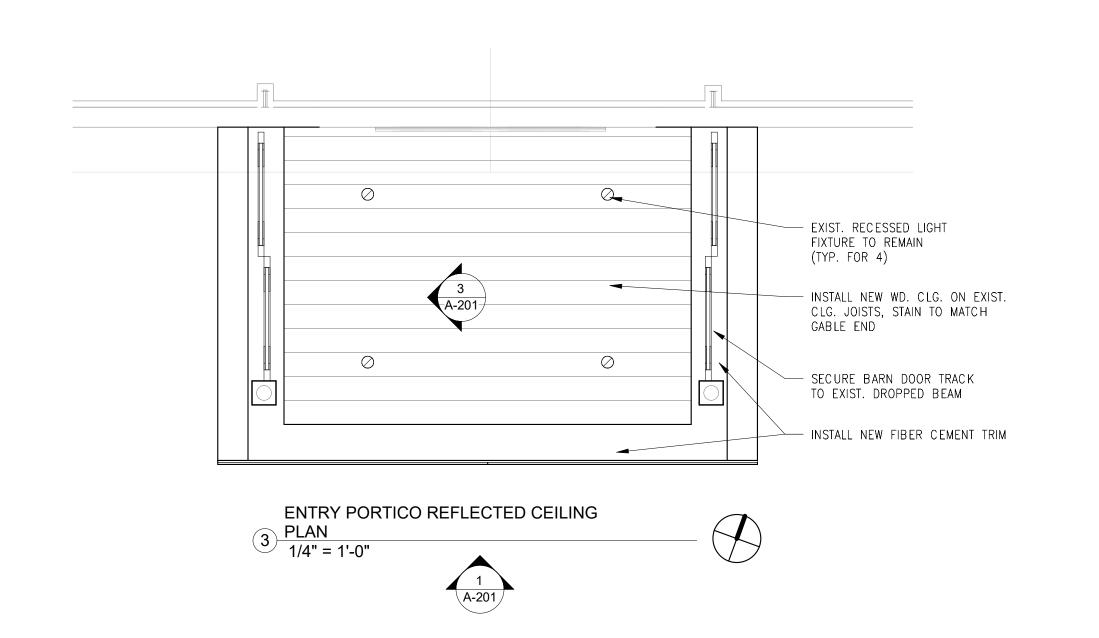
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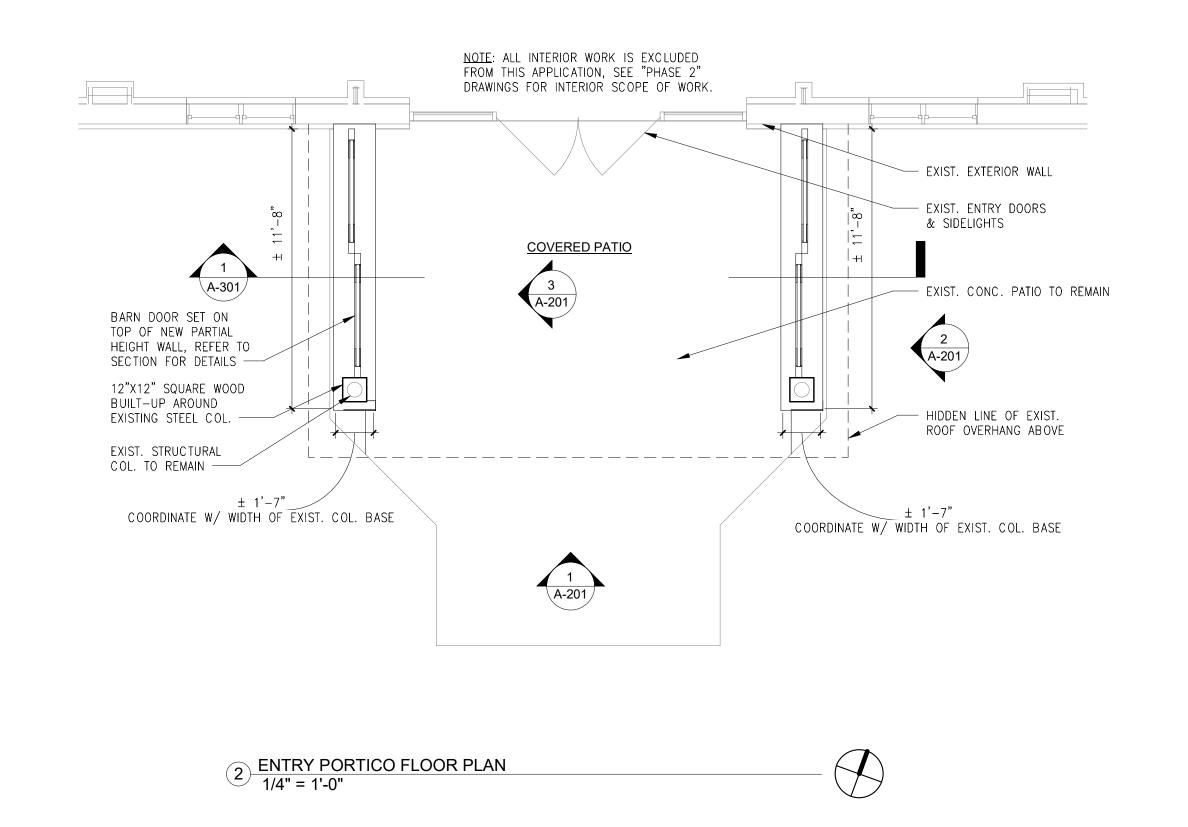
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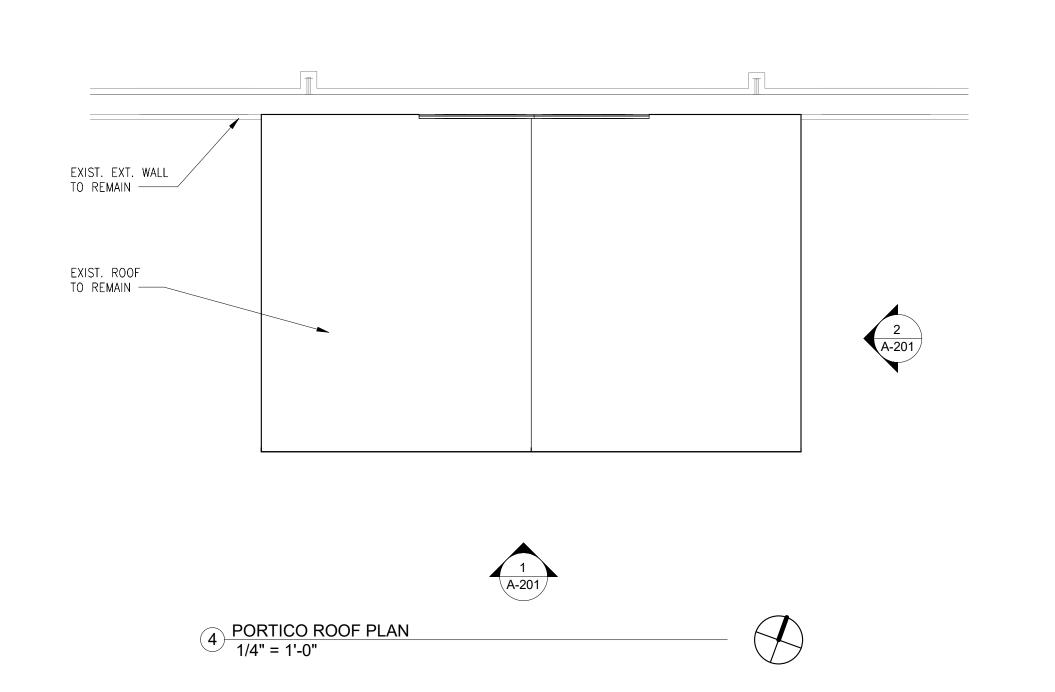
Y1911

Project number











Submissions

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TINKELMAN
ARCHITECTURE

25 Van Wagner Road,
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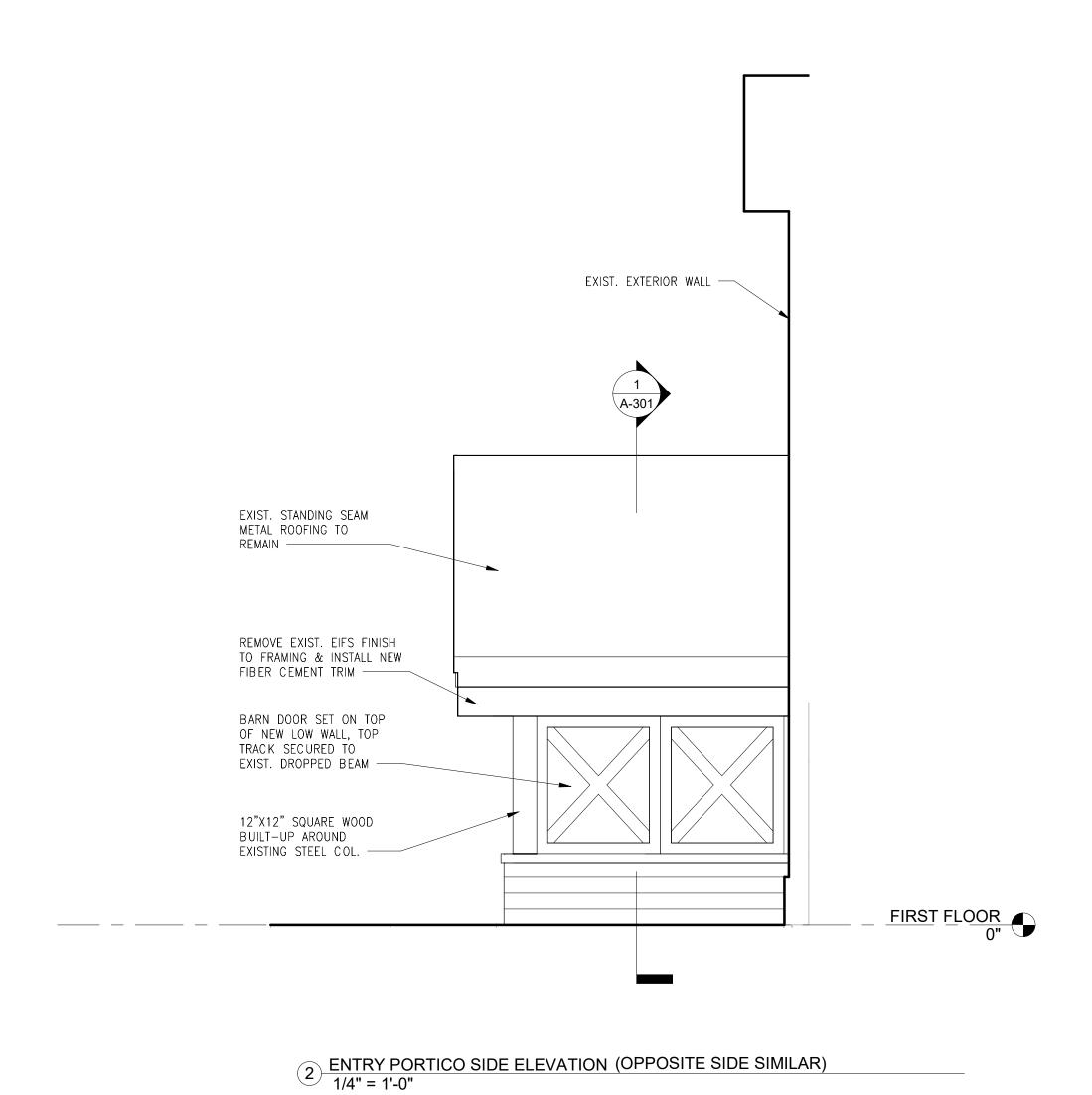
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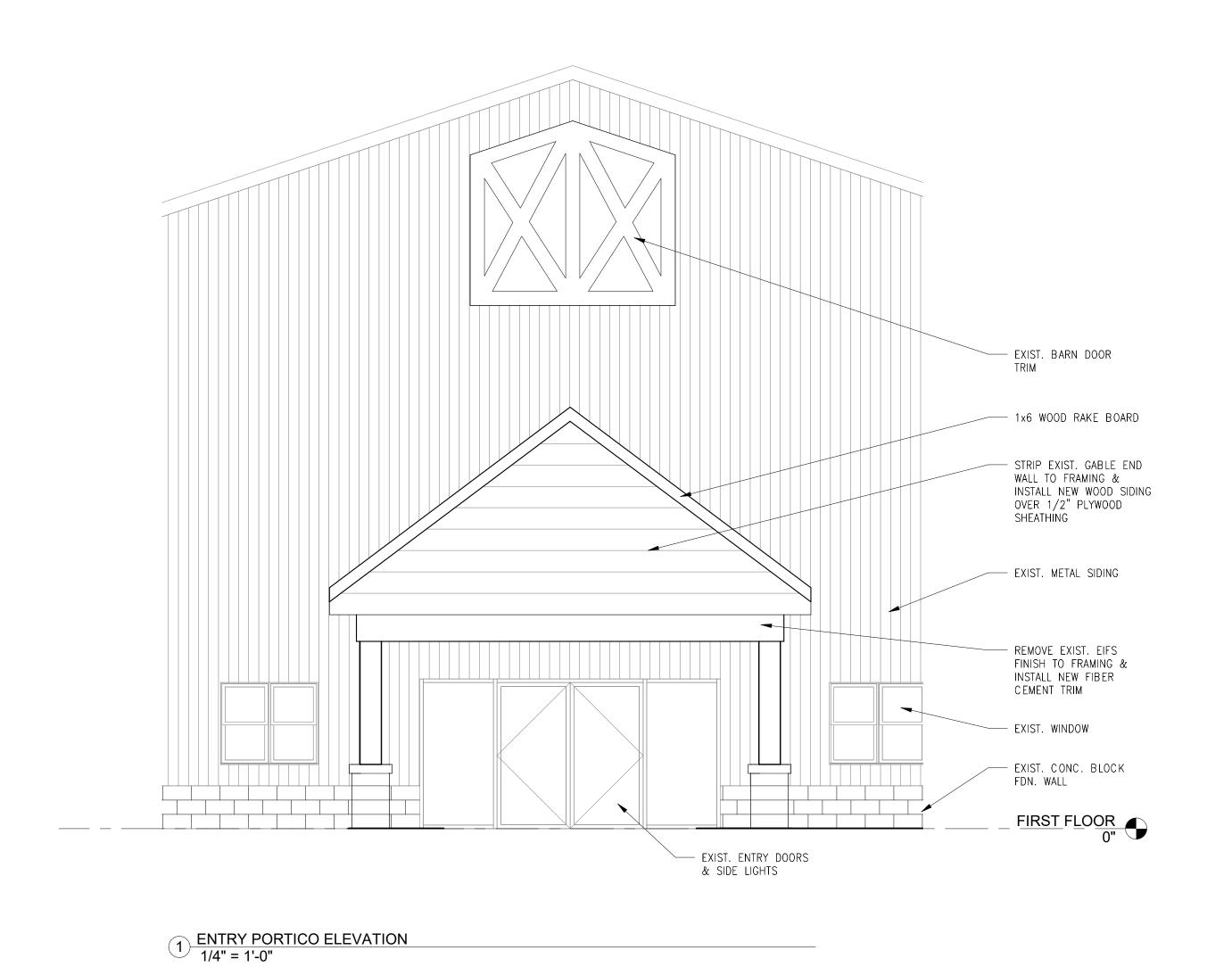
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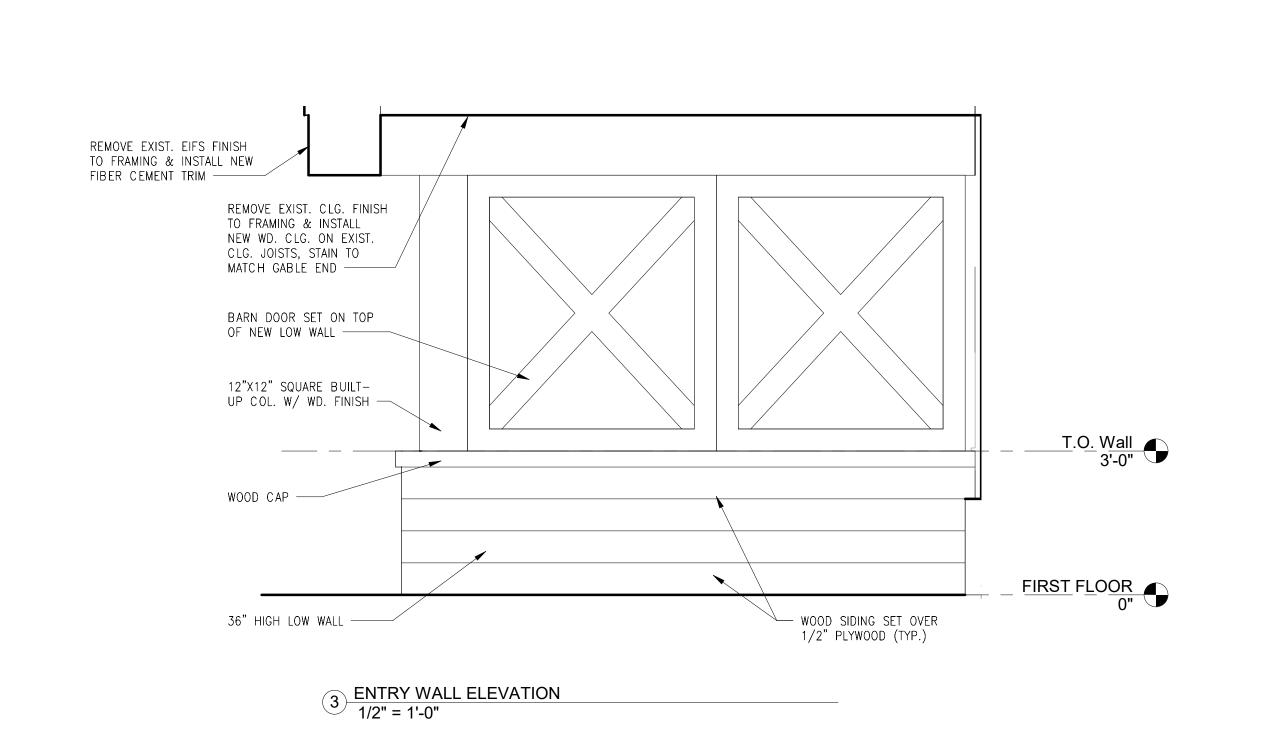
FLOOR PLANS &

RCP

Project number







PHASE I 62 KINGS HWY BYPASS, CHESTER, NY 10918

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Submissions

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ARCHITECTURE

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New York 12603

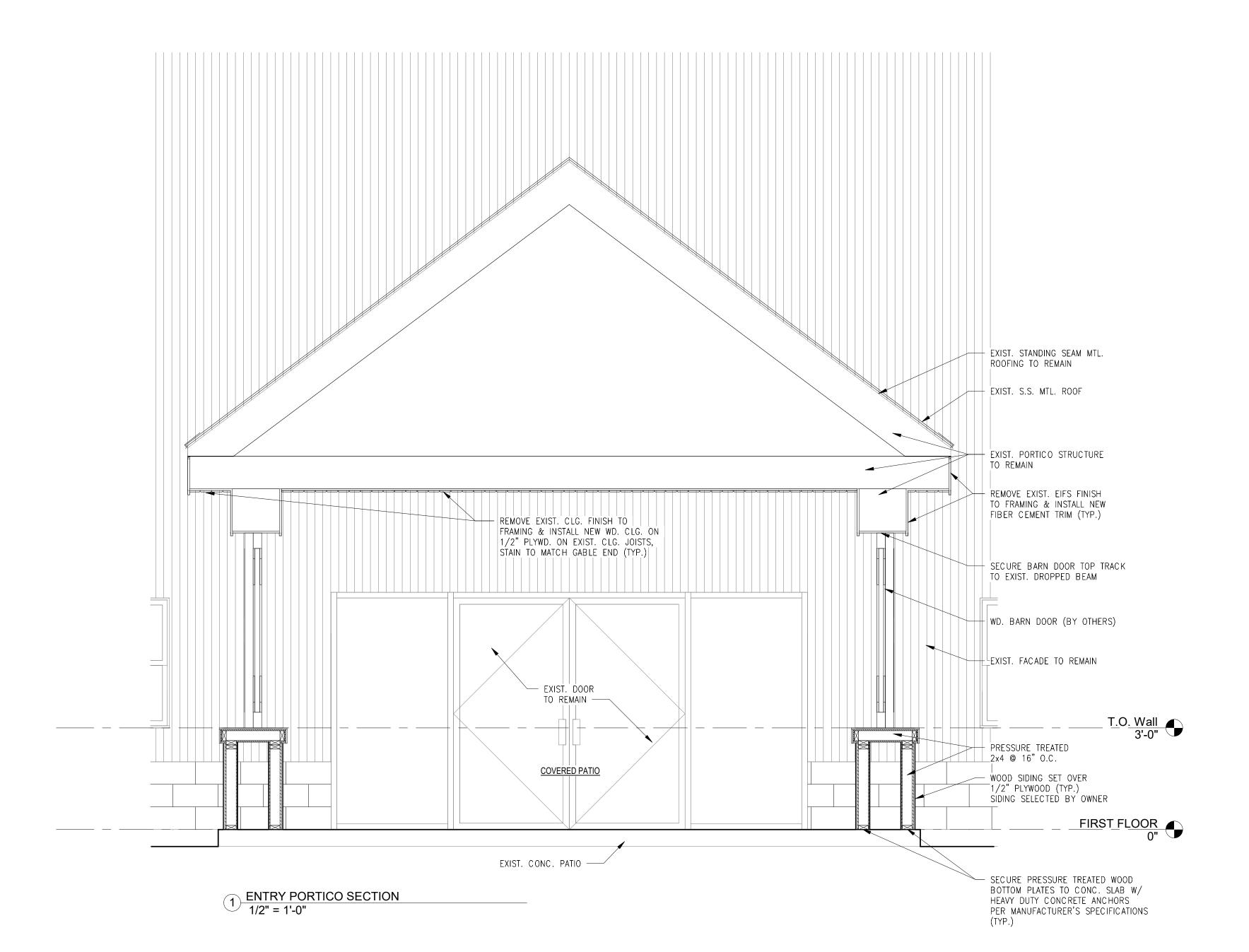
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ELEVATIONS

Project number Y1911

Date Issue Date

A-201



TIN BARN PHASE I 62 KINGS HWY BYPASS, CHESTER, N Description Date

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10918



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> ENTRY PORTICO SECTION

Project number Y1911

Date Issue Date

A-301