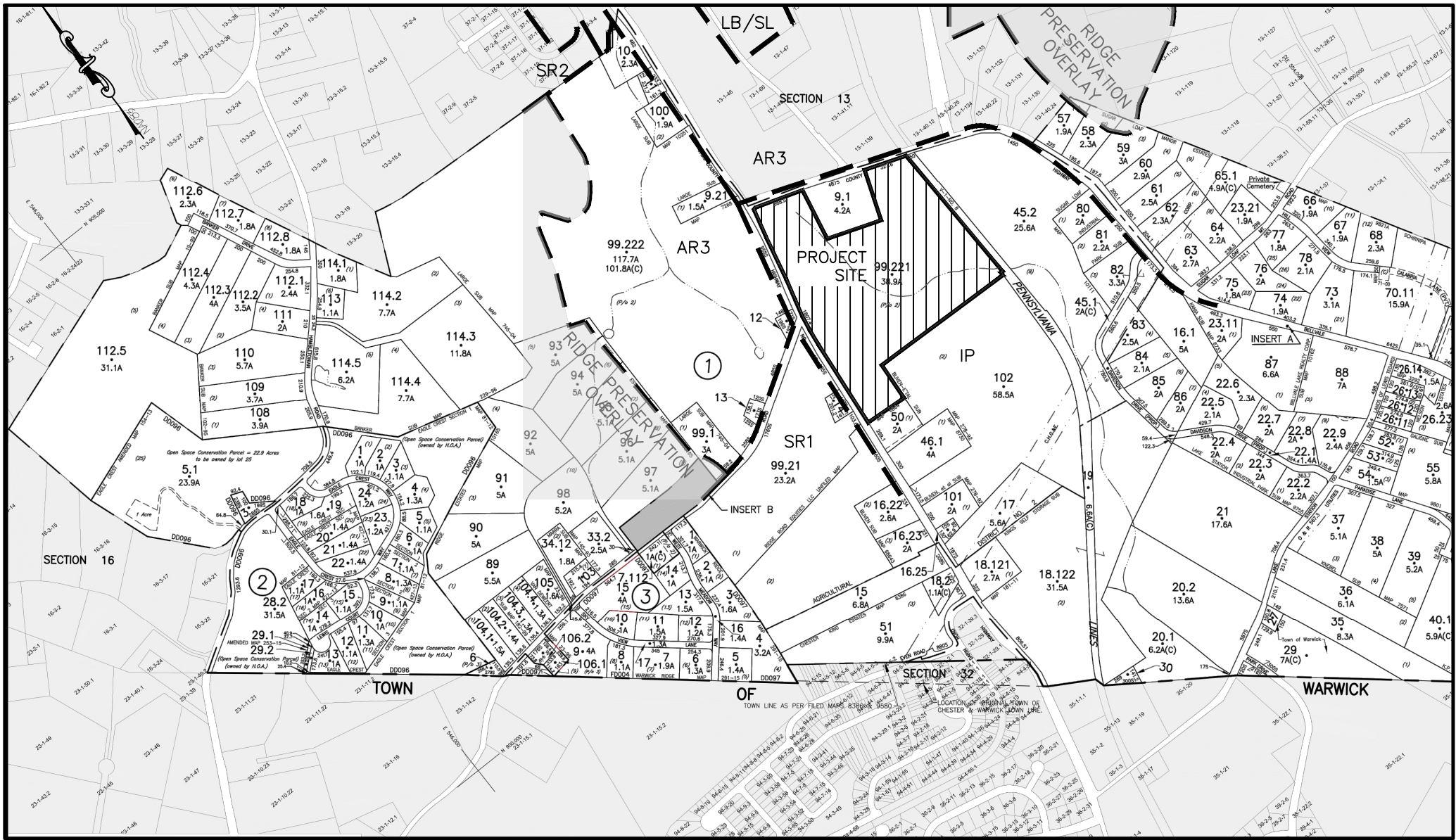
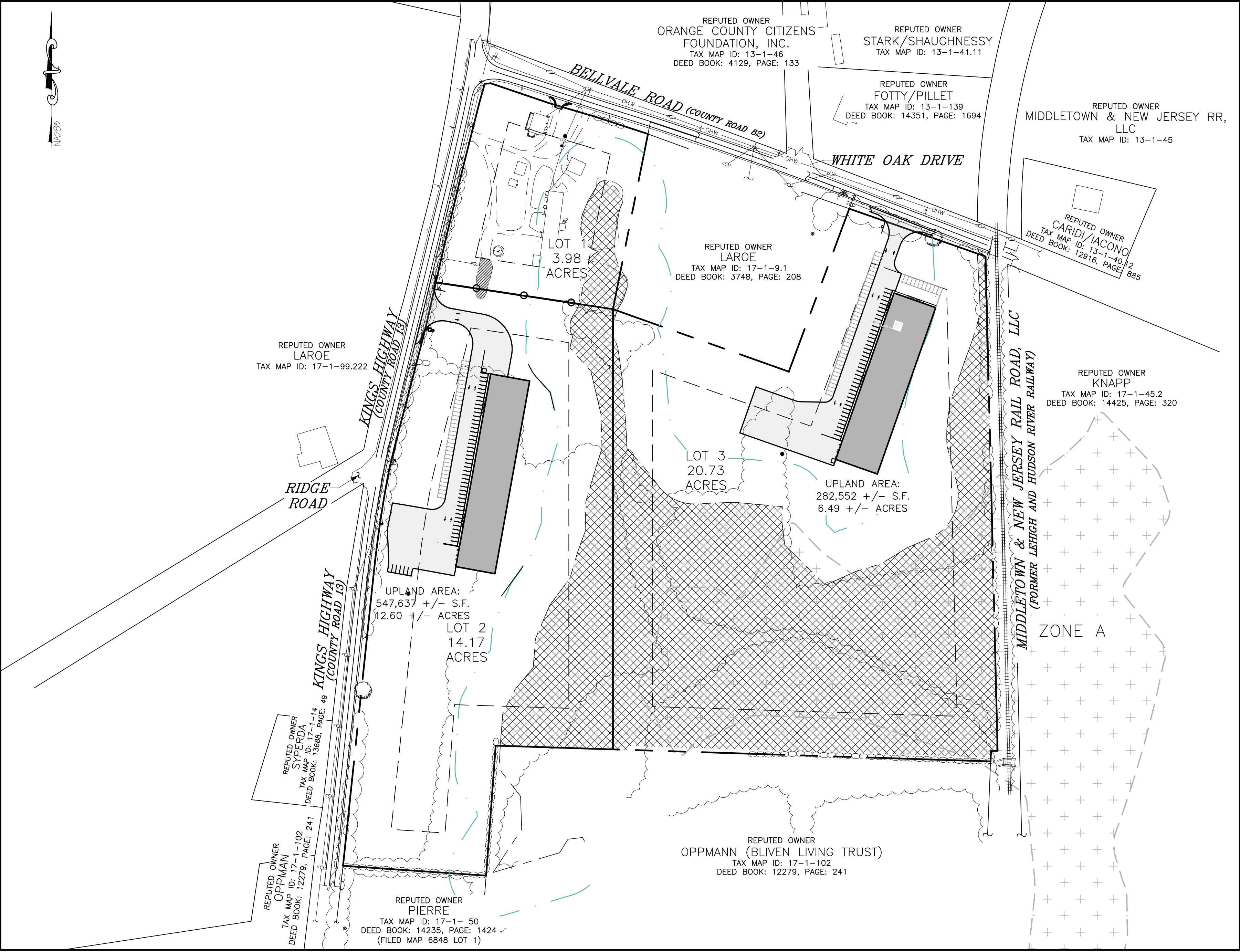


SUBDIVISION AND SITE PLAN FOR 1251 KINGS HIGHWAY LLC  
CHESTER, NEW YORK 10918



LOCATION MAP  
SCALE: 1"=400'

NYSDEC FRESHWATER WETLAND BOUNDARY VALIDATION

The freshwater wetland boundary as represented on these plans accurately depicts the limits of Freshwater Wetland WR-36 as delineated by Michael Fraatz of the NYSDEC on June 15, 2019.

DEC Staff: Michael Fraatz / / Surveyor/Engineer: Arden Consulting Engineers, PLLC

Date Valid: / / Expiration Date: SEAL

Wetland boundary delineations as validated by the New York State Department of Environmental Conservation remain valid for five (5) years unless existing exempt activities, area hydrology, or land use practices change (e.g., agricultural to residential). After five (5) years the boundary must be revalidated by DEC staff. Revalidation may include a new delineation and survey of the wetland boundary.

Any proposed construction, grading, filling, excavating, clearing or other regulated activity in the freshwater wetland or within 100 feet of the wetland boundary as depicted on this plan requires a permit from the NYS Department of Environmental Conservation under Article 24 of the Environmental Conservation Law (Freshwater Wetlands Act) prior to commencement of work.

STANDARD COUNTY NOTE:

NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID HIGHWAY WORK PERMIT HAS BEEN SECURED FROM THE ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS UNDER SECTION 136 OF THE HIGHWAY LAW

GENERAL NOTES:

- TOTAL AREA OF SUBJECT PARCEL: 38.891 +/- ACRES
- TAX MAP IDENTIFICATION NUMBER: SECTION 17, BLOCK 1, LOT 99.221
- DEED REFERENCE: DEED LIBER 3748, PAGE 208
- MAP REFERENCES:
  - A MAP ENTITLED, "SUBDIVISION OF PROPERTY FOR LANDS OF BLIVEN" BY DILLIN & SORACE ASSOCIATES DATED OCTOBER 3, 1984 AND FILED IN THE OFFICE OF THE ORANGE COUNTY CLERK ON JANUARY 9, 1985 AS MAP NUMBER 6864
  - A MAP ENTITLED, "LEHIGH AND HUDSON RIVER RAILWAY, RIGHT OF WAY AND TRACK MAP STATION 301+35 TO STATION 195+75" DATED JUNE 30, 1918 AND FILED IN THE ORANGE COUNTY TAX MAP DEPARTMENT AS MAP NUMBER V-1-NO.8
  - ORANGE COUNTY DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAPS ENTITLED, "WARWICK - CHESTER PART TWO, COUNTY ROAD NO. 13", SHET 3 & 4, DATED 1934 AND FILED IN THE OFFICE OF THE ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS.
  - THIS SURVEY IS SUBJECT TO THE FINDING OF AN UP TO DATE ABSTRACT OF TITLE
  - SUBJECT TO ANY UNWRITTEN AND/OR WRITTEN LICENSES, EASEMENTS, RESTRICTIONS, AND/OR AGREEMENTS OF RECORD.
  - OFFSETS OR DIMENSIONS FROM THE PROPERTY LINES TO STRUCTURES OR IMPROVEMENTS ARE SHOWN FOR THE SPECIFIC PURPOSE OF INTERPRETATION OF COMPLIANCE WITH ZONING AND ARE NOT INTENDED TO MONUMENT THE PROPERTY LINES OR TO GUIDE THE ERECTION OF FENCES OR ANY OTHER IMPROVEMENTS TO THE LAND.

- CERTIFICATIONS ON THIS BOUNDARY SURVEY MAP SIGNIFY THAT THE MAP WAS PREPARED IN ACCORDANCE WITH THE CURRENT EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LANDS SURVEYORS, INC. THE CERTIFICATION IS LIMITED TO THE PERSONS FOR WHOM THE BOUNDARY SURVEY MAP IS PREPARED, TO THE TITLE COMPANY, TO THE GOVERNMENTAL AGENCY, AND TO THE LENDING INSTITUTION LISTED ON THIS BOUNDARY SURVEY MAP.
- CERTIFICATIONS HEREON ARE NOT TRANSFERABLE.
- WETLANDS LIMITS SHOWN HEREON ARE BASED UPON ACTUAL FIELD LOCATION OF WETLANDS FLAGGING AND AS REFERENCED ON A MAP ENTITLED, "SKETCH PLAN FOR CLASSIC TILE", AS PREPARED BY CIVIL TEC ENGINEERING & SURVEYING, P.C., DATED 5/10/2017.
- UNAUTHORIZED COPIES MAY CONTAIN FRAUDULENT, INCORRECT, ERRONEOUS, OR MISLEADING INFORMATION OR OMIT IMPORTANT AND RELEVANT INFORMATION. DO NOT RELY ON UNAUTHORIZED COPIES. THE SEAL, SIGNATURE, AND CERTIFICATE ARE HEREBY REVOKED OR OTHERWISE VOID ON ALL UNAUTHORIZED COPIES. ALL ORIGINAL DOCUMENTS BEAR AN ORIGINAL IMPRESSION AND INK SIGNATURE.
- ALL UNDERGROUND UTILITIES AND/OR IMPROVEMENTS OR THE ENCROACHMENT OF SUCH IMPROVEMENTS ARE NOT ALWAYS KNOWN AND OFTEN MUST BE ESTIMATED. IF THE ENCROACHMENT OF SUCH UNDERGROUND IMPROVEMENTS EXIST OR ARE SHOWN HEREON, THE ENCROACHMENTS OF SUCH UNDERGROUND UTILITIES AND/OR IMPROVEMENTS ARE NOT COVERED BY THIS CERTIFICATE.
- HOURS OF OPERATION: SUNDAY THROUGH SATURDAY 7:00 AM TO 10:00 PM.
- EXISTING BARN ON PROPOSED LOT 1 IS NOT TO BE USED FOR COMMERCIAL PURPOSES UNLESS APPROVED BY THE TOWN OF CHESTER PLANNING BOARD.
- EXISTING BARN ON PROPOSED LOT 1 SHALL BE REPAINTED & OVERGROWN VEGETATION SHALL BE REMOVED.

DRAWING LIST

SHEET NO	SHEET TITLE	ORIGINAL DATE/LAST REVISED DATE
01 OF 21	TITLE SHEET	4-24-20 / 9-8-20
02 OF 21	EXISTING CONDITIONS PLAN	1-21-19 / 9-8-20
03 OF 21	SUBDIVISION & SITE PLAN	1-21-19 / 9-8-20
04 OF 21	SUBDIVISION & SITE PLAN BUILDING 1	1-21-19 / 9-8-20
05 OF 21	SUBDIVISION & SITE PLAN BUILDING 2	1-21-19 / 9-8-20
06 OF 21	GRADING AND UTILITY PLAN BUILDING 1	1-21-19 / 9-8-20
07 OF 21	GRADING AND UTILITY PLAN BUILDING 2	1-21-19 / 9-8-20
08 OF 21	LANDSCAPING & LIGHTING PLAN BUILDING 1	1-21-19 / 9-8-20
09 OF 21	LANDSCAPING & LIGHTING PLAN BUILDING 2	1-21-19 / 9-8-20
10 OF 21	LIGHTING & LANDSCAPING DETAILS	3-15-19 / 9-8-20
11 OF 21	ROAD PROFILES	1-21-19 / 9-8-20
12 OF 21	EROSION AND SEDIMENT CONTROL PLAN	1-21-19 / 9-8-20
13 OF 21	EROSION AND SEDIMENT CONTROL PLAN DETAILS	3-15-19 / 9-8-20
14 OF 21	SDS DETAILS	3-15-19 / 9-8-20
15 OF 21	CONSTRUCTION DETAILS	1-21-19 / 9-8-20
16 OF 21	STORMWATER CONSTRUCTION DETAILS	3-15-19 / 9-8-20
17 OF 21	STORMWATER CONSTRUCTION DETAILS	3-15-19 / 9-8-20
18 OF 21	TURNING DIAGRAMS	1-21-19 / 9-8-20
19 OF 21	ODCPW ENTRANCE DETAILS	3-15-19 / 9-8-20
20 OF 21	ODCPW ENTRANCE DETAILS	4-24-19 / 9-8-20
21 OF 21	CONSTRUCTION SPECIFICATIONS	9-8-20 /

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REVISION	BY	DATE	DESCRIPTION
1.	MM	9/8/20	REVISIONS PER ODCPW 8/5/20 LETTER & KALA 8/5/20 LETTER

THIS SHEET IS NOT VALID WITHOUT ALL OF THE SHEETS THAT COMPRISE THE SET

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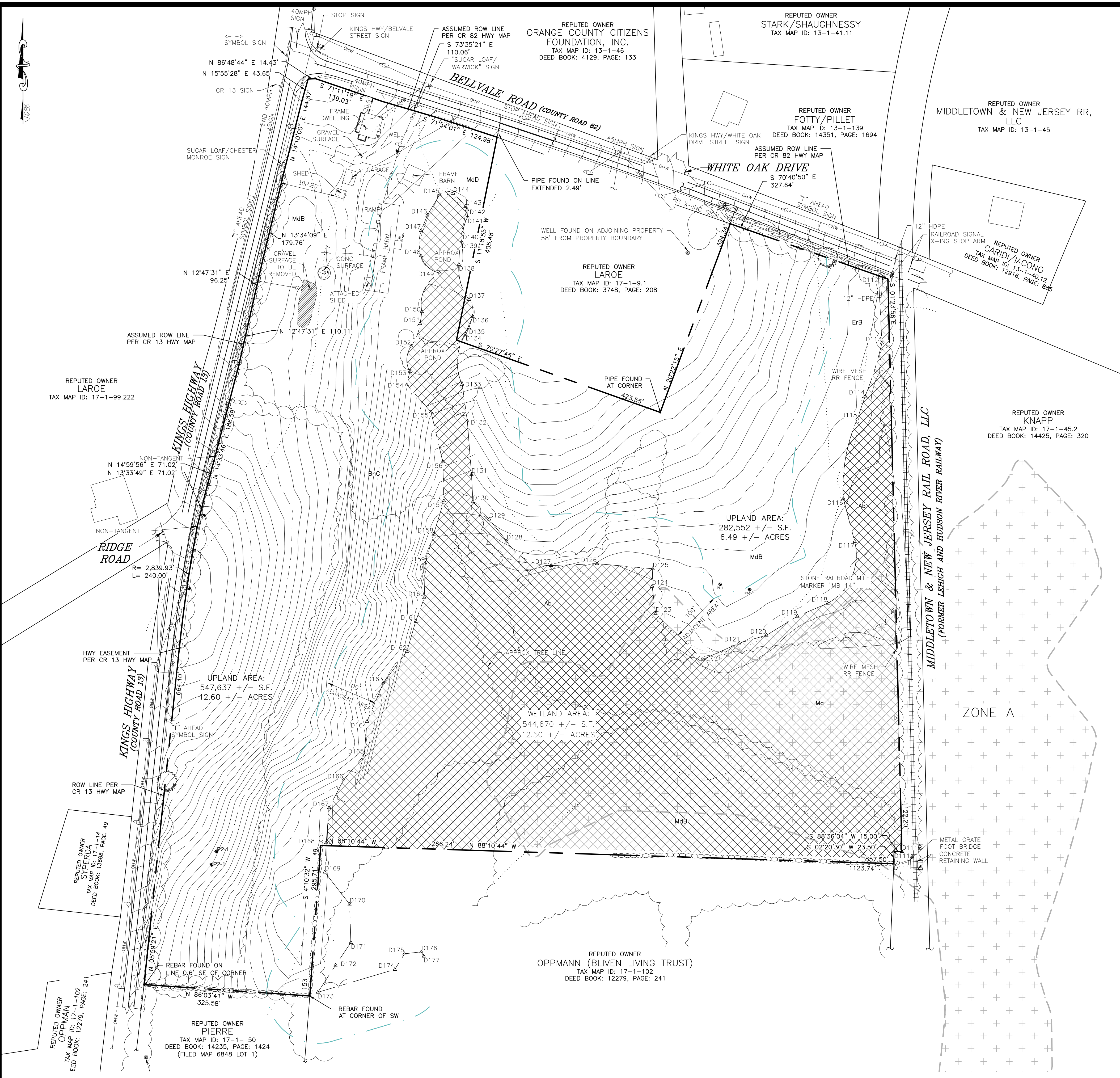
SUBDIVISION & SITE PLAN FOR  
1251 KINGS HIGHWAY LLC  
1251 KINGS HWY  
CHESTER, NY 10918

**TITLE SHEET**

JOB#: 18-029  
SCALE: AS NOTED  
DATE: 4/24/20  
DRAWN: MM  
CHECKED: MM  
SHEET NO. 01 of 21

MICHAEL A. MORGANTE, P.E.  
LIC. NO. 78577





- LEGEND:
- EXISTING BUILDING
  - EXISTING EASEMENT
  - EXISTING WATER EDGE
  - EXISTING WETLANDS BUFFER
  - EXISTING EDGE OF PAVEMENT
  - EXISTING YELLOW LINE
  - EXISTING WHITE LINE
  - EXISTING OVERHEAD WIRE
  - EXISTING WIRE MESH FENCE
  - EXISTING SOIL DELINEATOR
  - EXISTING PROPERTY LINE
  - EXISTING ADJACENT PROPERTY LINE
  - EXISTING STONE WALL
  - EXISTING DRAINAGE LINE
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - EXISTING WETLAND
  - STEEL BRIDGE
  - EXISTING GUY
  - RAIL ROAD TRUCK
  - GRAVEL SURFACE TO BE REMOVED
  - PERCOLATION TEST
  - EXISTING WELL
  - EXISTING LIGHT POLE
  - EXISTING IRON PIPE MARKER
  - EXISTING IRON ROD MARKER
  - EXISTING RAILROAD SIGNAL
  - X-ING STOP ARM
  - EXISTING SIGN
  - RR X-ING SIGN
  - TREE
  - EXISTING TREELINE
  - CONCRETE SURFACE
  - EXISTING FLOOD ZONE

ORANGE COUNTY SOIL SURVEY TABLE

SOIL CLASSIFICATION	SOIL DESCRIPTION	SOIL CHARACTERISTIC	SLOPE
Ab	ALDEN SILT LOAM	POORLY DRAINED	0 - 3 %
BnC	BATH-NASSAU SHALY SILT LOAM	WELL DRAINED	8 - 15 %
ErB	ERIE GRAVELLY SILT LOAM	SOMEWAT POORLY DRAINED	3 - 8 %
Mo	MADALIN SILT LOAM	POORLY DRAINED	0 - 3 %
MdB	MARDIN GRAVELLY SILT LOAM	MODERATELY WELL DRAINED	3 - 8 %
MdD	MARDIN GRAVELLY SILT LOAM	MODERATELY WELL DRAINED	15 - 25 %

**NYSDEC FRESHWATER WETLAND BOUNDARY VALIDATION**

The freshwater wetland boundary as represented on these plans accurately depicts the limits of Freshwater Wetland V.B.39 as delineated by Michael Fraatz of the NYSDEC on June 15, 2019.

DEC Staff: Michael Fraatz 8/20/19 Surveyor/Engineer: Arden Consulting Engineers, PLLC

Date Valid: 8/20/2019 Expiration Date: 8/20/2024 SEAL

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Any proposed construction, grading, filling, excavating, clearing or other regulated activity in the freshwater wetland or within 100 feet of the wetland boundary as depicted on this plan requires a permit from the NYS Department of Environmental Conservation under Article 24 of the Environmental Conservation Law (Freshwater Wetlands Act) prior to commencement of work.

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2.	MM	8/9/19	REVISIONS PER NYSDEC WETLAND DELINEATION
1.	MM	3/15/19	REVISIONS PER 1/28/19 FUSCO COMMENT LETTER

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SUBDIVISION & SITE PLAN FOR  
**1251 KINGS HIGHWAY LLC**  
1251 KINGS HWY  
CHESTER, NY 10918

EXISTING CONDITIONS PLAN

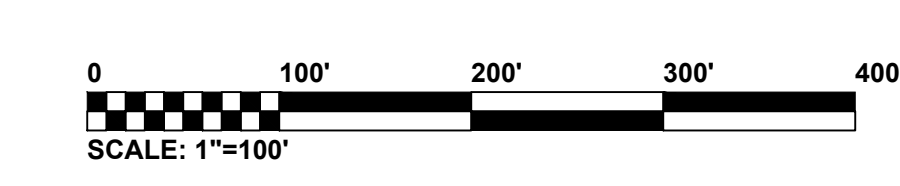
JOB#: 18-029  
SCALE: AS NOTED  
DATE: 1/21/19  
DRAWN: MM  
CHECKED: MM  
SHEET NO. 02 of 21

MICHAEL A. MORGANTE, P.E.  
LIC. NO. 78577

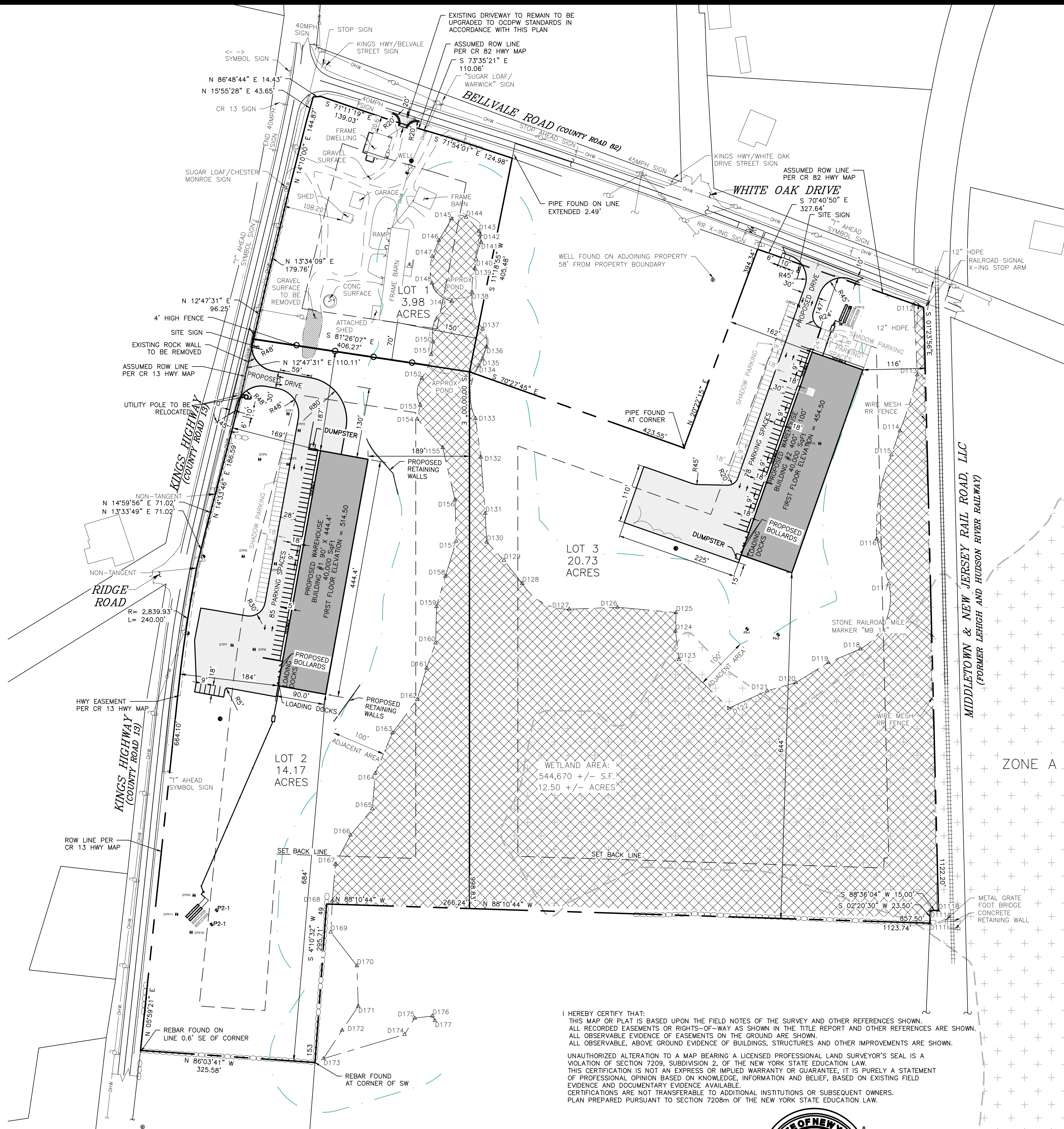
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EXISTING CONDITIONS PLAN  
SCALE: 1"=100'







#### LEGEND:

	EXISTING BUILDING
	EXISTING WATER EDGE
	EXISTING WETLANDS BUFFER
	EXISTING EDGE OF PAVEMENT
	EXISTING YELLOW LINE
	EXISTING WHITE LINE
	EXISTING OVERHEAD WIRE
	EXISTING PROPERTY LINE
	EXISTING ADJACENT PROPERTY LINE
	EXISTING STONE WALL
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING DRAINAGE LINE
	EXISTING WETLAND
	EXISTING GUY
	GRAVEL SURFACE TO BE REMOVED
	PERCOLATION TEST
	EXISTING WELL
	EXISTING LIGHT POLE
	EXISTING IRON PIPE MARKER
	EXISTING IRON ROD MARKER
	EXISTING SIGN
	PROPOSED WELL
	DUMPSTER LINE
	ZONING SET BACK LINE
	PROPOSED BUILDING
	PROPOSED EDGE OF PAVEMENT
	PROPOSED PROPERTY LINE
	PROPOSED SEWER LINE
	PROPOSED SEWER CLEANOUT
	PROPOSED SEPTIC TANK
	PROPOSED DISTRIBUTION BOX
	EXISTING FLOOD ZONE
	DEEP TESTS
	PROPOSED 4' HIGH FENCE

#### ZONING BULK TABLE IP DISTRICT (INDUSTRIAL PARK)

	REQUIRED (MINIMUM)	LOT 1	LOT 2	LOT 3
LOT AREA	2 ACRES	3.98 ACRES	14.17 ACRES	20.73 ACRES
LOT WIDTH	200 FT.	456.9 FT.	1,340.6 FT.	385.9 FT.
FRONT YARD	75 FT.	108.2 FT. EXISTING	169.0 FT.	147.0 FT.
SIDE YARD (1)	70 FT.	30.6 FT. EXISTING	187.0 FT.	116.0 FT.
SIDE YARD (BOTH)	140 FT.	100.9 FT.	871.0 FT.	278.0 FT.
REAR YARD	75 FT.	149.6 FT. EXISTING	189.0 FT.	644.0 FT.
BUILDING HEIGHT (MAX.)	45 FT.	26.8 FT. EXISTING	45 FT.	45 FT.
LOT COVERAGE (MAX)	40%	5.6%	14.9%	10.4%

#### PARKING REQUIREMENTS

WAREHOUSE OR WHOLESALE ESTABLISHMENT  
1 PER 500 SQUARE FEET OF GROSS FLOOR AREA

LOT 2: 40,000 SF/500 SF/SPACE=80 SPACES REQUIRED  
50 SPACES PROVIDED  
35 SPACES SHADOW

LOT 3: 40,000 SF/500 SF/SPACE=80 SPACES REQUIRED  
40 SPACES PROVIDED  
49 SPACES SHADOW

#### STANDARD COUNTY NOTE:

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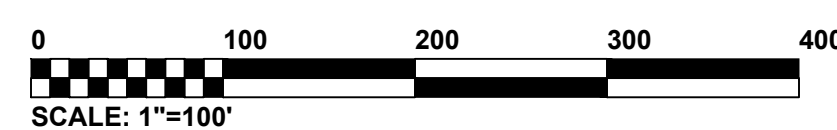


STEPHEN P. DOLSON, P.L.S.  
LICENSE NO. 0502964

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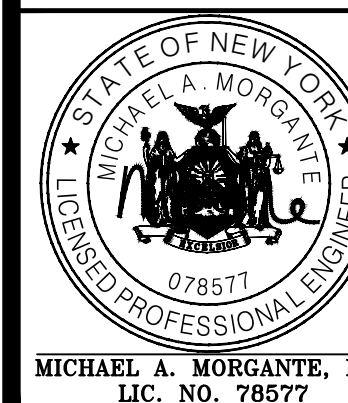


#### SUBDIVISION & SITE PLAN SCALE: 1"=100'

REVISION	BY	DATE	DESCRIPTION
5.	MM	9/8/20	REVISIONS PER OCDPW 8/5/20 LETTER & KALA 8/5/20 LETTER
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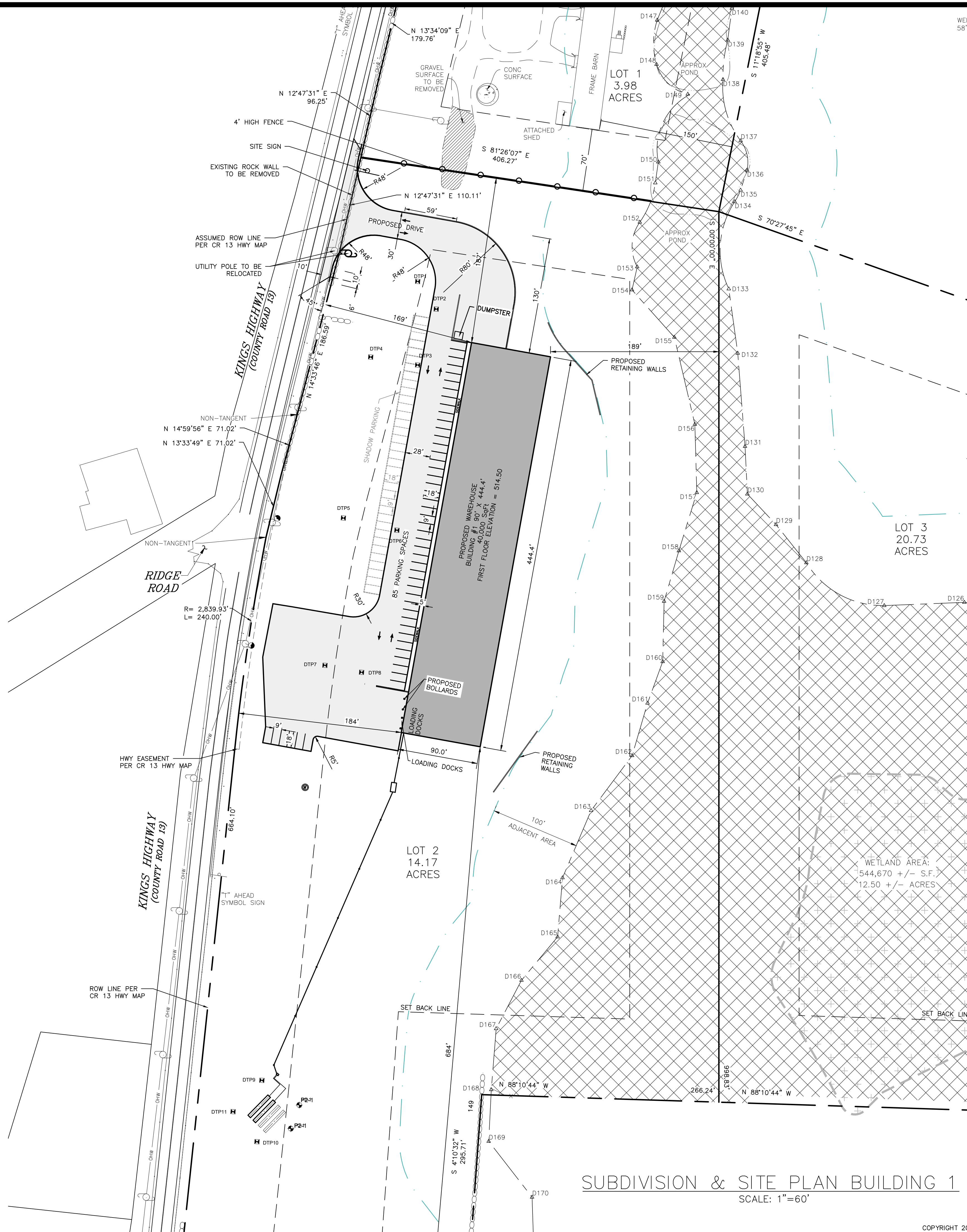
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SUBDIVISION & SITE PLAN FOR  
**1251 KINGS HIGHWAY LLC**  
1251 KINGS HWY  
CHESTER, NY 10918

#### SUBDIVISION & SITE PLAN

JOB#:  
18-029  
SCALE:  
AS NOTED  
DATE:  
1/21/19  
DRAWN:  
MM  
CHECKED:  
MM  
SHEET NO.  
03 of 21





LEGEND:

- EXISTING BUILDING
- EXISTING WATER EDGE
- EXISTING WETLANDS BUFFER
- EXISTING EDGE OF PAVEMENT
- EXISTING YELLOW LINE
- EXISTING WHITE LINE
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- PROPOSED SEWER LINE
- PROPOSED SEWER CLEANOUT
- PROPOSED SEPTIC TANK
- PROPOSED DISTRIBUTION BOX
- EXISTING FLOOD ZONE
- DEEP TESTS
- PROPOSED 4' HIGH FENCE

ZONING BULK TABLE

IP DISTRICT (INDUSTRIAL PARK)

	REQUIRED (MINIMUM)	PROPOSED		
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LOT AREA	2 ACRES	3.98 ACRES	14.17 ACRES	20.73 ACRES
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SHADOW PARKING NOTE:

SHADOW PARKING TO BE CONSTRUCTED AS DIRECTED BY THE ENGINEER

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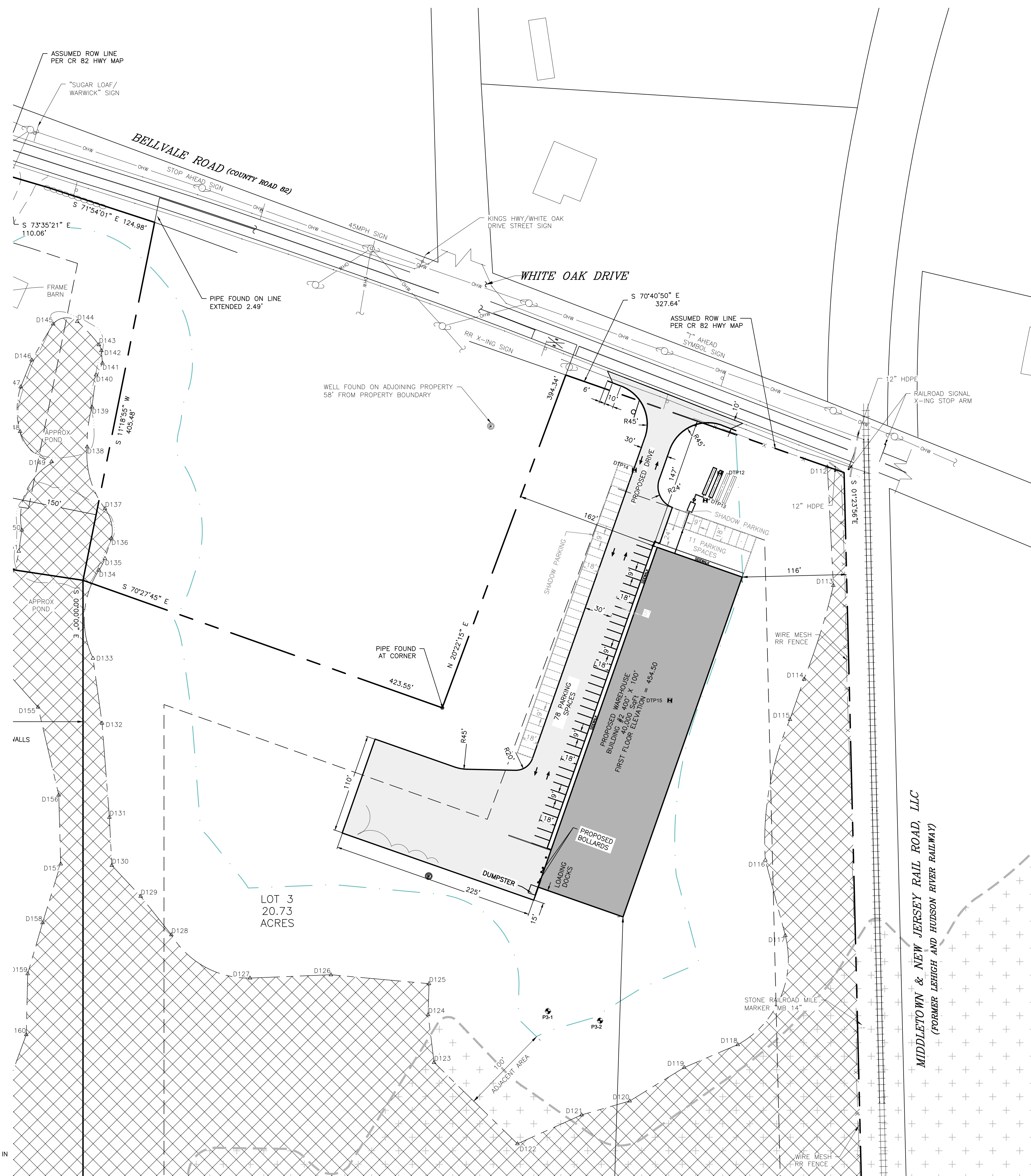
SUBDIVISION & SITE PLAN FOR  
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SUBDIVISION & SITE PLAN  
BUILDING 1

JOB#:  
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SHEET NO.  
04 of 21

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LEGEND:

- EXISTING BUILDING
- EXISTING WATER EDGE
- EXISTING WETLANDS BUFFER
- EXISTING EDGE OF PAVEMENT
- EXISTING YELLOW LINE
- EXISTING WHITE LINE
- EXISTING OVERHEAD WIRE
- EXISTING PROPERTY LINE
- EXISTING ADJACENT PROPERTY LINE
- EXISTING STONE WALL
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING DRAINAGE LINE
- EXISTING WETLAND
- EXISTING GUY
- GRAVEL SURFACE TO BE REMOVED
- PERCOLATION TEST
- EXISTING WELL
- EXISTING LIGHT POLE
- EXISTING IRON PIPE MARKER
- EXISTING IRON ROD MARKER
- EXISTING SIGN
- PROPOSED WELL
- DUMPSTER LINE
- ZONING SET BACK LINE
- PROPOSED BUILDING
- PROPOSED EDGE OF PAVEMENT
- PROPOSED PROPERTY LINE
- PROPOSED SEWER LINE
- PROPOSED SEWER CLEANOUT
- PROPOSED SEPTIC TANK
- PROPOSED DISTRIBUTION BOX
- EXISTING FLOOD ZONE
- DEEP TESTS

ZONING BULK TABLE  
IP DISTRICT (INDUSTRIAL PARK)

	REQUIRED (MINIMUM)	PROPOSED		
		LOT 1	LOT 2	LOT 3
LOT AREA	2 ACRES	3.98 ACRES	14.17 ACRES	20.73 ACRES
LOT WIDTH	200 FT.	456.9 FT.	1,340.6 FT.	385.9 FT.
FRONT YARD	75 FT.	108.2 FT. EXISTING	169.0 FT.	147.0 FT.
SIDE YARD (1)	70 FT.	30.6 FT. EXISTING	187.0 FT.	116.0 FT.
SIDE YARD (BOTH)	140 FT.	100.9 FT.	871.0 FT.	278.0 FT.
REAR YARD	75 FT.	149.6 FT. EXISTING	189.0 FT.	644.0 FT.
BUILDING HEIGHT (MAX.)	45 FT.	26.8 FT. EXISTING	45 FT.	45 FT.
LOT COVERAGE (MAX)	40%	5.6%	14.9%	10.4%

PARKING REQUIREMENTS

WAREHOUSE OR WHOLESALE ESTABLISHMENT  
1 PER 500 SQUARE FEET OF GROSS FLOOR AREA

LOT 2: 40,000 SF/500 SF/SPACE=80 SPACES REQUIRED  
50 SPACES PROVIDED  
35 SPACES SHADOW

LOT 3: 40,000 SF/500 SF/SPACE=80 SPACES REQUIRED  
40 SPACES PROVIDED  
49 SPACES SHADOW

STANDARD COUNTY NOTE:

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SHADOW PARKING NOTE:

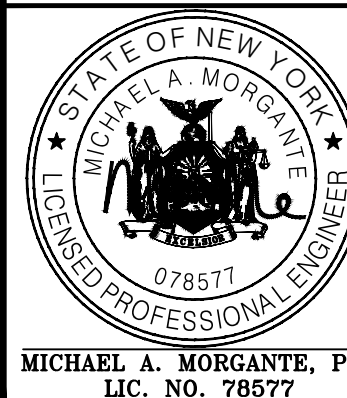
SHADOW PARKING TO BE CONSTRUCTED AS DIRECTED BY THE ENGINEER



REVISION	BY	DATE	DESCRIPTION
5.	MM	9/8/20	REVISIONS PER OGDWP 8/5/20 LETTER & KALA 8/5/20 LETTER
4.	MM	4/24/20	REVISIONS PER OGDWP 8/5/20 LETTER & KALA 8/5/20 LETTER
3.	MM	8/26/19	REVISIONS PER 4/10/20 OGDWP COMMENT LETTER
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1.	MM	3/15/19	REVISIONS PER 1/28/19 FUSCO COMMENT LETTER

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ARDEN CONSULTING ENGINEERS, PLLC  
P.O. BOX 340 MONROE, N.Y.  
TEL: (845) 782-8114  
WWW.ARDENCONSULTING.NET



SUBDIVISION & SITE PLAN FOR  
1251 KINGS HIGHWAY LLC  
1251 KINGS HWY  
CHESTER, NY 10918

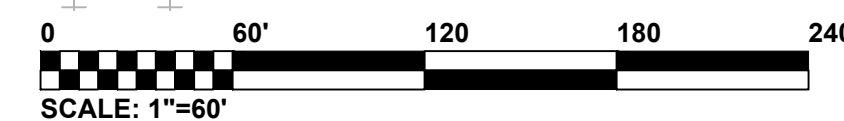
SUBDIVISION & SITE PLAN  
BUILDING 2

JOB#: 18-029  
SCALE: AS NOTED  
DATE: 1/21/19  
DRAWN: MM  
CHECKED: MM  
SHEET NO. 05 of 21

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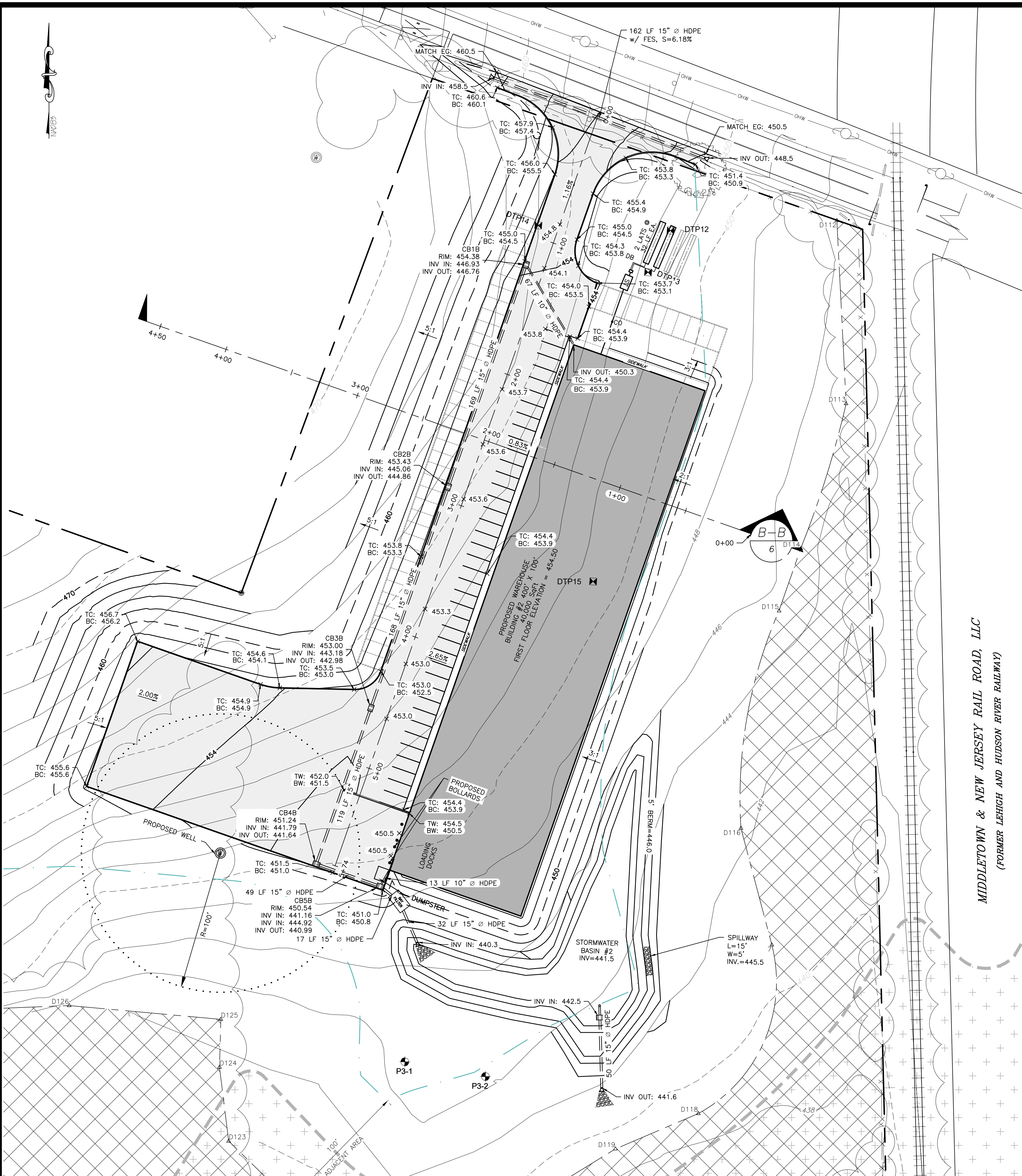
SUBDIVISION & SITE PLAN BUILDING 2  
SCALE: 1"=60'







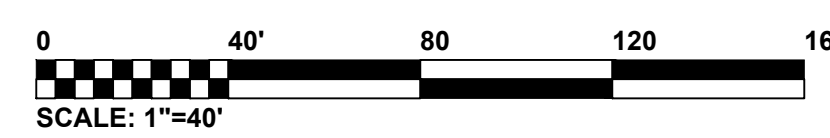




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GRADING AND UTILITY PLAN BUILDING 2  
SCALE: 1"=40'



NOTE:  
WETLAND BUFFER DISTURBANCE AREA=13,189 SF

LEGEND:

- EXISTING BUILDING
- EXISTING WATER EDGE
- EXISTING WETLANDS BUFFER
- EXISTING EDGE OF PAVEMENT
- EXISTING YELLOW LINE
- EXISTING WHITE LINE
- EXISTING OVERHEAD WIRE
- EXISTING PROPERTY LINE
- EXISTING ADJACENT PROPERTY LINE
- EXISTING STONE WALL
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING DRAINAGE LINE
- EXISTING WETLAND
- EXISTING GUY
- GRAVEL SURFACE TO BE REMOVED
- EXISTING RAILROAD SIGNAL
- X-ING STOP ARM
- PERCOLATION TEST
- EXISTING WELL
- EXISTING LIGHT POLE
- EXISTING IRON PIPE MARKER
- EXISTING IRON ROD MARKER
- EXISTING SIGN
- PROPOSED WELL
- PROPOSED BUILDING
- PROPOSED EDGE OF PAVEMENT
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED SPOT GRADE
- PROPOSED DRAINAGE CATCHBASIN
- PROPOSED DRAINAGE PIPE
- PROPOSED BAYFILTER
- PROPOSED TRENCH DRAIN
- PROPOSED FLARED END SECTION
- PROPOSED SEWER LINE
- PROPOSED SEWER CLEANOUT
- PROPOSED SEPTIC TANK
- PROPOSED DISTRIBUTION BOX
- PROPOSED RIPRAP
- PROPOSED PROPERTY LINE
- DEEP TESTS
- EXISTING FLOOD ZONE
- EXISTING TREELINE
- TREE

PERCOLATION TEST LOT 3

PERC. No. 1	
FIRST RUN	1:26 MIN.
SECOND RUN	1:55 MIN.
THIRD RUN	2:17 MIN.

PERC. No. 2	
FIRST RUN	1:54 MIN.
SECOND RUN	2:40 MIN.
THIRD RUN	2:56 MIN.
FOURTH RUN	3:04 MIN.

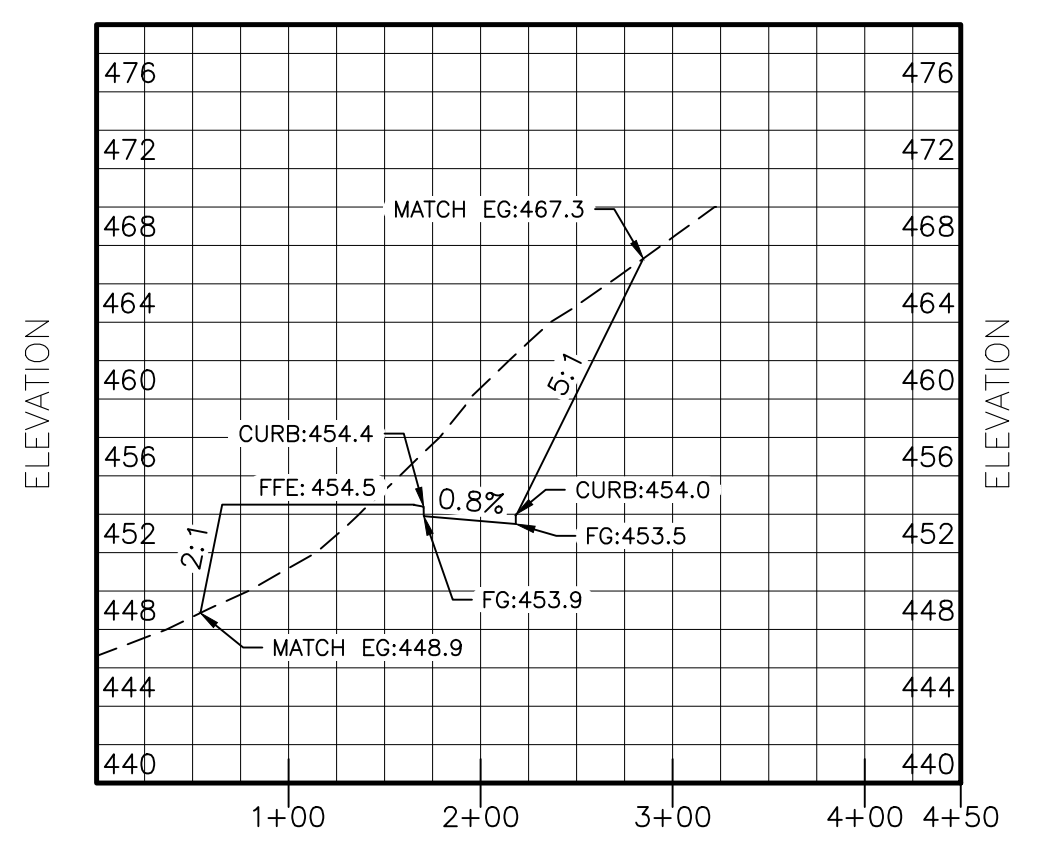
PERCOLATION TESTS WERE WITNESSED BY FUSCO ENGINEERING & LAND SURVEYING, P.C.

DEEP TEST PIT OBSERVATIONS LOT 3  
AUGUST 30, 2019 BY ARDEN CONSULTING ENGINEERS, PLLC

PIT NO.	DEPTH	DESCRIPTION
DT12	0"-9"	TOPSOIL
	9"-36"	LOAM w/ GRAVEL
	36"-60"	SANDY LOAM w/ GRAVEL, SHALE COBBLES & CLAY POCKETS ROOTS TO 36"+ NO LEDGE NO SEEPAGE
DT13	0"-9"	TOPSOIL
	9"-44"	LOAM w/ GRAVEL
	44"-72"	SANDY LOAM w/ GRAVEL, SHALE COBBLES & CLAY POCKETS ROOTS TO 36"+ NO LEDGE NO SEEPAGE

SEPTIC SYSTEM DESIGN CRITERIA:

- HYDRAULIC RATE PER EMPLOYEE/SHIFT = 15 GPD
- SEPTIC TANK DESIGN:  $1.5 \times Q = 1.5 \times 450 \text{ GPD} = 675 \text{ GALLONS}$   
USE A 1,250 GALLON SEPTIC TANK
- MAX. STABILIZED PERCOLATION RATE: 2:22 MIN/IN  
DESIGN RATE: 1-5 MIN/IN.
- FLOW RATE (GAL/DAY): 450 GPD FOR 30 EMPLOYEES WITH ONE WORK SHIFT
- ELJEN DESIGN PER 2014 NYSDEC DESIGN STDS. FOR INTERMEDIATE SIZED WTS.
  - 1.2 GPD/SF APPLICATION RATE
  - DESIGN FLOW=450 GPD
  - 450 GPD/1.2 GPD/SF = 375 S.F.
  - USING 6 SF/LF YIELDS 62.5 LF
  - DIVIDING BY 4 LF/ELJEN UNIT
  - YIELDS 15.625 UNITS--SAY 16 UNITS
  - PROVIDED: 2 LATS. @ 8 UNITS PER LATERAL
  - =64 LF w/ 100% EXPANSION



SITE CROSS SECTION B-B  
HORIZONTAL: 1"=100'  
VERTICAL: 1"=10'

Dig Safely. New York  
Call 811  
before you dig

REVISION	BY	DATE	DESCRIPTION
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MICHAEL A. MORGANTE, P.E.  
LIC. NO. 78577

SUBDIVISION & SITE PLAN FOR  
1251 KINGS HIGHWAY LLC  
1251 KINGS HWY  
CHESTER, NY 10918

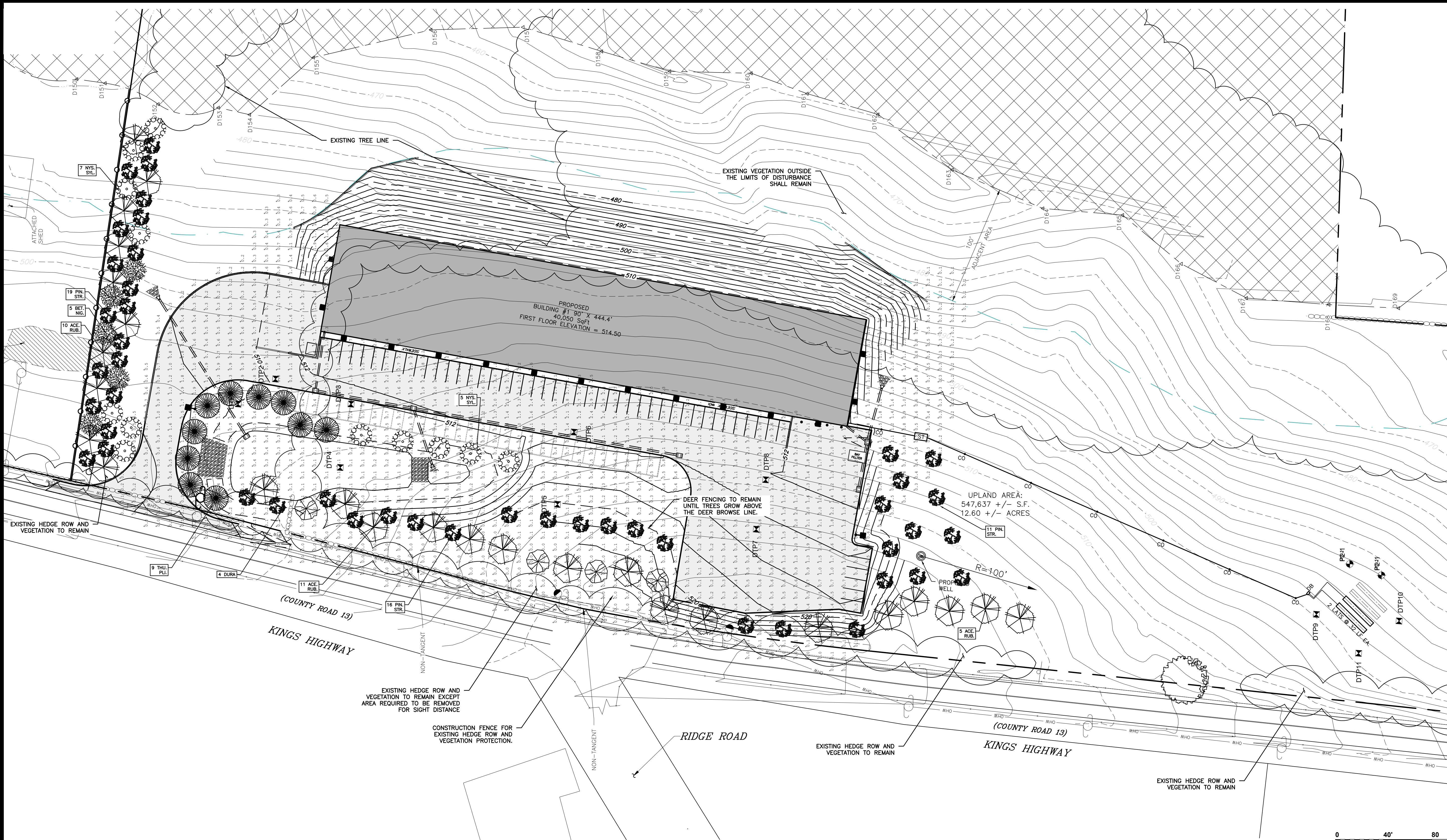
GRADING AND UTILITY PLAN  
BUILDING 2

JOB#:  
18-029  
SCALE:  
AS NOTED  
DATE:  
1/21/19  
DRAWN:  
MM  
CHECKED:  
MM  
SHEET NO.  
07 of 21

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- LEGEND:
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  - EXISTING WATER EDGE
  - EXISTING WETLANDS BUFFER
  - EXISTING EDGE OF PAVEMENT
  - EXISTING YELLOW LINE
  - EXISTING WHITE LINE
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  - X-ING STOP ARM
  - PERCOLATION TEST
  - EXISTING WELL
  - EXISTING LIGHT POLE
  - EXISTING IRON PIPE MARKER
  - EXISTING IRON ROD MARKER
  - EXISTING SIGN
  - PROPOSED WELL
  - PROPOSED BUILDING
  - PROPOSED EDGE OF PAVEMENT
  - PROPOSED MAJOR CONTOUR
  - PROPOSED MINOR CONTOUR
  - PROPOSED DRAINAGE CATCHBASIN
  - PROPOSED DRAINAGE PIPE
  - PROPOSED BAY FILTER
  - PROPOSED TRENCH DRAIN
  - PROPOSED FLARED END SECTION
  - PROPOSED SEWER LINE
  - PROPOSED SEWER CLEANOUT
  - PROPOSED SEPTIC TANK
  - PROPOSED DISTRIBUTION BOX
  - PROPOSED RIPRAP
  - PROPOSED PROPERTY LINE
  - DEEP TESTS
  - PROPOSED 4' HIGH FENCE

Calculation Summary									
Label	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpclr	PtSpctb	
BUILDING #1	Fc	1.43	3.1	0.1	14.30	31.00	10	10	
BUILDING #2	Fc	1.43	3.3	0.1	14.30	33.00			

Luminaire Schedule									
WLS11720	1251 KINGS HWY WAREHOUSE	CHESTER, NY	PM: STEVE	PLEASE EMAIL US FOR PRICING AT STEVE@WLSLIGHTING.COM					
Symbol	Qty	Label	Lum. Lumens	LLF	Description			Lum. Watts	
	1	A	18931	0.950	WLS-CLXM-LED-181-SIL-3-40-70CRI 25' POLE 2'-6" BASE			148.5	
	3	B	17562	0.950	WLS-CLXM-LED-181-SIL-5W-40-70CRI 25' POLE 2'-6" BASE			148.5	
	30	C	8265	0.950	WLS-MRW-FT-LED-08-40 25' MOUNTING HEIGHT			76	

## LANDSCAPING & LIGHTING PLAN BUILDING 1

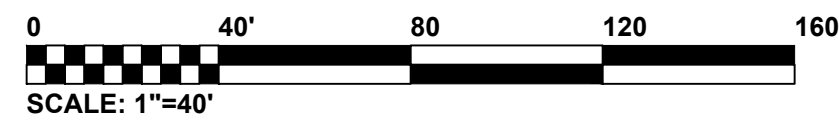
SCALE: 1"=40'

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHADE TREE(S)					
PIN. STR.	46	PINUS STROBUS	WHITE PINE BOTANICAL	6'-8'	B&B.
EVERGREEN TREE(S)					
THU. PLI.	9	THUJA PLICATA	GREEN GIANT	12'-14'	B&B
DECIDUOUS TREE(S)					
ACE. RUB.	31	ACER RUBRUM 'FRANKSRED'	RED SUNSET RED MAPLE	2.5"-3" CAL.	B&B
DURA	4	DURA-HEAT	RIVER BIRCH	12'-14'	B&B
NYS. SYL.	12	NYSSA SYLVATICA	BLACK TUPELO	12'-14'	B&B
BET. NIG.	5	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	12'-14'	B&B

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SUBDIVISION & SITE PLAN FOR

1251 KINGS HIGHWAY LLC

1251 KINGS HWY

CHESTER, NY 10918

JOB#:

18-029

SCALE:

AS NOTED

DATE:

1/21/19

DRAWN:

MM

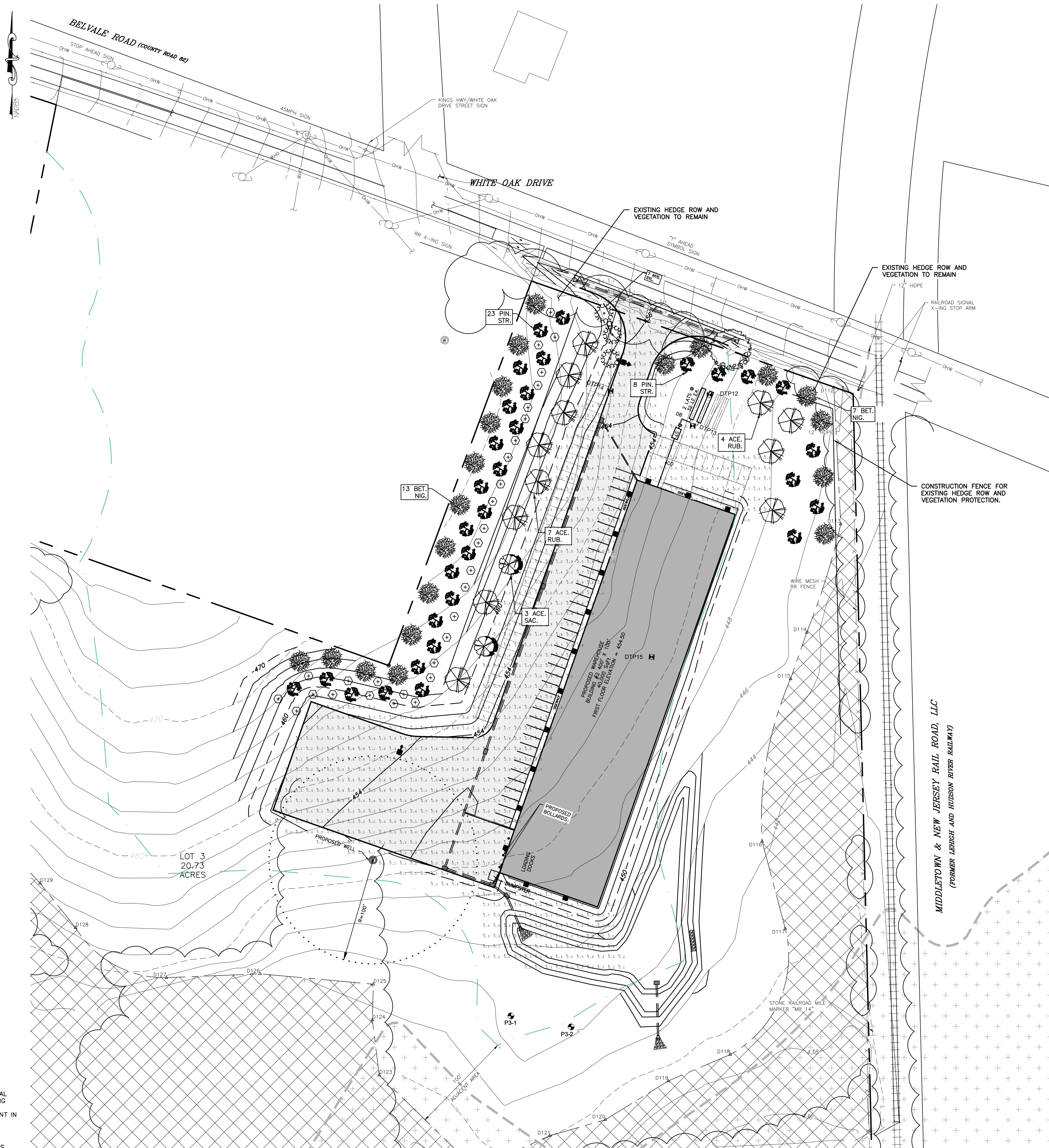
CHECKED:

MM

SHEET NO.

08 of 21





LEGEND:

- EXISTING BUILDING
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- EXISTING SIGN
- PROPOSED WELL

PROPOSED BUILDINGPROPOSED EDGE OF PAVEMENTPROPOSED MAJOR CONTOURPROPOSED MINOR CONTOURPROPOSED DRAINAGE CATCHBASINPROPOSED DRAINAGE PIPEPROPOSED BAYFILTERPROPOSED TRENCH DRAINPROPOSED FLARED END SECTIONPROPOSED SEWER LINEPROPOSED SEWER CLEANOUTPROPOSED SEPTIC TANKPROPOSED DISTRIBUTION BOXPROPOSED RIPRAPPROPOSED PROPERTY LINEDEEP TESTSEXISTING FLOOD ZONE

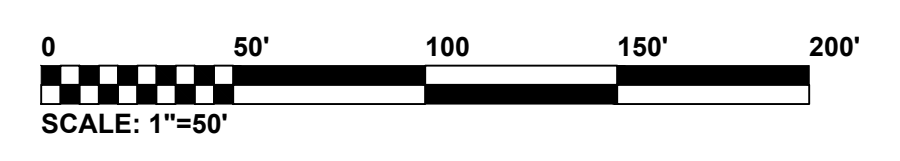
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ACE. SAC.	3	ACER SACCHARINUM	SILVER MAPLE	2.5"-3" CAL.	B&B
BET. NIG.	20	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	12'-14'	B&B
SHADE TREE(S)					
SAM. CAN.	30	SAMBUCUS CANDENSIS	AMERICAN BLACK ELDERBERRY	5'-7'	B&B.

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Dig Safely. New York  
**Call 811**  
before you dig

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SUBDIVISION & SITE PLAN FOR  
1251 KINGS HIGHWAY LLC  
1251 KINGS HWY  
CHESTER, NY 10918

LANDSCAPING & LIGHTING PLAN  
BUILDING 2

JOB#:  
18-029  
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LANDSCAPING & LIGHTING PLAN BUILDING 2

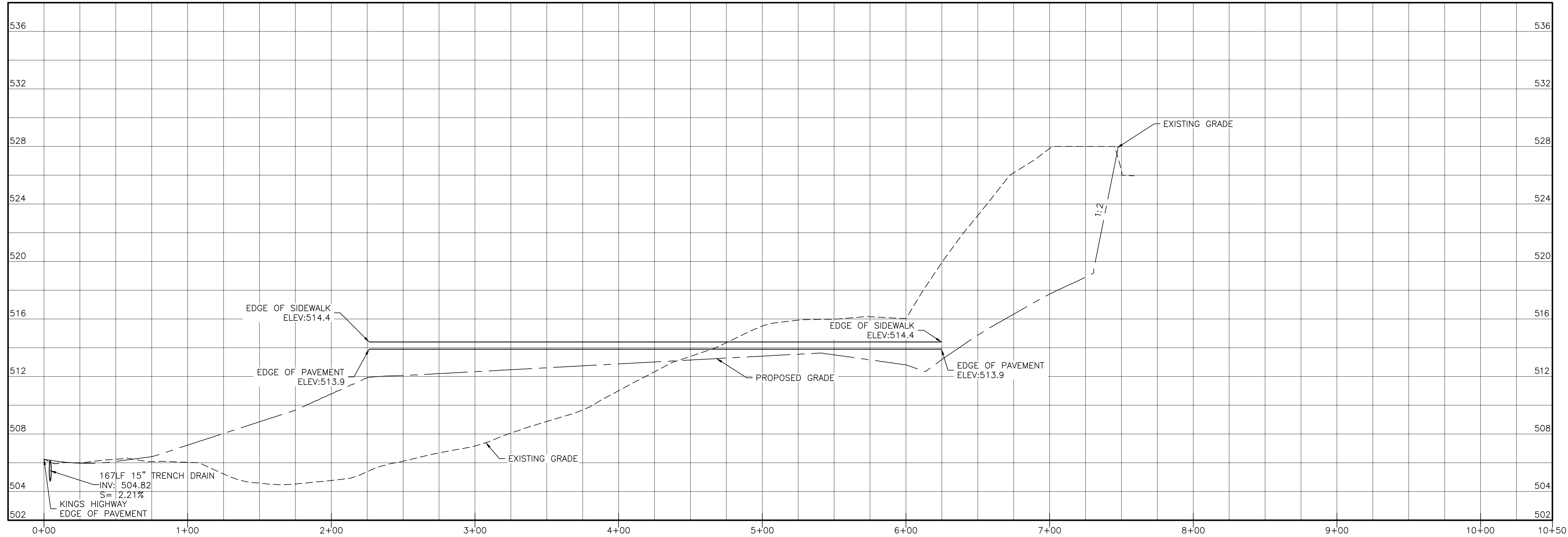
SCALE: 1"=50'

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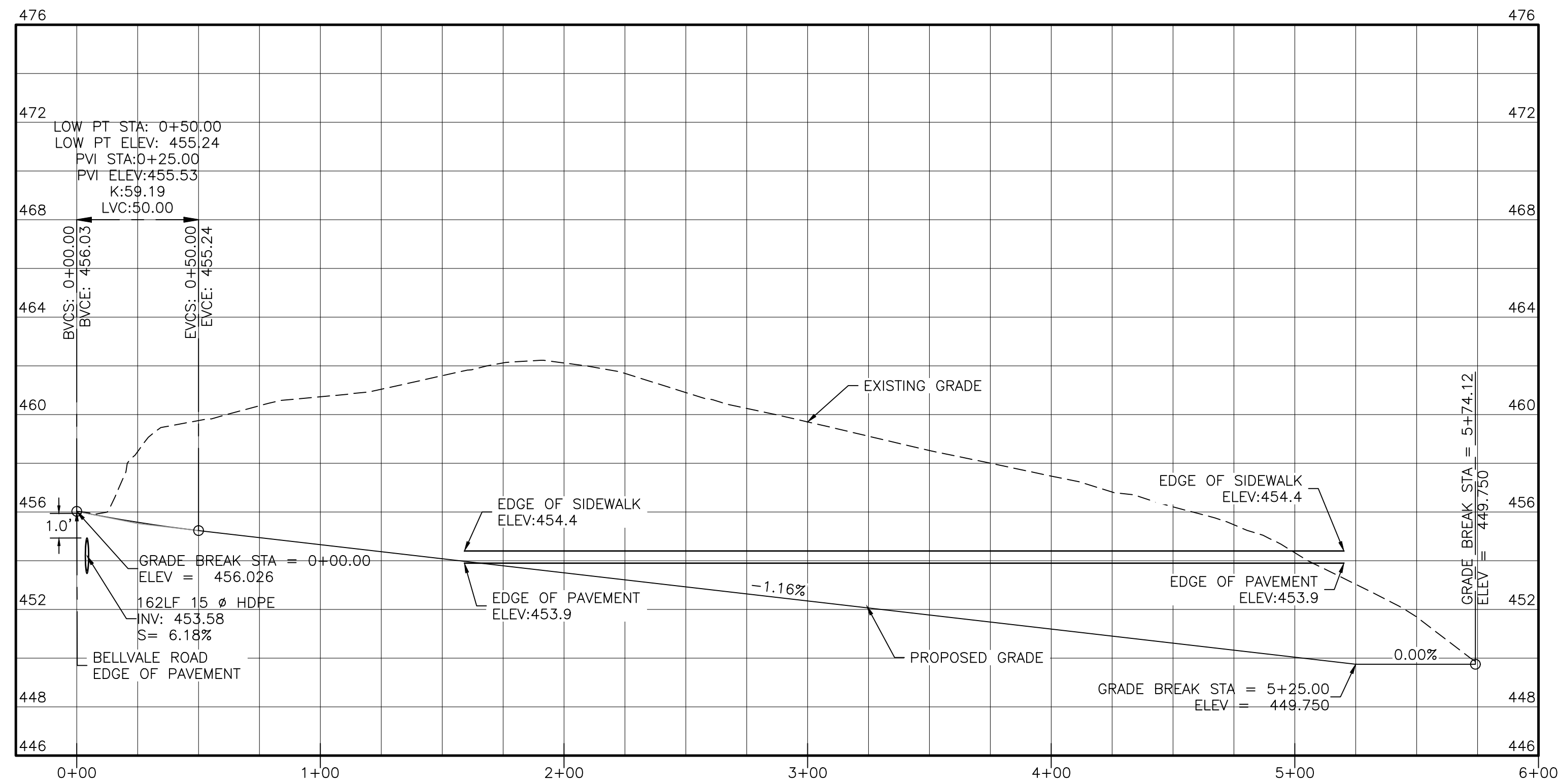






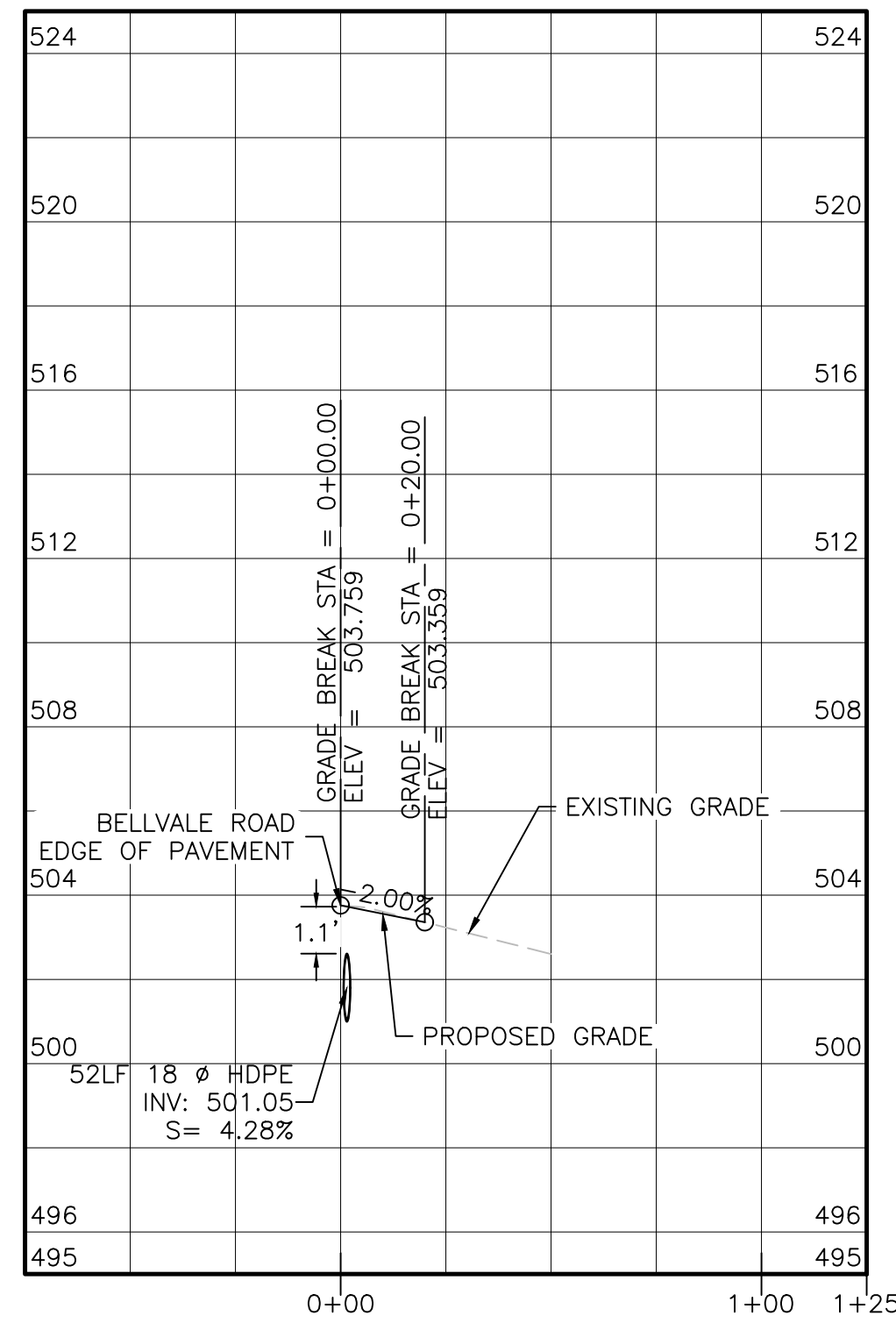
DRIVEWAY PROFILE BUILDING 1

HORIZONTAL: 1"=40'  
VERTICAL: 1"=4'



DRIVEWAY PROFILE BUILDING 2

HORIZONTAL: 1"=40'  
VERTICAL: 1"=4'



OCDPW ENTRANCE LOT 1 PROFILE

HORIZONTAL: 1"=40'  
VERTICAL: 1"=4'

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THIS SHEET IS NOT VALID WITHOUT ALL OF THE SHEETS THAT COMPRISE THE SET

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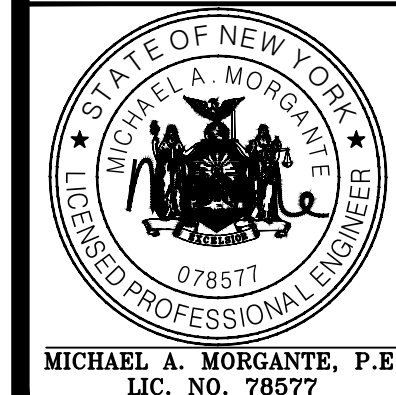
SUBDIVISION & SITE PLAN FOR

1251 KINGS HIGHWAY LLC

1251 KINGS HWY

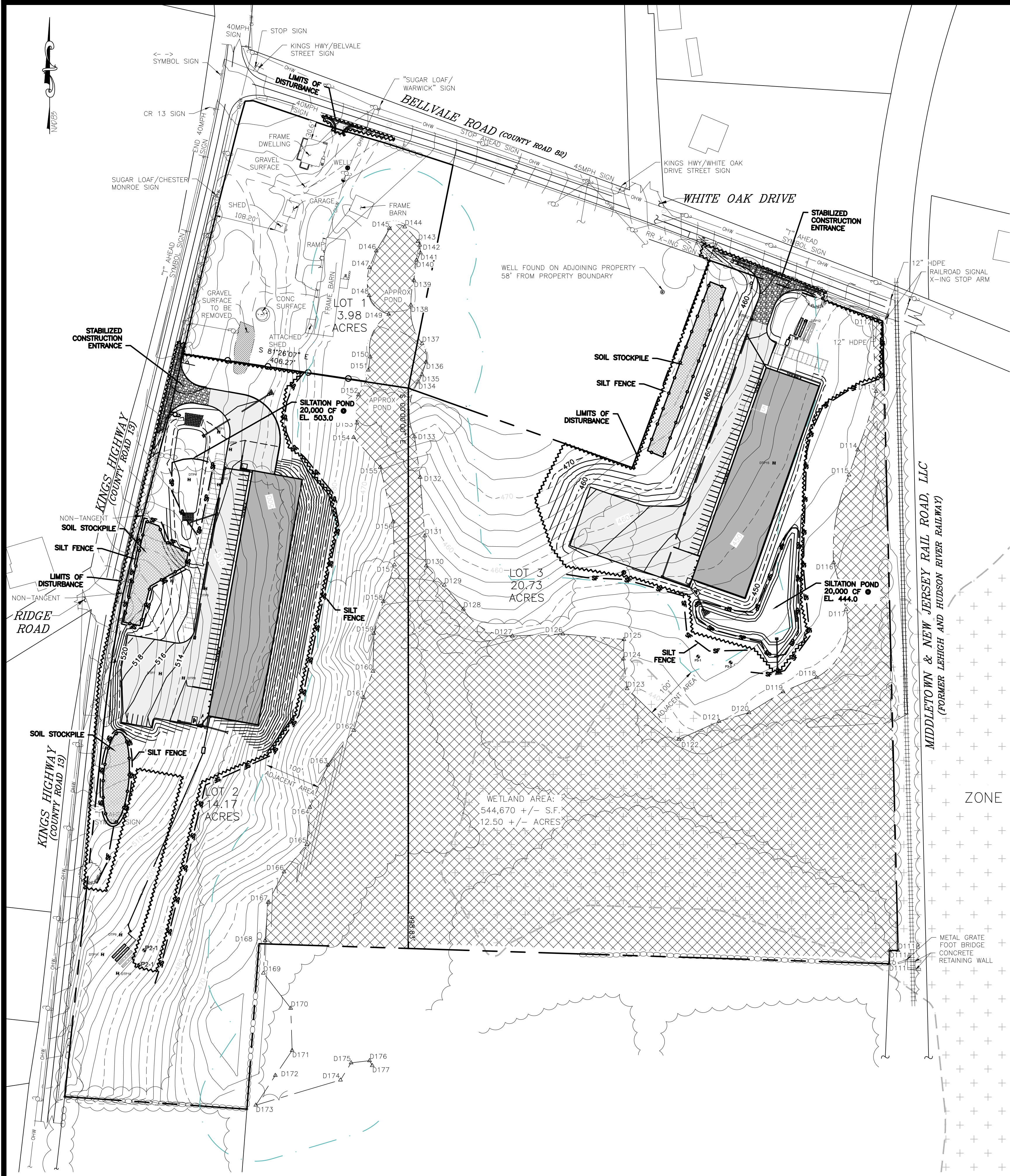
CHESTER, NY 10918

ROAD PROFILES



JOB#: 18-029  
SCALE:  
AS NOTED  
DATE: 1/21/19  
DRAWN: MM  
CHECKED: MM  
SHEET NO. 11 of 21





WARNING-- IT IS A VIOLATION OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2, FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER THIS DOCUMENT IN ANY WAY, IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2

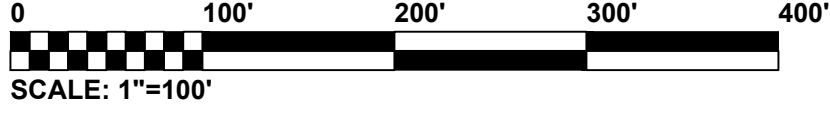
ONLY MAPS WITH EMBOSSED SEALS ARE GENUINE COPIES OF THE ORIGINAL WORK AND OPINION. MAPS NOT BEARING EMBOSSED SEALS SHOULD NOT BE RELIED UPON SINCE OTHER THAN EMBOSSED--SEAL COPIES MAY CONTAIN UNAUTHORIZED AND UNDETECTABLE MODIFICATIONS, DELETIONS, ADDITIONS AND CHANGES.

THIS EROSION CONTROL PLAN SHALL BE USED FOR EROSION CONTROL METHODS AND LOCATIONS ONLY. DO NOT USE THIS PLAN FOR BUILDING, PAVED AREA, UTILITY LOCATIONS, etc.

THE OWNER IS ASSIGNED THE RESPONSIBILITY FOR THE CONSTRUCTION & MAINTENANCE OF THE MEASURES AS DETAILED ON THIS PLAN INCLUDING THE TECHNICAL SPECIFICATIONS ON THIS PLAN

## EROSION AND SEDIMENT CONTROL PLAN

SCALE: 1"=100'



### CONSTRUCTION NOTE:

1. ONLY ONE SITE CAN BE CONSTRUCTED AT ONE TIME IN ORDER TO COMPLY WITH THE NYSDEC 5 ACRE MAXIMUM SITE DISTURBANCE REQUIREMENT.

FOR ALL CONSTRUCTION SPECIFICATIONS REFER TO "NY GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL"

### LEGEND:

	EXISTING BUILDING
	EXISTING WATER EDGE
	EXISTING WETLANDS BUFFER
	EXISTING EDGE OF PAVEMENT
	EXISTING YELLOW LINE
	EXISTING WHITE LINE
	EXISTING OVERHEAD WIRE
	EXISTING PROPERTY LINE
	EXISTING ADJACENT PROPERTY LINE
	EXISTING STONE WALL
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING DRAINAGE LINE
	EXISTING WETLAND
	EXISTING TREELINE
	EXISTING GUY
	GRAVEL SURFACE TO BE REMOVED
	EXISTING RAILROAD SIGNAL X-ING STOP ARM
	PERCOLATION TEST
	EXISTING WELL
	EXISTING LIGHT POLE
	EXISTING IRON PIPE MARKER
	EXISTING IRON ROD MARKER
	EXISTING SIGN
	PROPOSED WELL

	PROPOSED BUILDING
	PROPOSED EDGE OF PAVEMENT
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED DRAINAGE CATCHBASIN
	PROPOSED DRAINAGE PIPE
	PROPOSED BAYFILTER
	PROPOSED TRENCH DRAIN
	PROPOSED FLARED END SECTION
	PROPOSED SEWER LINE
	PROPOSED SEWER CLEANOUT
	PROPOSED SEPTIC TANK
	PROPOSED DISTRIBUTION BOX
	PROPOSED RIPRAP
	PROPOSED PROPERTY LINE
	DEEP TESTS
	EXISTING FLOOD ZONE
	LIMIT OF DISTURBANCE
	PROPOSED SILT FENCE
	PROPOSED SOIL STOCKPILE
	PROPOSED SILTATION POND
	STABILIZED CONSTRUCTION ENTRANCE
	PROPOSED 4' HIGH FENCE

### DISTURBED AREAS

BUILDING 1 3.13 ACRES  
BUILDING 2 2.84 ACRES

### SILTATION POND SIZING:

BUILDING 1:  
AREA OF DISTURBANCE= (3,600 CF/ACRE DIST.) x 5 ACRES = 18,000 CF  
24,000 CF SILTATION POND PROVIDED

BUILDING 2:  
AREA OF DISTURBANCE= (3,600 CF/ACRE DIST.) x 5 ACRES = 18,000 CF  
20,000 CF SILTATION POND PROVIDED

### SPECIFICATIONS FOR VEGETATIVE ESTABLISHMENT:

1. PERMANENT SEEDING:
  - A. SEEDBED PREPARATION: AREA TO BE SEEDBED SHALL BE LOOSE AND FRIABLE TO A DEPTH OF AT LEAST 3 INCHES. THE TOP LAYER SHALL BE LOOSENED BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING OCCURS. FOR SITES LESS THAN 5 ACRES, APPLY 100 POUNDS OF DOLOMITIC LIMESTONE AND 21 POUNDS OF 10-20-20 FERTILIZER PER 1,000 SF. HARROW OR DISK LIME AND FERTILIZER INTO THE SOIL TO A DEPTH OF AT LEAST 3 INCHES ON SLOPES FLATTER THAN 3:1.
  - B. SEEDING: APPLY 5-6 POUNDS PER 1,000 SF OF SEED MIX BETWEEN FEBRUARY 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 31. APPLY SEED UNIFORMLY ON A MOIST FIRM SEEDBED WITH A CYCLONE SEEDER DRILL, CULTIPACKR SEEDER OR HYDROSEEDER (SLURRY INCLUDES SEEDS AND FERTILIZER, RECOMMENDED ON STEEP SLOPES ONLY). MAXIMUM SEED DEPTH SHOULD BE 1/4 INCH IN CLAYEY SOILS AND 1/2 INCH IN SANDY SOILS. WHEN USING OTHER THAN THE HYDROSEEDER METHOD, IRRIGATE IF SOIL MOISTURE IS DEFICIENT TO SUPPORT ADEQUATE GROWTH UNTIL VEGETATION IS FIRMLY ESTABLISHED. SELECT SEED MIXTURES FROM SECTION 3. NYS GUIDELINES FOR URBAN EROSION & SEDIMENT CONTROL.
  - C. MULCHING: MULCH SHALL BE APPLIED TO ALL SEEDBED AREAS IMMEDIATELY AFTER SEEDING. DURING THE TIME PERIODS WHEN SEEDING IS NOT PERMITTED, MULCH SHALL BE APPLIED IMMEDIATELY AFTER GRADING. MULCH SHALL BE UNROOTED, UNCHOPPED, SMALL GRAIN STRAW APPLIED AT A RATE OF 2 TONS PER ACRE OR 90 POUNDS PER 1,000 SQUARE FEET (2.5 TONS PER ACRE). A MULCH ANCHORING TOOL IS USED, APPLY 2.5 TONS PER ACRE. MULCH MATERIALS SHALL BE RELATIVELY FREE OF ALL KINDS OF WEEDS AND SHALL BE COMPLETELY FREE OF PROHIBITED NOXIOUS WEEDS. SPREAD MULCH UNIFORMLY BY HAND TO A DEPTH OF 1-2 INCHES.
  - D. SECURING STRAW MULCH: STRAW MULCH SHALL BE SECURED IMMEDIATELY FOLLOWING MULCH APPLICATIONS TO MINIMIZE MOVEMENT OF WIND OR WATER. THE FOLLOWING METHODS ARE PERMITTED:
    - i. USE A MULCH ANCHORING TOOL WHICH IS DESIGNED TO PUNCH AND ANCHOR FABRIC TYPE MULCH INTO THE SOIL SURFACE TO A MINIMUM DEPTH OF 2 INCHES. THIS IS THE MOST EFFECTIVE METHOD FOR SECURING MULCH, HOWEVER, IT IS LIMITED TO RELATIVELY FLAT AREAS WHERE EQUIPMENT CAN OPERATE SAFELY.
    - ii. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. IF MIXED WITH WATER, USE 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.
    - iii. LIQUID BINDERS MAY BE USED AND APPLIED HEAVIER AT THE EDGES WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF SLOPES. THE REMAINDER OF THE AREA SHOULD APPEAR UNIFORM AFTER BINDER APPLICATION.
    - iv. LIGHTWEIGHT NETTING, MAY BE USED TO SECURE MULCH. THE NETTING WILL BE STAPLED TO THE GROUND ACCORDING TO MANUFACTURERS' RECOMMENDATIONS.
2. TEMPORARY SEEDING:
  - LIME: 100 POUNDS OF DOLOMITIC LIMESTONE PER 1,000 SF
  - FERTILIZER: 15 POUNDS OF 10-10-10 PER 1,000 SF
  - SEED: PERENNIAL RYE-0.92 POUNDS PER 1,000 SF
3. FILL:

NO FILLS MAY BE PLACED ON FROZEN GROUND. ALL FILL TO BE PLACED IN APPROXIMATELY HORIZONTAL LAYERS, EACH LAYER HAVING A LOOSE THICKNESS OF NOT MORE THAN 8 INCHES. ALL FILL IN ROADWAYS AND PARKING AREAS IS TO BE CLASSIFIED TYPE 2 COMPACTED TO 90% DENSITY; CONFORMANCE TO BE DETERMINED BY ASTM D-1557-66T (MODIFIED PROCTOR). ANY FILL WITHIN THE BUILDING AREA IS TO BE COMPACTED TO A MINIMUM OF 95% AS DETERMINED BY METHODS PREVIOUSLY MENTIONED. FILLS FOR POND EMBANKMENTS SHALL BE COMPACTED AS PER THE PROJECT ENGINEER'S SPECIFICATIONS. ALL OTHER FILLS SHALL BE COMPACTED SUFFICIENTLY SO AS TO BE STABLE AND PREVENT EROSION AND SLIPAGE.
4. PERMANENT SOD:

INSTALLATION OF SOD SHOULD FOLLOW THE PERMANENT SEEDING DATES. PERMANENT SOD IS TO BE STATE APPROVED SOD; LIME AND FERTILIZER PER PERMANENT SEEDING SPECIFICATIONS AND LIGHTLY IRRIGATE SOIL PRIOR TO LAYING SOD. SOD IS TO BE LAID ON THE CONTOUR WITH ALL ENDS TIGHTLY ABUTTING. JOINTS ARE TO BE STAGGERED BETWEEN ROWS. WATER AND ROLL OR TAMP SOD TO INSURE POSITIVE ROOT CONTACT WITH THE SOIL. ALL SLOPES STEEPER THAN 3:1, AS SHOWN, ARE TO BE PERMANENTLY SODDED OR PROTECTED WITH APPROVED EROSION CONTROL NETTING. ADDITIONAL WATERING FOR ESTABLISHMENT MAY BE REQUIRED. SOD IS NOT TO BE APPLIED ON FROZEN GROUND. SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (DRY OR WET) AND/OR EXTREME TEMPERATURE MAY ADVERSELY AFFECT ITS SURVIVAL. IN THE ABSENCE OF ADEQUATE RAINFALL, IRRIGATION SHOULD BE PERFORMED TO INSURE ESTABLISHED SOD.

### SLOPE STABILIZATION, SEEDING METHOD & MULCHING

SLOPES OR 4:1 OR GREATER (HORIZONTAL : VERTICAL)

SLOPES SHALL BE HYDROSEEDING WITH THE MIXTURES AND RATES INDICATED IN THE PERMANENT SEEDING MIXTURE SCHEDULE. STRAW OR HAY MULCH SHALL BE APPLIED AT A RATE OF 2,000 LBS./ACRE. STRAW OR HAY MULCH SHALL BE ANCHORED WITH BioD-Mesh60 NETTING AS MANUFACTURED BY ROLANKA INTERNATIONAL OR APPROVED EQUIVALENT. NETTING TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS.

#### GENTLE SLOPE AND FLAT AREAS

AREA SHALL BE SEEDBED BY HYDROSEEDING OR BROADCASTING WITH THE MIXTURES AND RATES INDICATED ON THE PERMANENT SEEDING MIXTURE SCHEDULE. HYDROSEEDED AREAS SHALL BE MULCHED WITH A WOOD FIBER MULCH APPLIED AT A RATE OF 500 LBS./ACRE. BROADCAST AREAS SHALL BE MULCHED WITH HAY OR STRAW AT A RATE OF 2,000 LBS./ACRE. AREAS SEEDBED BY BROADCASTING SHALL BE LIGHTLY RAKED AND PACKED PRIOR TO PLACING MULCH.

#### AREAS REMAINING DISTURBED FOR 14 DAYS OR MORE SHALL BE STABILIZED AS FOLLOWS:

SCARIFY SOILS IF COMPACTED, LIME TO pH OF 6.0 IF REQUIRED, FERTILIZE WITH 600 LBS./ACRE. 5-10-10 FERTILIZER IF REQUIRED. SEED WITH SPECIES AND RATE SHOWN BELOW. MULCH WITH HAY OR STRAW AT A RATE OF 2,000 LBS./ACRE. ANCHOR MULCH WITH NETTING OF WOOD FIBER OR JUTE IF STEEP SLOPE OR HIGH POTENTIAL FOR EROSION.

SPECIES	APPLICATION RATE
ROUNDSTONE SEED MIX 201 - NATIVE	FALL THROUGH SPRING
STRIP MINE & GAS PRODUCTION SITE MIX	20-32 LBS. GATS/ACRE
	OR 2-4 LBS. OF ANNUAL RYE/ACRE
	SUMMER
	6-8 POUNDS OF BROWN TOP MILLET/ACRE

### STANDARD COUNTY NOTE:

1. NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID HIGHWAY WORK PERMIT HAS BEEN SECURED FROM THE ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS UNDER SECTION 136 OF THE HIGHWAY LAW
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### BEST MANAGEMENT PRACTICES FOR SITE FACILITY MAINTENANCE

THE OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF ALL SITE RELATED FACILITIES, INCLUDING THE STORM WATER SEDIMENT AND DETENTION BASINS AND THE FOLLOWING MEASURES AND/OR STRUCTURES, AS APPLICABLE AND SHOWN ON THE PLANS:

#### WATER QUALITY INLETS

1. WATER QUALITY INLETS SHALL BE CLEANED OUT AT LEAST TWICE A YEAR TO REMOVE POLLUTANTS. REMOVED MATERIAL SHOULD BE TAKEN TO A TREATMENT PLANT OR APPROVED LANDFILL FOR DISPOSAL.
2. STORM WATER INLETS THROUGHOUT THE SITE SHALL BE INSPECTED ANNUALLY FOR ACCUMULATED SEDIMENT OR OTHER PROBLEMS AND REPAIRED AS NECESSARY.

#### PARKING AND ROADWAY PAVEMENTS

1. PARKING AREA AND ROADWAY PAVEMENTS SHALL BE SWEEPED ON A REGULAR BASIS TO REMOVE ACCUMULATED SEDIMENT. COLLECTED SEDIMENT SHALL BE REMOVED TO AN APPROVED DISPOSAL SITE WHICH WILL NOT ALLOW THE RE-ENTRANCE OF SILT INTO THE STORM WATER DRAINAGE SYSTEM.

#### VEGETATIVE STABILIZATION

1. ALL VEGETATIVE PLANTING ON AREAS WHICH HAVE BEEN DISTURBED AND ARE FINISH GRADED SHALL BE INSPECTED AFTER EACH RAIN EVENT. PLANTING (OR SEEDING) SHALL BE MAINTAINED IN A VIABLE CONDITION TO STABILIZE THE SOIL AND TO PREVENT SOIL EROSION. RESTORE ALL SITE PLANTING AND/OR SEEDING WHICH HAS BEEN DAMAGED TO A VIABLE CONDITION.
2. IF VEGETATIVE STABILIZATION HAS BEEN DAMAGED FROM STORM WATER EROSION, CORRECT UPSTREAM CONDITIONS WHICH CAUSED THE EROSION. CHECK DAMS MAY BE REQUIRED IN DRAINAGE WAYS, AND STONE OUTFALL APRONS MAY BE REQUIRED TO BE REPAIRED AT STORM WATER OUTFALLS.

#### CONSTRUCTION ACTIVITY

1. CONSTRUCTION ACTIVITIES WILL OCCUR DURING WEEKDAYS & SATURDAYS COMMENCING AT 7:00 AM AND TERMINATING AT 7:00 PM

### EROSION AND SILTATION CONTROL NOTES:

1. GRADED AREAS - UPPER ELEVATIONS: PROVIDE TEMPORARY DRAINAGE SWALES, 1% GRADE MIN., TO DIRECT RUNOFF AWAY FROM CONSTRUCTION SITES. DISCHARGE AREAS AND ENERGY DISPERSION REQUIREMENTS TO BE ACCEPTABLE TO OWNER.
2. GRADED AREAS - LOWER ELEVATIONS: PROVIDE DRAINAGE SWALES, 1% MIN. GRADES, WITH STAKED AND SECURED HAY BALE BERMS TO PREVENT DOWN STREAM AND DOWN GRADIENT SILTATION.

### SEDIMENT & EROSION CONTROL NOTES & CONSTRUCTION SEQUENCING

1. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES FOR ALL ROAD AND DRIVE ENTRANCES. STREETS SHALL BE CLEANED DAILY.
2. INSTALL SEDIMENT BARRIERS/SWALES/DITCHES/DIKES AT DOWN SLOPE AREAS FROM ALL PROPOSED GRADING OPERATIONS, AND INSTALL OTHER SEDIMENTATION AND EROSION CONTROL STRUCTURES OR MEASURES AS SHOWN ON THE DRAWINGS.
3. LAND DISTURBANCE SHALL BE LIMITED TO ONLY THAT AREA NECESSARY FOR DEVELOPMENT. NO MORE THAN FIVE (5) ACRES OF UNPROTECTED SOIL SHALL BE DISTURBED AT ONE TIME. PREVIOUS EARTHWORK SHALL BE STABILIZED AS SPECIFIED BEFORE ADDITIONAL AREA IS EXPOSED.
4. CLEAR EXISTING TREES AND VEGETATION FROM AREAS TO BE EXCAVATED OR FILLED, THEN STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE DISTURBED. SEED STOCKPILED TOPSOIL WITH TEMPORARY RYEGRASS COVER AS SPECIFIED BELOW (SEE NOTE 8), AND ERECT A SILT FENCE AROUND THE STOCKPILE.
5. PROTECT ALL TREES WHICH ARE TO REMAIN AND WHICH ARE IN OR NEAR CONSTRUCTION AREAS.
6. PERFORM NECESSARY EXCAVATION OR FILL OPERATIONS TO BRING SITE TO DESIRED SUBGRADE.
7. INSTALL SEDIMENT BARRIERS AROUND ALL STORM DRAIN INLETS, OR MODIFY SEDIMENT CONTROL MEASURES INSTALLED IN #2 ABOVE AND MAINTAIN UNTIL ALL DISTURBED AREAS ARE STABILIZED WITH VEGETATION AND ALL PAVEMENTS ARE PAVED WITH A BASE COURSE.
8. TEMPORARILY SEED ALL DISTURBED AREAS WHICH WILL REMAIN UNDISTURBED FOR A PERIOD OF 15 DAYS OR MORE AND WHICH WILL NOT BE UNDER CONSTRUCTION WITHIN 30 DAYS IN ACCORDANCE WITH SPECIFICATION FOR VEGETATIVE ESTABLISHMENT.
9. IF CONSTRUCTION IS SUSPENDED OR COMPLETED, ALL DISTURBED AREAS SHALL BE SEEDDED AND MULCHED IMMEDIATELY. ALL SLOPES STEEPER THAN ONE ON THREE (V/H) AND PERIMETER TRENCHES AND TRAP EMBANKMENTS SHALL, ON COMPLETION, BE IMMEDIATELY STABILIZED WITH TEMPORARY SEEDING AND MULCHING.
10. AFTER COMPLETION OF SITE CONSTRUCTION, FINE GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED WITH PERMANENT LAWN MIX AS DISCUSSED ON THE SPECIFICATIONS FOR FOR VEGETATIVE ESTABLISHMENT ON THIS SHEET.
11. DURING THE PROGRESS OF CONSTRUCTION, MAINTAIN ALL SEDIMENT TRAPS, BARRIERS, AND FILTERS AS NECESSARY TO PREVENT THEIR BEING CLOGGED UP WITH SEDIMENT.
12. AFTER PAVEMENTS ARE INSTALLED AND PERMANENT VEGETATIVE COVER AND PLANTINGS ARE ESTABLISHED, REMOVE SEDIMENT BARRIERS AND SEED THOSE DISTURBED AREAS.
13. MAINTAIN ALL SEEDDED AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE COVER.
14. STRUCTURAL MEASURES MUST BE MAINTAINED TO BE EFFECTIVE. IN GENERAL, THESE MEASURES MUST BE PERIODICALLY INSPECTED TO INSURE STRUCTURAL INTEGRITY, TO DETECT VANDALISM DAMAGE, AND FOR CLEANING AND REPAIR WHENEVER NECESSARY.
15. DURING CONSTRUCTION, ALL STRUCTURES SHOULD BE INSPECTED WEEKLY AND AFTER EVERY RAIN. REMOVE ACCUMULATED SEDIMENT AND STOCKPILE AND STABILIZE IN AN AREA NOT SUBJECT TO FURTHER EROSION.
16. AFTER CONSTRUCTION IS COMPLETED, PERMANENT SEDIMENT OR EROSION CONTROL STRUCTURES SHOULD BE INSPECTED AT LEAST SEMI-ANNUALLY AND AFTER EVERY RAIN.

### SILTATION POND NOTES:

CONTRACTOR SHALL ENSURE SEDIMENT LADEN RUNOFF IS DIVERTED TO SILTATION PONDS WHICH MAY REQUIRE DIVERSION DITCHES AND STONE CHECK DAMS

REVISION	BY	DATE	DESCRIPTION
5.	MM	9/8/20	REVISIONS PER OODPW 8/5/20 LETTER & KALA 8/5/20 LETTER
4.	MM	4/24/20	REVISIONS PER 4/10/20 OODPW COMMENT LETTER
3.	MM	8/26/19	REVISIONS PER 3/25/19 FUSCO COMMENT LETTER & 3/29/19 KALA COMMENT LETTER
2.	MM	8/9/19	REVISIONS PER NYSDEC WETLAND DELINEATION
1.	MM	3/15/19	REVISIONS PER 1/28/19 FUSCO COMMENT LETTER

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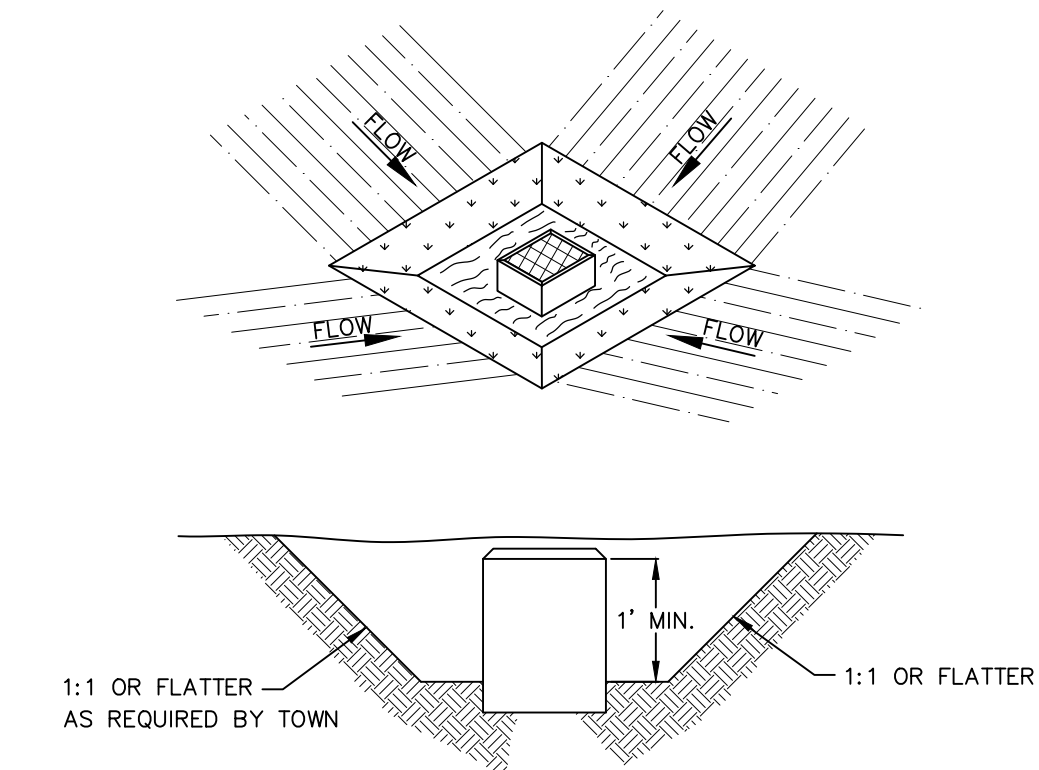
SUBDIVISION & SITE PLAN FOR  
**1251 KINGS HIGHWAY LLC**  
1251 KINGS HWY  
CHESTER, NY 10918

EROSION AND SEDIMENT CONTROL  
PLAN

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MM  
SHEET NO.  
12 of 21

MICHAEL A. MORGANTE, P.E.  
Lic. No. 78577





CONSTRUCTION SPECIFICATION FOR ST-III

1. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
2. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
3. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION SHALL BE MINIMIZED.
4. THE SEDIMENT TRAP SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE CONSTRUCTED DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
5. ALL CUT SLOPES SHALL BE 1:1 OR FLATTER.

STORM INLET SEDIMENT TRAP  
NOT TO SCALE

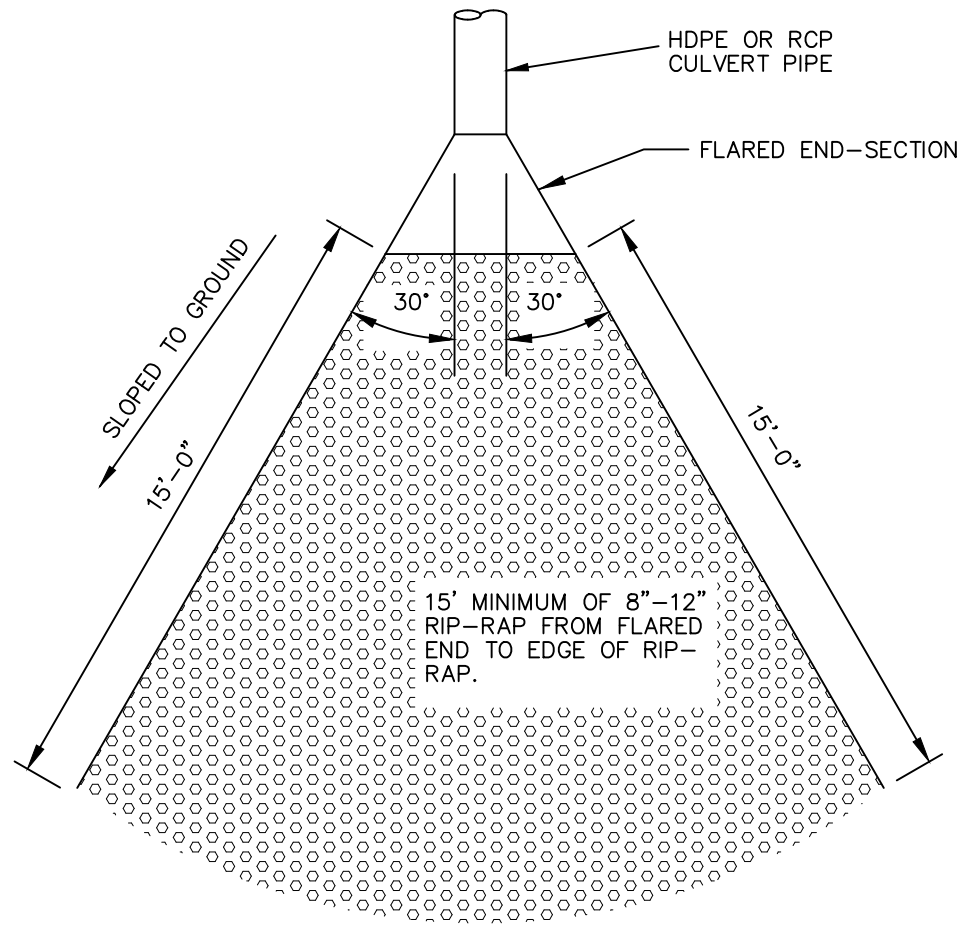
FOR CONSTRUCTION SPECIFICATIONS REFER TO "NY GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL"

LAND GRADING SPECIFICATIONS

1. ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN UNTIL THEY ARE PERMANENTLY STABILIZED.
2. ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN AND THE "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS".
3. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
4. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
5. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF FOUR INCHES PRIOR TO PLACEMENT OF TOPSOIL.
6. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
7. ALL FILL TO BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
8. EXCEPT FOR APPROVED LANDFILLS, FILL MATERIAL SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
9. FROZEN MATERIALS OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS.
10. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
11. ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
12. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
13. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.
14. STOCKPILES, BORROW AREAS AND SPOIL AREAS SHALL BE SHOWN ON THE PLANS AND SHALL BE SUBJECT TO THE PROVISIONS OF THIS STANDARD AND SPECIFICATION.

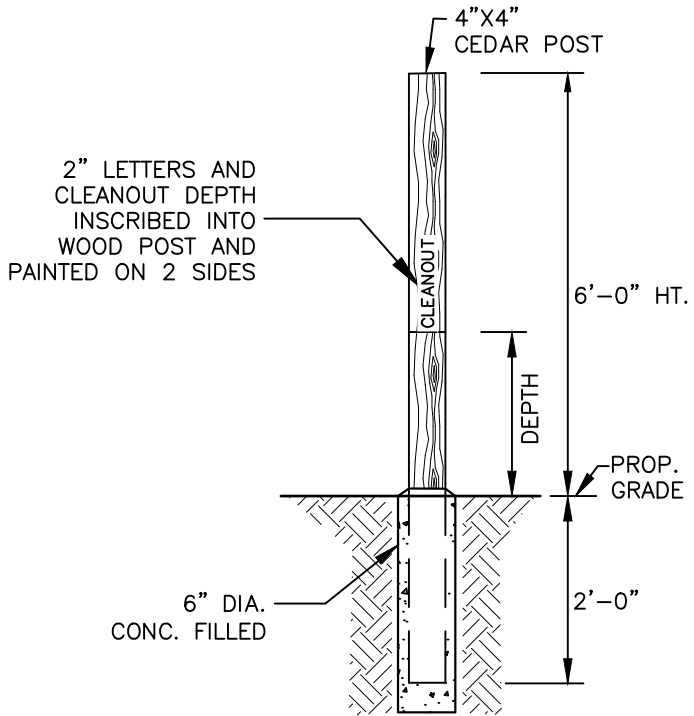
STANDARD COUNTY NOTE:

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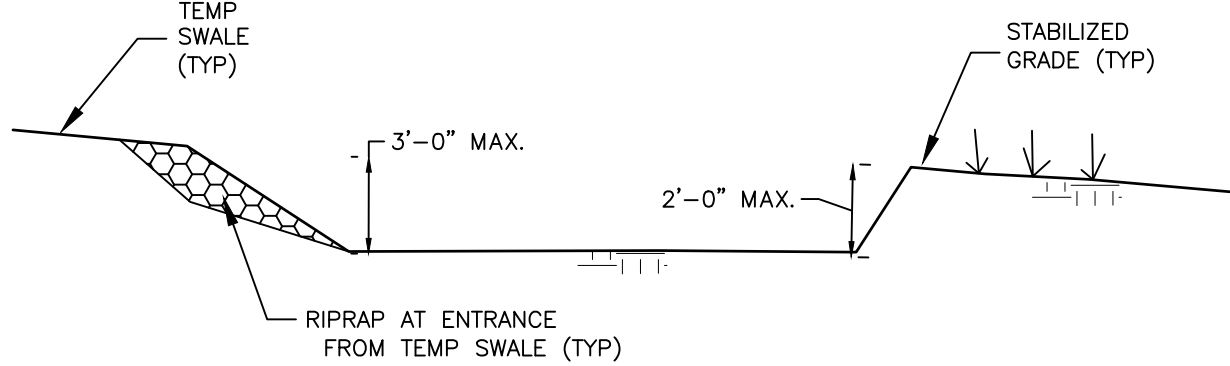


FLARED CULVERT END SECTION  
NOT TO SCALE

SEDIMENT CLEANOUT			
DETENTION POND	BOTTOM ELEV.	CLEANOUT ELEV.	DEPTH
#1	419.0	421.0	2 FT.
#2	412.0	414.0	2 FT.

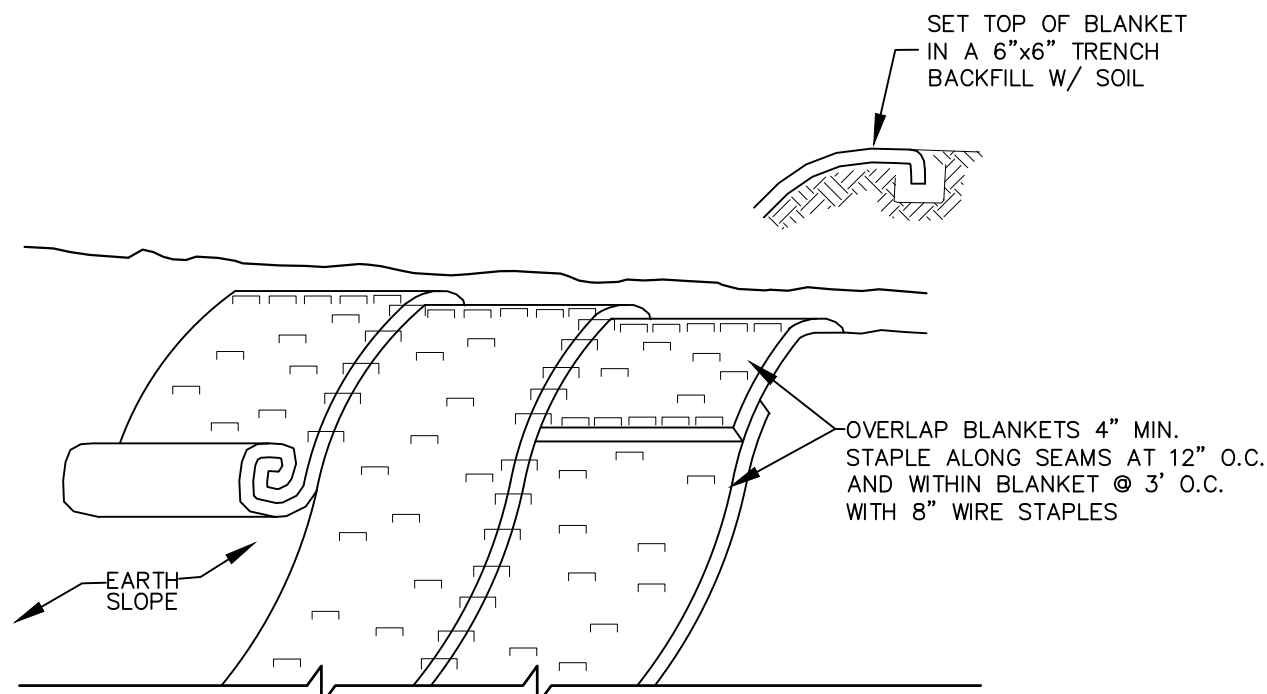


SEDIMENT CLEANOUT MARKER  
NOT TO SCALE



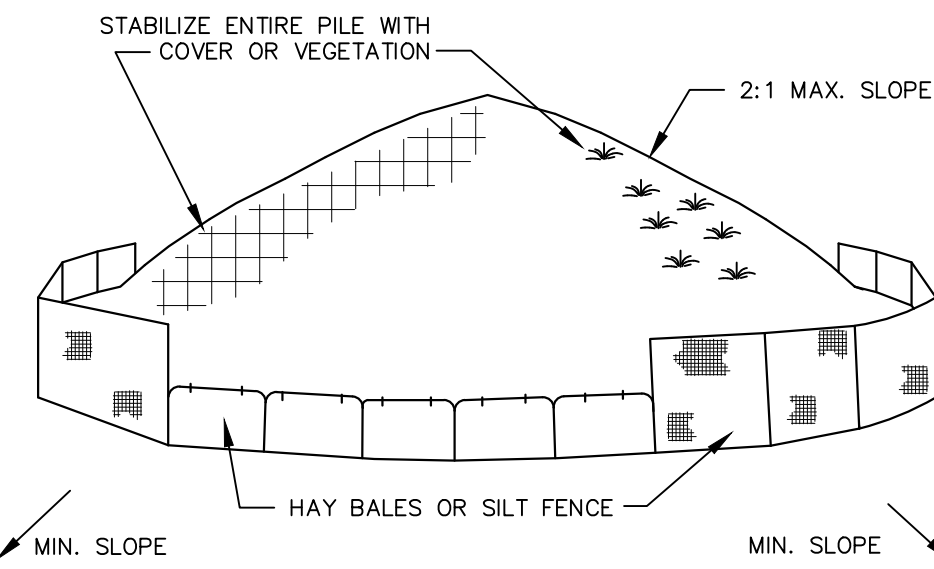
TEMPORARY SILTATION POND DETAIL  
NOT TO SCALE

1. SWALE SEDIMENT TRAP SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DIMENSIONS PROVIDED ON THE DESIGN DRAWINGS OR SIZED TO PROVIDE THE MINIMUM STORAGE NECESSARY: 1800 CU FT STORAGE FOR EACH ACRE OF DRAINAGE AREA. DRAINAGE AREA= 1.34 AC; 2500 CU FT PROVIDED.
2. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
3. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
4. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION SHALL BE MINIMIZED.
5. THE SEDIMENT TRAP SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE CONTRIBUTORY DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
6. THE SWALE SEDIMENT TRAP WILL BE PROPERLY BACKFILLED AND THE SWAL OR DITCH RECONSTRUCTED.
7. CONTRIBUTORY DRAINAGE AREA NOT TO EXCEED 2 ACRES.
8. THE PROPOSED INFILTRATION BASIN SHALL NOT BE USED AS A SILTATION POND.



SLOPE STABILIZATION DETAIL  
NOT TO SCALE

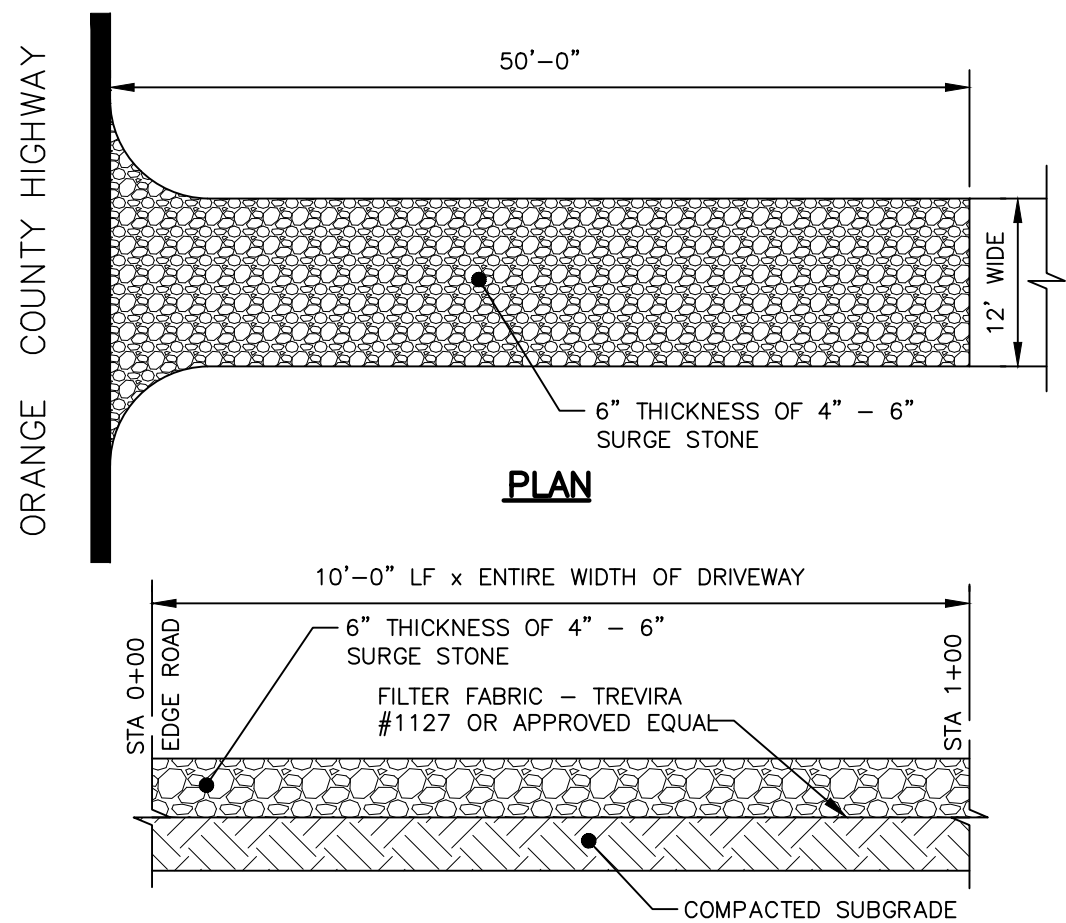
- NOTES:
1. STABILIZE PREPARED EARTHEN SLOPE WITH A BIODEGRADABLE NATURAL FIBER NETTING APPROVED TYPES ARE AS FOLLOWS:
    - C350 -NORTH AMERICAN GREEN #1-800-772-2040
    - ECCOIR 9000- EASTERN PRODUCTS, INC. #1-201-234-5050
    - ERO-MAT V125C- EROSION CONTROL TECH. #1-800-245-0551
    - ALL SLOPE RESTORATION TO GET 4" TOPSOIL
  2. SEED SLOPE PRIOR TO INSTALLING EROSION CONTROL NETTING.
  3. AFTER NETTING IS INSTALLED, PLANT GRASS-COVER, TREES & FORSYTHIA THROUGH SLITS CUT IN FABRIC.



INSTALLATION NOTES:

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILES SHALL BE 2:1.
3. UPON COMPLETION OF SOIL STOCKPILING EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR HAY BALES, THEN STABILIZED WITH VEGETATION OR COVERED.
4. SEE SPECIFICATIONS FOR INSTALLATION OF SILT FENCE.

SOIL STOCKPILE DETAIL  
NOT TO SCALE



NOTES:

1. ENTRANCE SHALL BE MAINTAINED AS CONDITIONS DEMAND TO PREVENT TRACKING OF SEDIMENT INTO PUBLIC RIGHTS OF WAY.
2. ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS.
3. A CRUSHED STONE, VEHICLE WHEEL CLEANING BLANKET WILL BE INSTALLED WHENEVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 6" DEPTH OF 4"-6" SURGE STONE, WILL BE AT LEAST 45' X 100' AND SHOULD BE PLACED ON COMPACTED SUBGRADE.
4. ALL DRIVEWAYS MUST BE STABILIZED WITH 1"-1 1/2" CRUSHED STONE OR SUBBASE DURING CONSTRUCTION.
5. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
6. ALL CATCH BASIN INLETS WILL BE PROTECTED WITH CRUSHED STONE OR HAYBALE FILTER.
7. ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE DISCHARGE POINTS BECOME OPERATIONAL.

STABILIZED CONSTRUCTION ENTRANCE DETAIL  
NOT TO SCALE

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FOR ALL CONSTRUCTION SPECIFICATIONS REFER TO "NY GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL"

THIS EROSION CONTROL PLAN SHALL BE USED FOR EROSION CONTROL METHODS AND LOCATIONS ONLY. DO NOT USE THIS PLAN FOR BUILDING, PAVED AREA, UTILITY LOCATIONS, etc.

THE OWNER IS ASSIGNED THE RESPONSIBILITY FOR THE CONSTRUCTION & MAINTENANCE OF THE MEASURES AS DETAILED ON THIS PLAN INCLUDING THE TECHNICAL SPECIFICATIONS ON THIS PLAN

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before you dig

REVISION	BY	DATE	DESCRIPTION
3.	MM	9/8/20	REVISIONS PER OCDPW 8/5/20 LETTER & KALA 8/5/20 LETTER
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THIS SHEET IS NOT VALID WITHOUT ALL OF THE SHEETS THAT COMPRISE THE SET

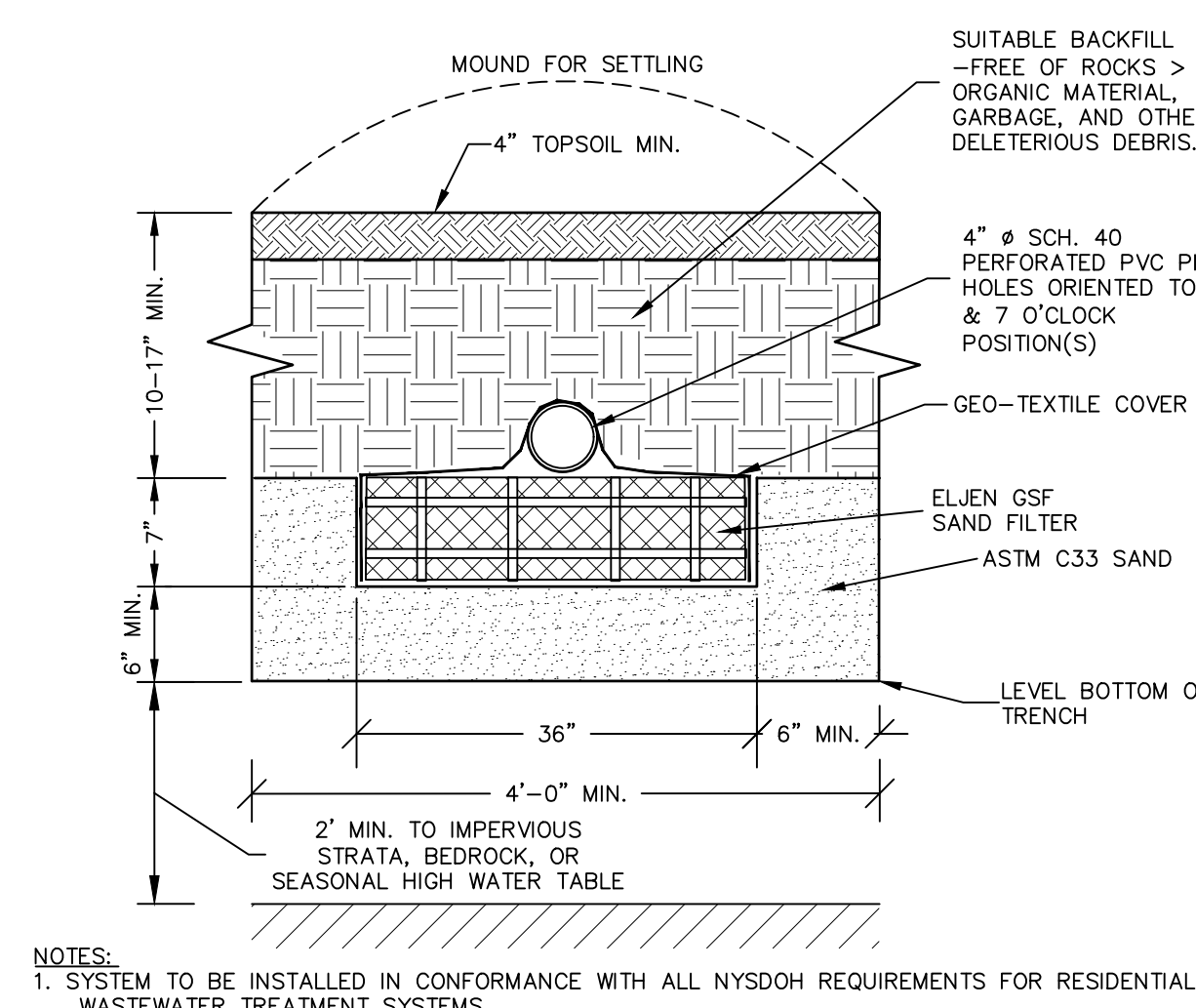
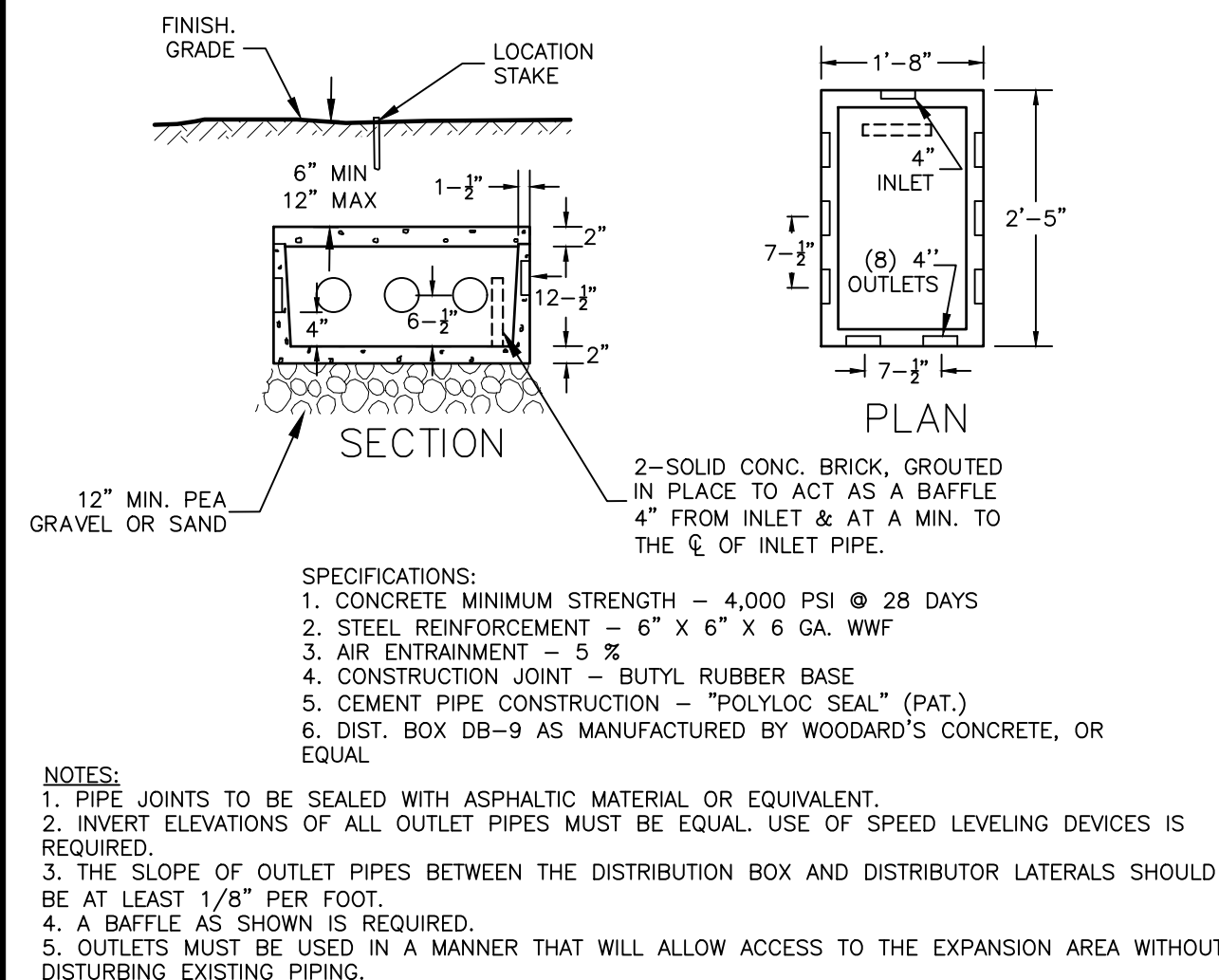
ARDEN CONSULTING ENGINEERS, PLLC  
P.O. BOX 340 MONROE, N.Y.  
TEL: (845) 782-8114  
WWW.ARDENCONSULTING.NET

SUBDIVISION & SITE PLAN FOR  
1251 KINGS HIGHWAY LLC  
1251 KINGS HWY  
CHESTER, NY 10918

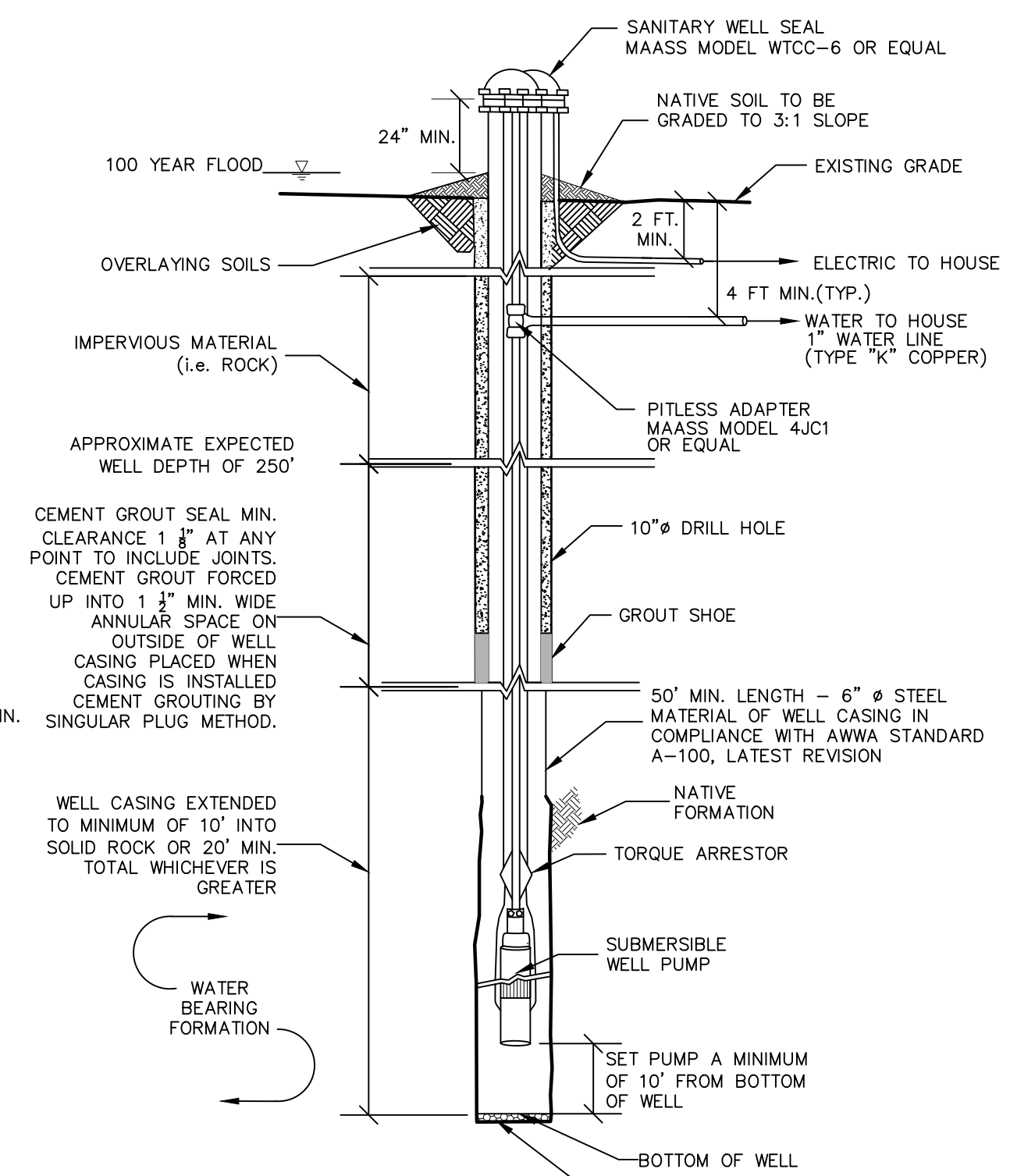
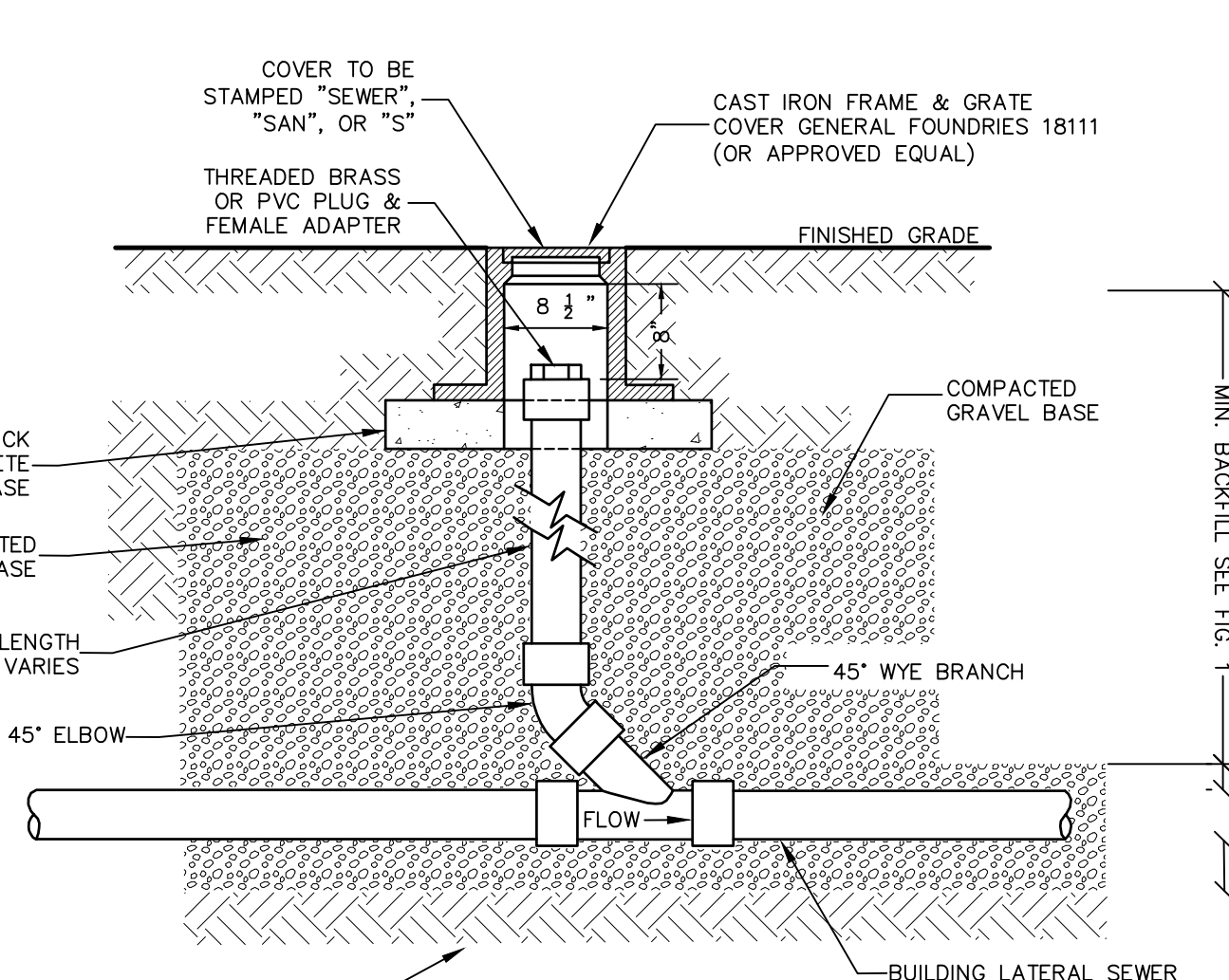
EROSION AND SEDIMENT CONTROL  
PLAN DETAILS

JOB#:  
18-029  
SCALE:  
AS NOTED  
DATE:  
3/15/19  
DRAWN:  
MM  
CHECKED:  
MM  
SHEET NO.  
13 of 21





SEIVE SIZE	SEIVE SIZE SQ. OPENING	% PASSING BY WEIGHT (WET SIEVE)	
3/8"	9.5 mm	100	100
NO. 4	4.75 mm	95	100
NO. 8	2.36 mm	80	100
NO. 16	1.18 mm	50	85
NO. 30	600 µm	25	60
NO. 50	300 µm	5	30
NO. 100	150 µm	0	<10
NO. 200	75 µm	0	<5



**SANITARY NOTES**

- THE DESIGN AND LOCATION OF SANITARY (WATER & SEWER) SYSTEMS SHALL NOT BE CHANGED.
- ALL WELLS W/IN 200' OF THE PROJECT HAVE BEEN LOCATED AND SHOWN ON THE PLANS.
- TRENCHES SHALL NOT BE INSTALLED IN WET SOIL. THE SIDES AND BOTTOM OF TRENCHES MUST BE RAKED. THE ENDS OF ALL OF THE LATERALS MUST BE CAPPED.
- THERE SHALL BE NO REGRADING, EXCEPT AS SHOWN ON THE APPROVED PLANS, IN THE AREA OF THE ABSORPTION FIELDS.
- HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELDS EXCEPT DURING THE ACTUAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING, OR AFTER CONSTRUCTION THROUGH THE STACK VENT.
- THIS SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS, JACUZZI TYPE SPA TUBS OVER 100 GALLONS, OR WATER CONDITIONERS. AS SUCH, THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SYSTEM IS REDESIGNED TO ACCOUNT FOR THEM AND REAPPROVED BY THE OCDOH.
- THERE MUST BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC (OR ANY PUMPING OR DOSING CHAMBER) THROUGH THE BUILDING, ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT.
- THE OWNER/APPLICANT SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES. THE OWNER/APPLICANT SHALL ALSO BE ADVISED OF ANY ROUTINE OR SPECIAL MAINTENANCE PROCEDURES THAT MAY BE NECESSARY.
- INDIVIDUAL WELLS AND SEWAGE DISPOSAL SYSTEMS SHALL NO LONGER BE CONSTRUCTED OR USED WHEN PUBLIC FACILITIES BECOME AVAILABLE. CONNECTION TO THE PUBLIC SEWER SYSTEM IS REQUIRED W/IN 1 YEAR OF AVAILABILITY.
- A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER SHALL INSPECT THE SANITARY FACILITIES AT THE TIME OF CONSTRUCTION. THE ENGINEER SHALL CERTIFY TO THE LOCAL CODE ENFORCEMENT OFFICER, AND THE OCDOH THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT ANY SEPTIC TANK JOINTS HAVE BEEN SEALED AND TESTED FOR WATER TIGHTNESS.
- AEROBIC SEPTIC TANK AND PUMP CHAMBER TO BE REINFORCED CONCRETE.
- PIPE FROM HOUSE TO SEPTIC TANK TO BE STRAIGHT.
- NO CELLAR, FOOTING, OR ROOF DRAINS SHALL DISCHARGE INTO SEPTIC TANKS OR DRAIN FIELDS. THERE ARE NO FOOTING DRAINS FOR THE EXISTING SUBJECT RESIDENCE.
- THE SEWAGE DISPOSAL SYSTEM SHALL BE DESIGNED AND CONSTRUCTED TO ALLOW FOR A 50% EXPANSION FOR TILE FIELDS AND 100% EXPANSION FOR ELJEN SYSTEMS CAPABILITY FOR FUTURE USE.
- INSTALL TRENCHES PARALLEL TO CONTOURS.
- DRIVEWAYS AND OTHER STRUCTURES WHICH MAY COMPACT THE SOILS SHALL NOT BE CONSTRUCTED ON TOP OF ABSORPTION FIELD.
- DIVERSION SWALES TO BE LOCATED UP/HILL FROM THE SEWAGE DISPOSAL AREA. THE DIVERSION SWALES ARE TO DIVERT RUNOFF AWAY FROM THE SEWAGE DISPOSAL AREA AND THE FUTURE EXPANSION AREA.
- SEPTIC TANK INLETS TO BE OPPOSITE OUTLETS.
- ALL ON SITE SANITATION AND WATER SUPPLY FACILITIES SHALL BE BUILT IN ACCORDANCE WITH "WASTE TREATMENT HANDBOOK" INDIVIDUAL HOUSEHOLD SYSTEMS (10 NYCRR 75) OF THE N.Y.S. DEPARTMENT OF HEALTH 1996 DESIGN HANDBOOK.
- ALL TREES, STUMPS, BRUSH, WEEDS, ETC. SHALL BE CUT TO GRADE AND REMOVED. ALL LEAVES, LIMBS, AND BRIDERS ABOVE GRADE SHALL BE CAREFULLY REMOVED.
- CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE AND PROPERLY ABANDON EXISTING SEPTIC TANK AND LEACHFIELDS.
- THE SUBJECT PROPERTY DOES NOT LIE WITHIN A PUBLIC WATERSHED, AND THERE WILL BE NO CONSTRUCTION ON WATERSHED LANDS.
- ORANGE COUNTY DEPARTMENT OF HEALTH PLAN APPROVAL IS LIMITED TO 5 YEARS. TIME EXTENSIONS FOR APPROVAL MAY BE GRANTED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH BASED UPON REGULATIONS IN EFFECT AT THAT TIME. A NEW PLAN SUBMISSION MAY BE REQUIRED TO OBTAIN A TIME EXTENSION.
- ALL ROOF AND FOOTING DRAINS MUST DISCHARGE AWAY FROM SANITARY ABSORPTION FACILITIES.
- NO LOT IS TO BE FURTHER SUBDIVIDED WITHOUT ORANGE COUNTY DEPARTMENT OF HEALTH REVIEW AND APPROVAL.
- SEPTIC TANKS SHALL BE INSPECTED PERIODICALLY AND PUMPED EVERY 2-3 YEARS.
- PUMP STATIONS/DOSING CHAMBERS SHOULD BE INSPECTED PERIODICALLY BY A TRAINED PERSON FOR PROPER OPERATION, INCLUDING HIGH WATER ALARMS, VENTING & ANY PHYSICAL DAMAGE.
- DISTRIBUTION BOXES SHOULD BE INSPECTED PERIODICALLY TO ASSURE THAT THEY ARE LEVEL AND OPERATING PROPERLY.
- THE APPROVED PLANS MUST BE FILED WITH THE ORANGE COUNTY CLERK'S OFFICE PRIOR TO OFFERING LOTS FOR SALE AND WITHIN 90 DAYS OF THE LAST APPROVAL OF FINAL PLANS.

**ORANGE COUNTY HEALTH DEPT. AEROBIC UNIT NOTES**

- PRIOR TO COMPLETION OF CONSTRUCTION AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY, A SIGNED SERVICE CONTRACT MUST BE SUBMITTED TO THE ORANGE COUNTY DEPT. OF HEALTH AND THE LOCAL CODE ENFORCEMENT OFFICER. THIS CONTRACT MUST INCLUDE THE FOLLOWING:
  - A MINIMUM DURATION OF 3 YEARS.
  - SEMI-ANNUAL SERVICE INSPECTIONS BY A QUALIFIED INDIVIDUAL.
  - AT THE TIME ANY AEROBIC UNITS ARE INSTALLED, AND THE AEROBIC UNIT(S) EFFECTIVENESS IS IN QUESTION, SEMI-ANNUAL EFFLUENT TESTING FOR BIOLOGICAL OXYGEN DEMAND (BOD), TOTAL SUSPENDED SOLIDS (TSS), AND ANY OTHER PARAMETERS THAT MAY BE NECESSARY TO SHOW COMPLIANCE WITH NSF STANDARD 40, CLASS 1 (USEPA SECONDARY TREATMENT GUIDELINES). ANALYSES SHALL BE PERFORMED BY A NYS CERTIFIED LABORATORY.
  - THE UNIT SHALL BE PUMPED OUT AT LEAST EVERY 3 YEARS, OR MORE FREQUENTLY IF DETERMINED NECESSARY BY THE SERVICE PERSONNEL.
  - A NOTATION STATING THAT AFTER THE CONTRACT HAS EXPIRED, IF THE HOMEOWNER SO CHOOSES, A DIFFERENT QUALIFIED SERVICE PROVIDER CAN BE CHOSEN.
- A SERVICE CONTRACT MEETING ALL REQUIREMENTS OF NOTE #1 MUST BE IN EFFECT FOR THE LIFE OF THE AEROBIC UNIT.

**TABLE 2**  
**REQUIRED SEPARATION DISTANCES FROM WASTEWATER SYSTEM COMPONENTS (FEET)**

SYSTEM COMPONENTS	WELL OR SUCTION LINE (e) (g)	STREAM, LAKE, WATERCOURSE (b), or WETLAND	DWELLING	PROPERTY LINE	DRAINAGE DITCH or RAIN GARDENS (h)
HOUSE SEWER DRAIN (WATERTIGHT JOINTS)	25 IF CAST IRON 50 OTHERWISE	25	3	10	10
SEPTIC TANK, DOSING TANK & WATERTIGHT ETU	50	50	10	10	10
EFFLUENT LINE TO DISTRIBUTION BOX/DROP BOX	50	50	10	10	10
DISTRIBUTION BOX/DROP BOX	100	100	20	10	50
ABSORPTION FIELD (c) (d)	100 (a)	100	20	10	50
SEEPAGE PIT (d)	150 (a)	100	20	10	50
RAISED SYSTEM or MOUND (c) (d)	100 (a)	100	20	10	50
INTERMITTENT SAND FILTER (d)	100 (a)	100 (f)	20	10	50
NON WATERBORNE SYSTEMS WITH OFFSITE RESIDUAL DISPOSAL	50	50	20	10	50
NON WATERBORNE SYSTEMS WITH ONSITE DISCHARGE	100	50	20	10	50

**NOTES:**

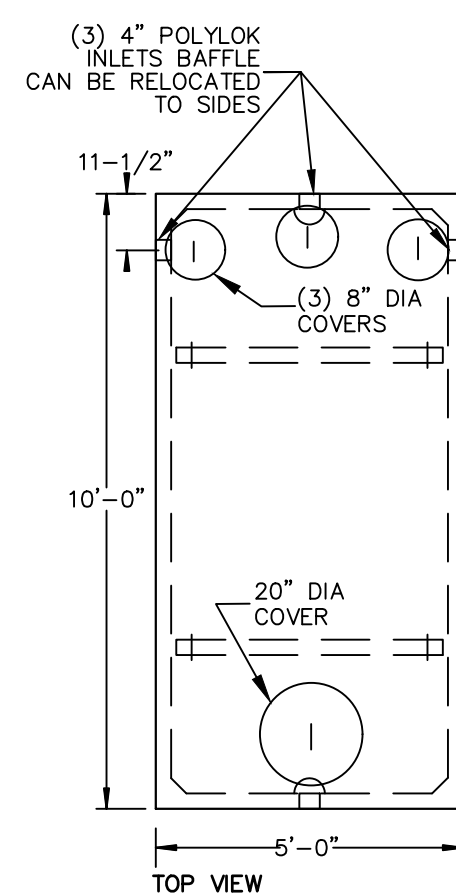
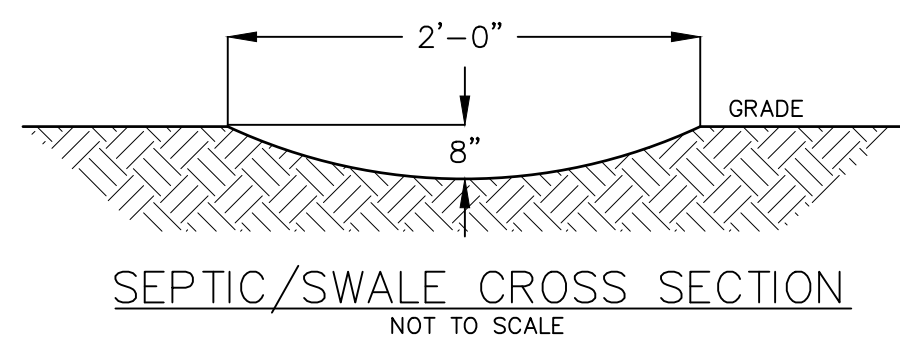
- WHEN WASTEWATER TREATMENTS SYSTEMS ARE LOCATED UPGRADE AND IN THE DIRECT PATH OF SURFACE WATER DRAINAGE TO A WELL, THE CLOSEST PART OF THE TREATMENT SYSTEM SHALL BE AT LEAST 200 FEET AWAY FROM THE WELL.
- MEAN HIGH WATER MARK, WETLAND OR WATERCOURSE DETERMINATIONS SHOULD BE ADDRESSED WITH THE LHD OR OTHER AGENCY HAVING JURISDICTION AND THE APPLICABLE NYSOHD REGIONAL OFFICE.
- FOR ALL SYSTEMS INVOLVING THE PLACEMENT OF FILL MATERIAL, SEPARATION DISTANCES ARE MEASURED FROM THE TOE OF SLOPE OF THE FILL, EXCEPT FOR SOME SHALLOW ABSORPTION TRENCH SYSTEMS AS DESCRIBED IN 9.12.2 OF THIS HANDBOOK.
- SEPARATION DISTANCES SHALL ALSO BE MEASURED FROM THE EDGE OF THE DESIGNATED ADDITIONAL USEABLE AREA [i.e. RESERVE AREA], WHEN AVAILABLE.
- THE CLOSEST PART OF THE WASTEWATER TREATMENT SYSTEM SHALL BE LOCATED AT LEAST TEN (10) FEET FROM ANY WATER SERVICE LINE (e.g., PUBLIC WATER SUPPLY MAIN, PUBLIC WATER SERVICE LINE OR RESIDENTIAL WELL WATER SERVICE LINE).
- WHEN INTERMITTENT SAND FILTERS ARE DESIGNED TO BE WATERTIGHT AND COLLECT ALL EFFLUENT, THE SEPARATION DISTANCE CAN BE REDUCED TO 50 FEET.
- THE LISTED WATER WELL SEPARATION DISTANCES FROM CONTAMINANT SOURCES SHALL BE INCREASED BY 50% WHENEVER AQUIFER WATER ENTERS THE WATER WELL AT LESS THAN 50-FEET BELOW GRADE. IF A 50% INCREASE CANNOT BE ACHIEVED, THEN THE GREATEST POSSIBLE INCREASE IN SEPARATION DISTANCE SHALL BE PROVIDED WITH SUCH ADDITIONAL MEASURES AS NEEDED TO PREVENT CONTAMINATION.
- RECOMMENDED: USE SITE EVALUATION TO AVOID OWTs SHORT-CIRCUITING TO THE SURFACE OR GROUNDWATER AND TO MINIMIZE IMPACTS ON OWTs FUNCTIONALITY.
- EMBANKMENT OR VERY STEEP SLOPE: IT IS RECOMMENDED THAT SYSTEM COMPONENTS BE LOCATED A MINIMUM OF 25 FEET AND THE ABSORPTION FIELD BE LOCATED A MINIMUM OF 50 FEET FROM AN EMBANKMENT OR VERY STEEP SLOPE. MAXIMIZE SEPARATION DISTANCES AND USE SITE EVALUATION TO AVOID SHORT-CIRCUITING TO SURFACE (BREAKOUT OR SEEPAGE).
- SWIMMING POOLS (ABOVE OR BELOW GROUND): IT IS RECOMMENDED THAT SYSTEM COMPONENTS BE LOCATED A MINIMUM OF 20 FEET AND THE ABSORPTION FIELD BE LOCATE A MINIMUM OF 35 FEET FROM SWIMMING POOLS. MAXIMIZE SEPARATION DISTANCES AND USE SITE EVALUATION TO MINIMIZE IMPACTS ON OWTs ACCESSIBILITY AND FUNCTIONALITY.

## ACCEPTED AS ORANGE COUNTY HEALTH DEPARTMENT POLICY & STANDARD WITH THE FOLLOWING ADDITIONS

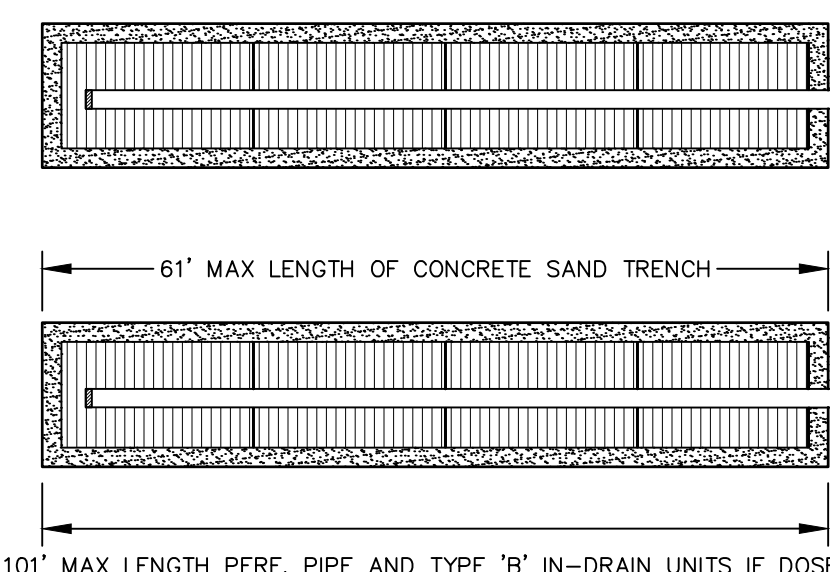
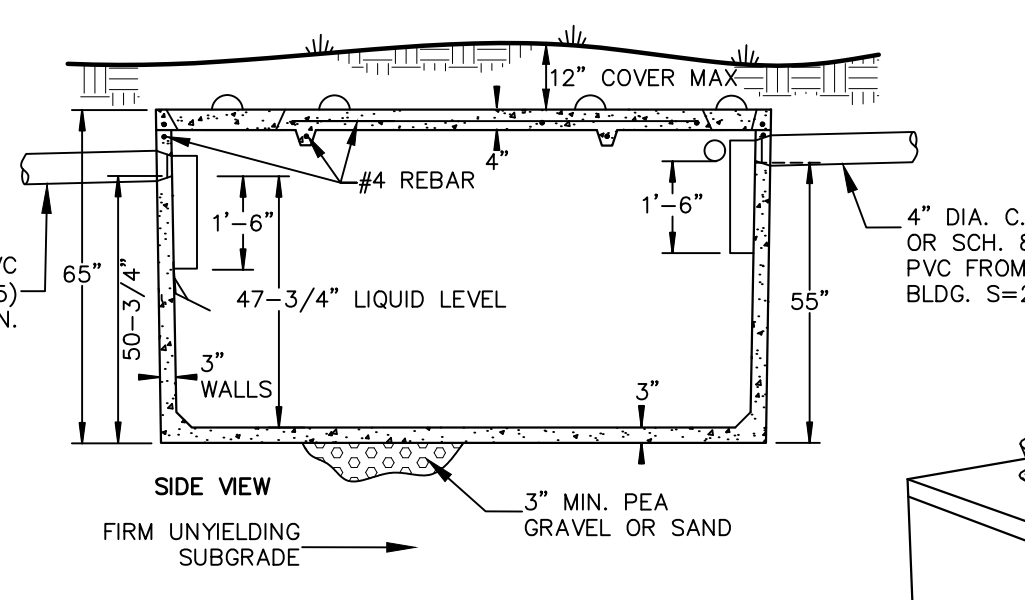
- SEPARATION: WELL TO SWALE, STREAM OR WATERCOURSE - 25'.
- SEPARATION: ABSORPTION FIELD TO THE HIGH WATER LINE OF A WET POND - 100'.
- SEPARATION: ABSORPTION FIELD TO INTERMITTENT STREAM, DRY WELL, CULVERT OR STORM SEWER (NON-GASKETED PIPE), OR CATCH BASIN - 50'.
- SEPARATION: ABSORPTION FIELD TO CULVERT OR STORM SEWER (GASKETED, TIGHT PIPE) - 35'.
- SEPARATION: ABSORPTION FIELD TO CURTAIN DRAIN - 15'.
- SEPARATION: ABSORPTION FIELD, PITS, EXPANSION AREA, TO TOP OF EMBANKMENT OR STEEP (1 ON 3) SLOPE - 25'.
- SEPARATION: ABSORPTION FIELD TO SOLID CURTAIN DRAIN, ROOF OR FOOTING PIPES, SNOW STORAGE ESM - 10'.
- DRAINAGE PIPES WITHIN 25' OF ANY WELL MUST BE WATERTIGHT.
- SEPARATION: WELL TO CEMETERY PROPERTY LINE - 100'.
- SEPARATION: WELL TO SUBDIVISION BOUNDARY - 50'.
- SEPARATION: EVAPOTRANSPIRATION-ABSORPTION SYSTEM TO DRAINAGE DITCH - 50'.
- SEPARATION: DRY WELL (ROOF AND FOOTING) TO DRAINAGE DITCH - 50'.

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## WATER & SEWER HORIZONTAL SEPARATION



## STANDARD COUNTY NOTE:

- NO SITE PREPARATION ION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID HIGHWAY WORK PERMIT HAS BEEN SECURED FROM THE ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS UNDER SECTION 136 OF THE HIGHWAY LAW

REVISION	BY	DATE	DESCRIPTION
3.	MM	9/8/20	REVISIONS PER OCDDPW 8/5/20 LETTER & KALA 8/5/20 LETTER
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THIS SHEET IS NOT VALID WITHOUT ALL OF THE SHEETS THAT COMPRISE THE SET

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**SUBDIVISION & SITE PLAN FOR**  
**1251 KINGS HIGHWAY LLC**  
1251 KINGS HWY  
CHESTER, NY 10918

**SANITARY DETAILS**

**JOHN:**  
18-029  
**SCALE:**  
AS NOTED  
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3/15/19  
**DRAWN:**  
MM  
**CHECKED:**  
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14 of 21

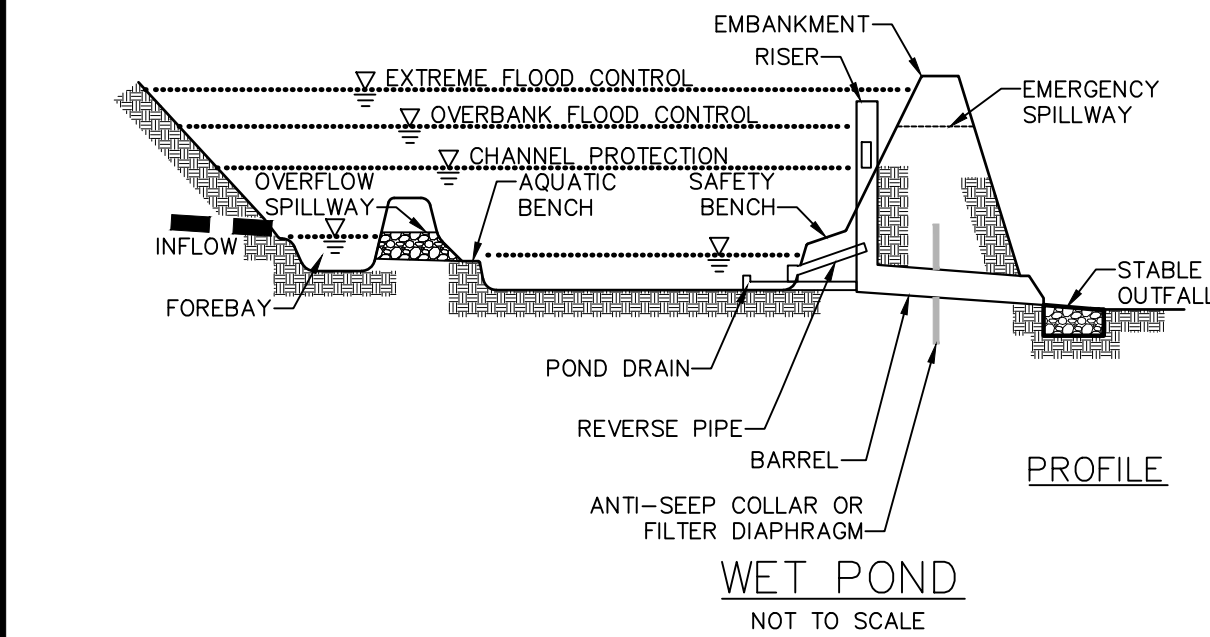
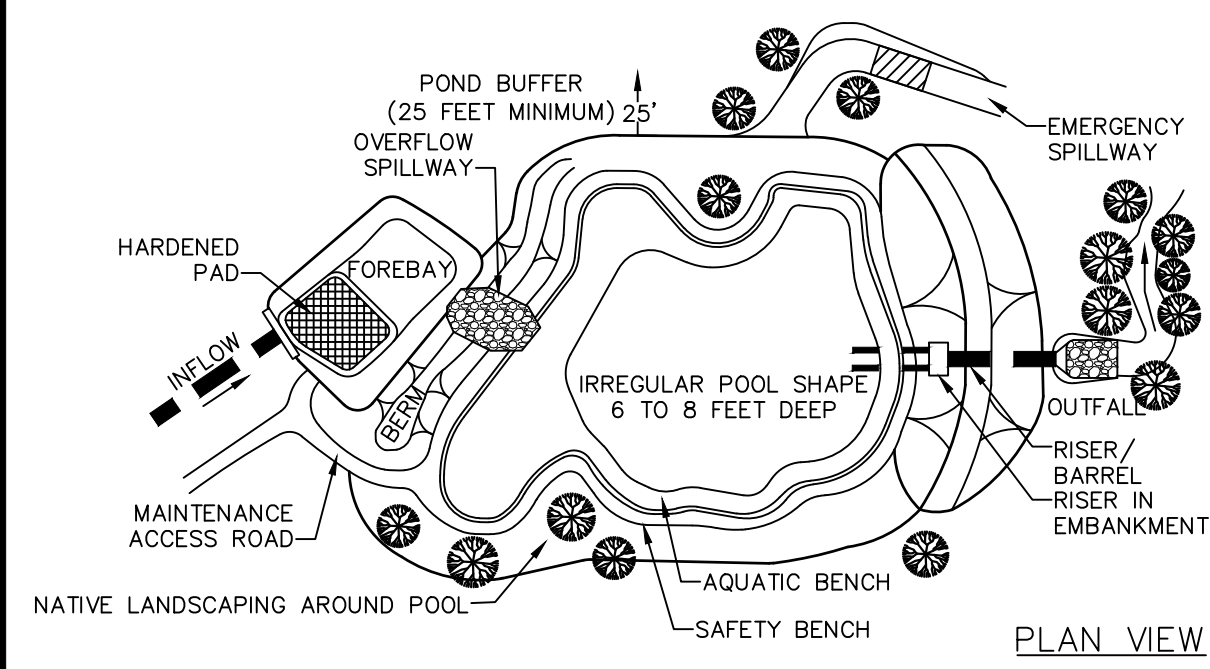
**MICHAEL A. MORGANTE, P.E.**  
LIC. NO. 78577

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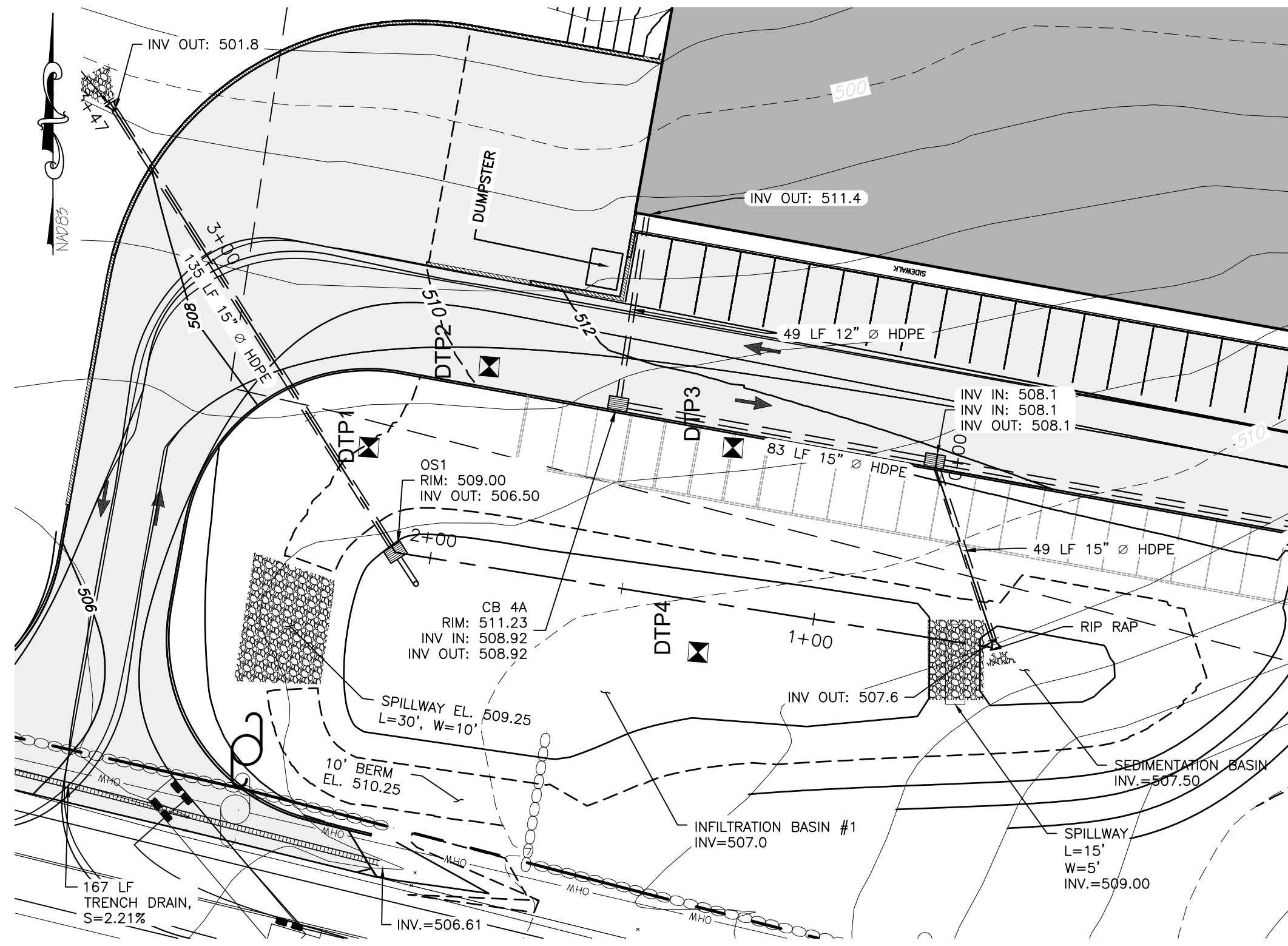






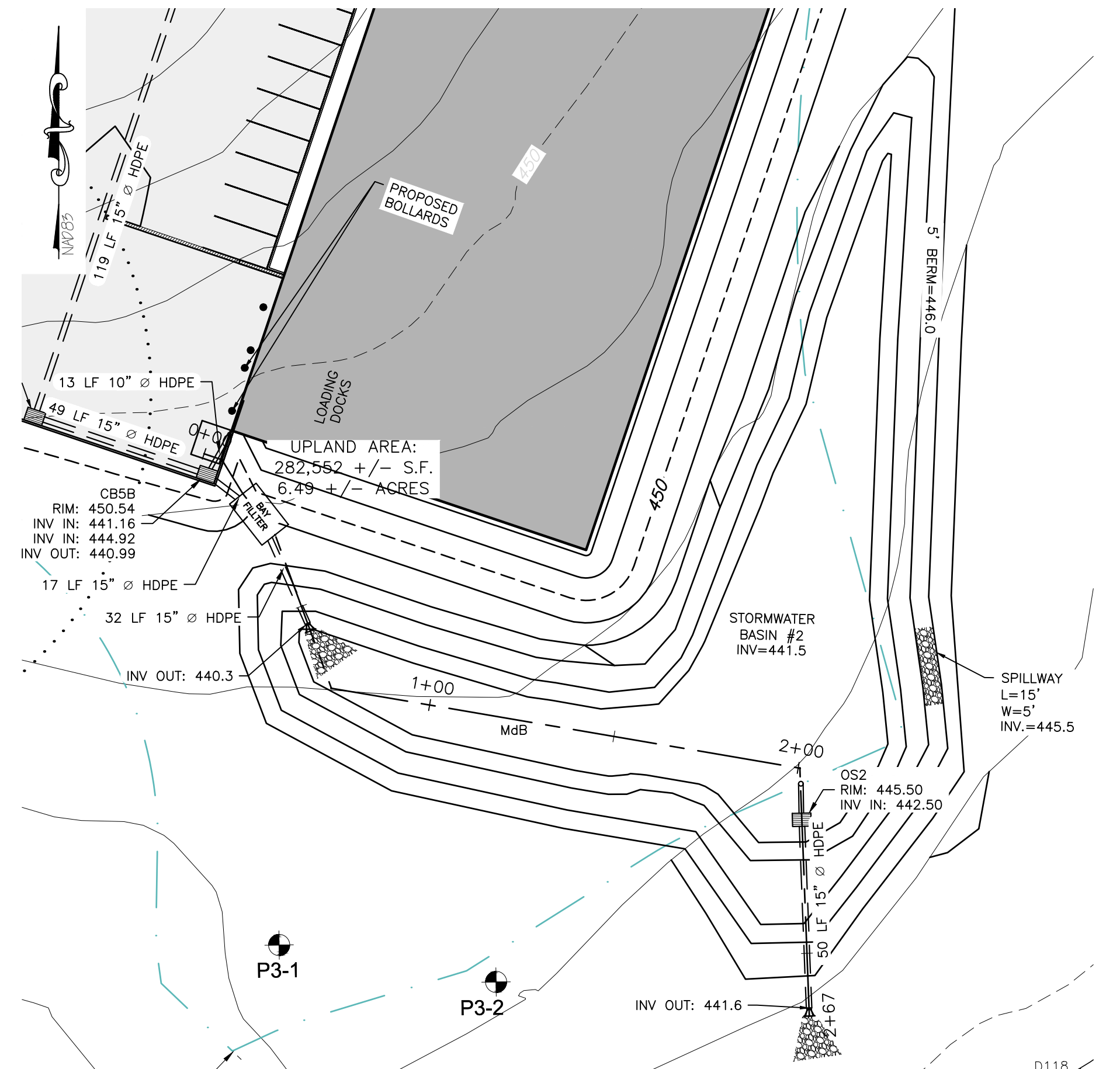
# STORMWATER DEEP TEST PIT OBSERVATIONS LOT 2 AUGUST 30, 2019 BY ARDEN CONSULTING ENGINEERS, PLLC

PIT NO.	DEPTH	DESCRIPTION
T1	0"-6" 6"-24"	TOPSOIL LOAM w/ GRAVEL & SHALE COBBLES LEDGE @ 24"
T2	0"-12" 12"-72"	TOPSOIL LOAM w/ GRAVEL LEDGE @ 72"
T3	0"-12" 12"-24" 24"-60"	TOPSOIL LOAM w/ GRAVEL SANDY LOAM w/ GRAVEL & SHALE COBBLES LEDGE @ 60"
T4	0"-12" 12"-48"	TOPSOIL LOAM w/ GRAVEL LEDGE @ 48"



WET POND 1 PLAN

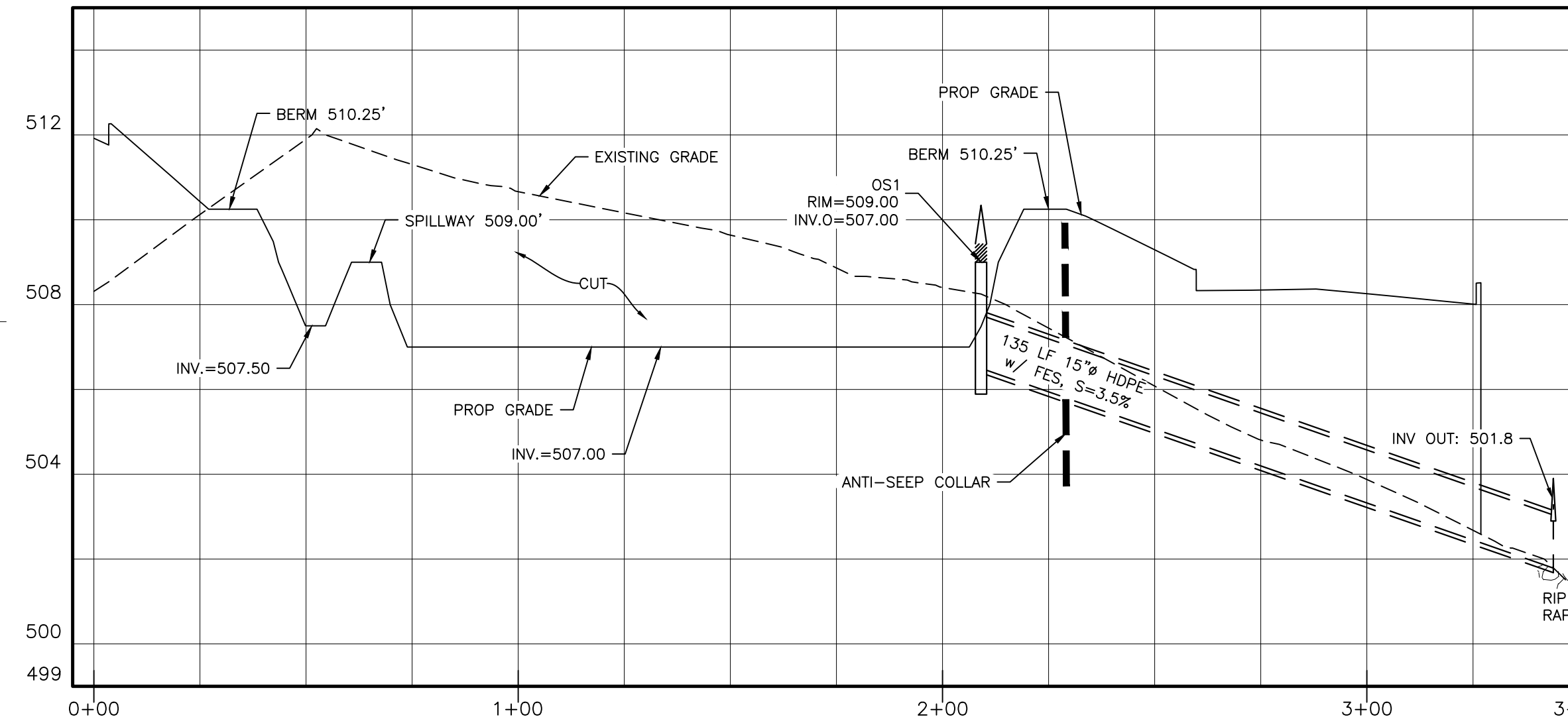
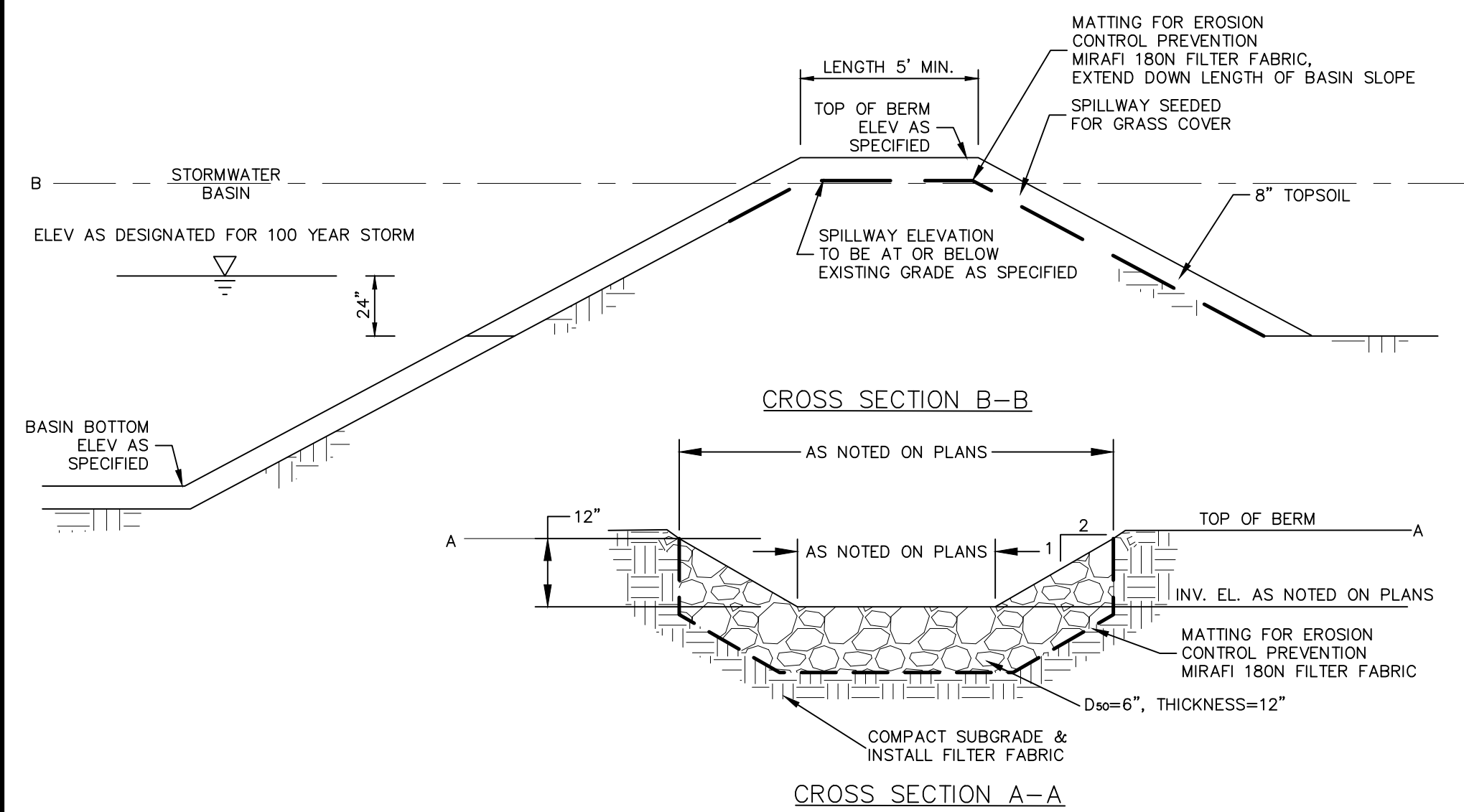
SCALE: 1"=30'



STORMWATER BASIN 2 PLAN

SCALE: 1"=30'

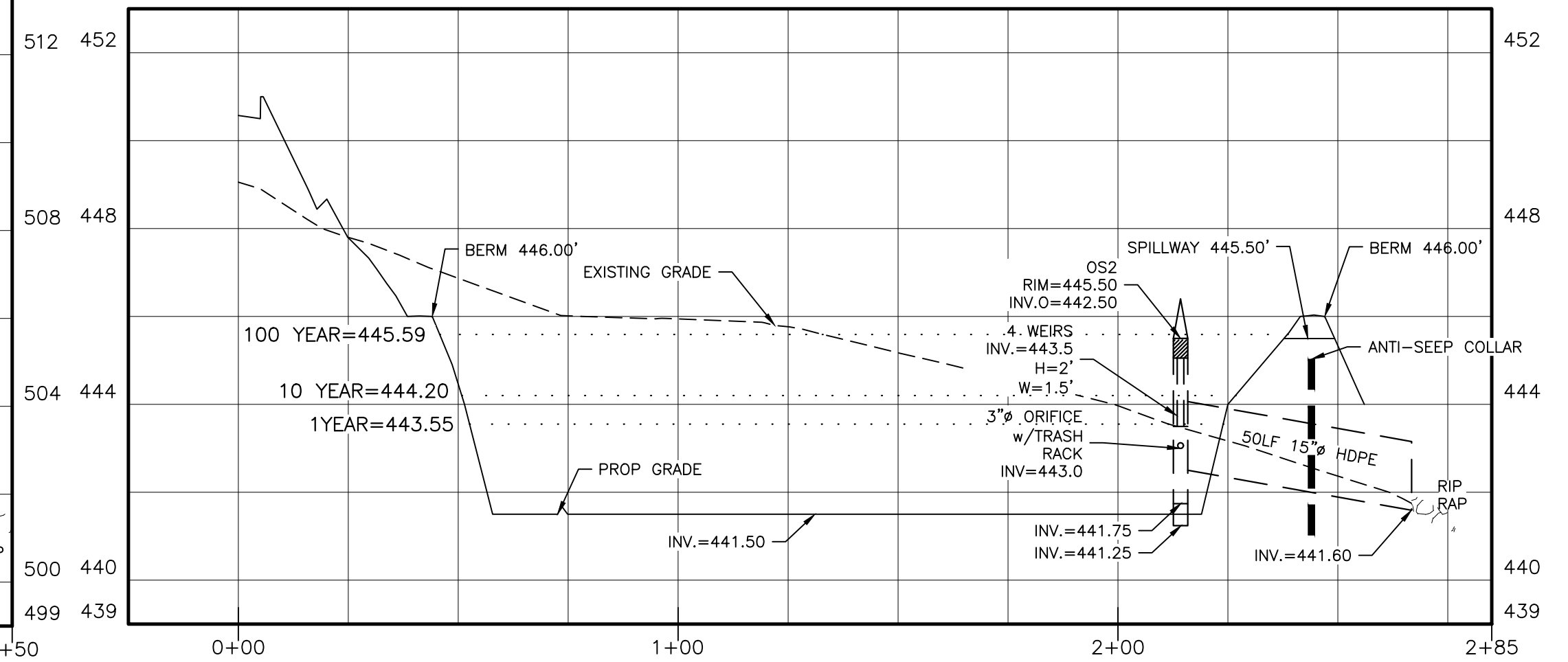
STORMWATER BASIN DATA		
BASIN OUTLET STRUCTURE	OS-1	OS-2
A INVERT OF OUTLET STRUCTURE	501.75	441.75
B OUTLET STRUCTURE DIMENSIONS (OUTSIDE)	60" x 60"	60" x 60"
C TOP OF STRUCTURE ELEVATION	503	445.5
D BOTTOM OF STRUCTURE ELEVATION	501.25	441.25
E CULVERT: DIAMETER/INVERT ELEVATION	15" 503	15" 442.5
F BASIN SURFACE ELEVATION	502	441.5
G FIBERGLASS GRATE DIMENSION	60" x 60"	60" x 60"
H UNDERDRAIN INVERT ELEVATION	449.0	N/A
I UNDERDRAIN SYSTEM LENGTH	173'	N/A
J TOP OF PERIMETER BERM	506	446
K EMERGENCY SPILLWAY: ELEVATION	506.3	445.5
LENGTH x WIDTH	15'x5'	15'x5'
DEPTH	12"	12"



WET POND 1

VERTICAL SCALE: 1"=30'

HORIZONTAL SCALE: 1"=10'



STORMWATER BASIN 2

VERTICAL SCALE: 1"=30'

HORIZONTAL SCALE: 1"=10'

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SUBDIVISION & SITE PLAN FOR  
**1251 KINGS HIGHWAY LLC**  
1251 KINGS HWY  
CHESTER, NY 10918

JOB#: 18-029  
SCALE: AS NOTED  
DATE: 3/15/19  
DRAWN: MM  
CHECKED: MM  
SHEET NO. 16 of 21

**MICHAEL A. MORGANTE, P.E.**  
LIC. NO. 78577

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SEDIMENT CLEANOUT			
FACILITY	BOTTOM ELEV.	CLEANOUT ELEV.	DEPTH
I-BASIN	502.0	504.0	2 FT.

SEDIMENTATION BASIN CLEANOUT MARKER

NOT TO SCALE

## NOTES:

- WHEN CASTING ANTI-SEEP COLLAR, EXCAVATION SHALL BE DONE BY HAND TO MINIMIZE DISTURBANCE TO SURROUNDING MATERIAL
- CONCRETE STRENGTH 3500 PSI AT 28 DAYS.
- OUTLET PIPE FOR BASIN TO HAVE TWO COLLARS IF OUTLET LENGTH EXCEEDS 43 FEET.
- ANTI-SEEP COLLARS SHALL BE PROVIDED WHERE NECESSARY.

ANTI-SEEP COLLAR DETAIL

NOT TO SCALE



SOIL RESTORATION NOTES:

DURING PERIODS OF RELATIVELY LOW TO MODERATE SUBSOIL MOISTURE, THE DISTURBED SUBSOILS ARE RETURNED TO ROUGH GRADE AND THE FOLLOWING SOIL RESTORATION STEPS APPLIED:

- 1) APPLY 3 INCHES OF COMPOST OVER SUBSOIL
- 2) TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR-MOUNTED DISC, OR TILLER, MIXING AND CIRCULATING AIR AND COMPOST INTO SUBSOILS.
- 3) ROCK-PICK UNTIL UPLIFTED STONE/ROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEANED OFF THE SITE
- 4) APPLY TOPSOIL TO A DEPTH OF SIX INCHES.
- 5) VEGETATE AS REQUIRED BY APPROVED PLAN

COMPOST SPECIFICATIONS:

- 1) COMPOST SHALL BE AGED, FROM PLANT DERIVED MATERIALS, FREE OF VIALBE WEED SEEDS, HAVE NO VISIBLE FREE WATER OR DUST PRODUCED WHEN HANDLING, PASS THROUGH A HALF INCH SCREEN AND HAVE A PH SUITABLE TO GROW DESIRED PLANTS.

MAINTENANCE:

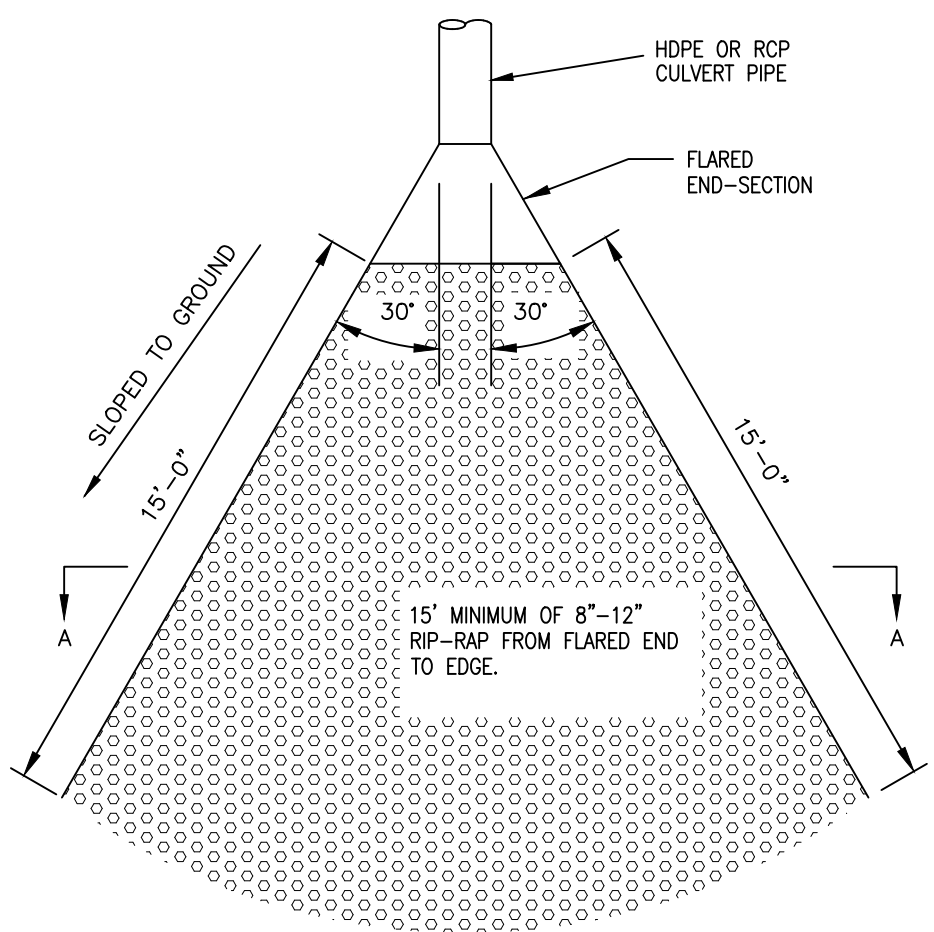
- 1) SIMPLE MAINTENANCE SHOULD IDENTIFY WHERE SOIL RESTORATION IS APPLIED, WHERE NEWLY RESTORED AREAS ARE/CANNOT BE CLEARED, WHO THE RESPONSIBLE PARTIES ARE TO ENSURE THAT ROUTINE VEGETATION IMPROVEMENTS ARE MADE (THINNING, INVASIVE PLANT REMOVAL ETC.)
- 2) SOIL COMPOST AMENDMENTS WITHIN A FILTER STRIP OR GRASS CHANNEL SHOULD BE LOCATED IN PUBLIC RIGHT OF WAY, OR WITHIN A DEDICATED STORMWATER OR DRAINAGE EASEMENT.
- 3) FIVE YEAR MAINTENANCE OPERATIONS INCLUDES:
  - a) INITIAL INSPECTIONS FOR THE FIRST SIX MONTHS (ONCE AFTER EACH STORM GREATER THAN HALF-INCH)
  - b) RESEEDING TO REPAIR BARE OR ERODING AREAS TO ASSURE GRASS STABILIZATION
  - c) WATER ONCE EVERY THREE DAYS FOR THE FIRST MONTH, AND THEN PROVIDE A HALF INCH OF WATER PER WEEK DURING THE FIRST YEAR. IRRIGATION PLAN MAY BE ADJUSTED ACCORDING TO THE RAIN EVENT.
  - d) FERTILIZATION MAY BE NEEDED IN THE FALL AFTER THE FIRST GROWING SEASON TO INCREASE PLANT VIGOR.
- 4) TO ASSIST IN ONGOING MAINTENANCE, PLANTING THE APPROPRIATE GROUND COVER WITH DEEP ROOTS TO MAINTAIN THE SOIL STRUCTURE, AND KEEP THE SITE FREE OF VEHICULAR AND FOOT TRAFFIC OR OTHER WEIGHT LOADS. SOMETIMES IT MAY BE NECESSARY TO DE-THATCH THE TURF EVERY FEW YEARS.

OUTLET STRUCTURE NOTES:

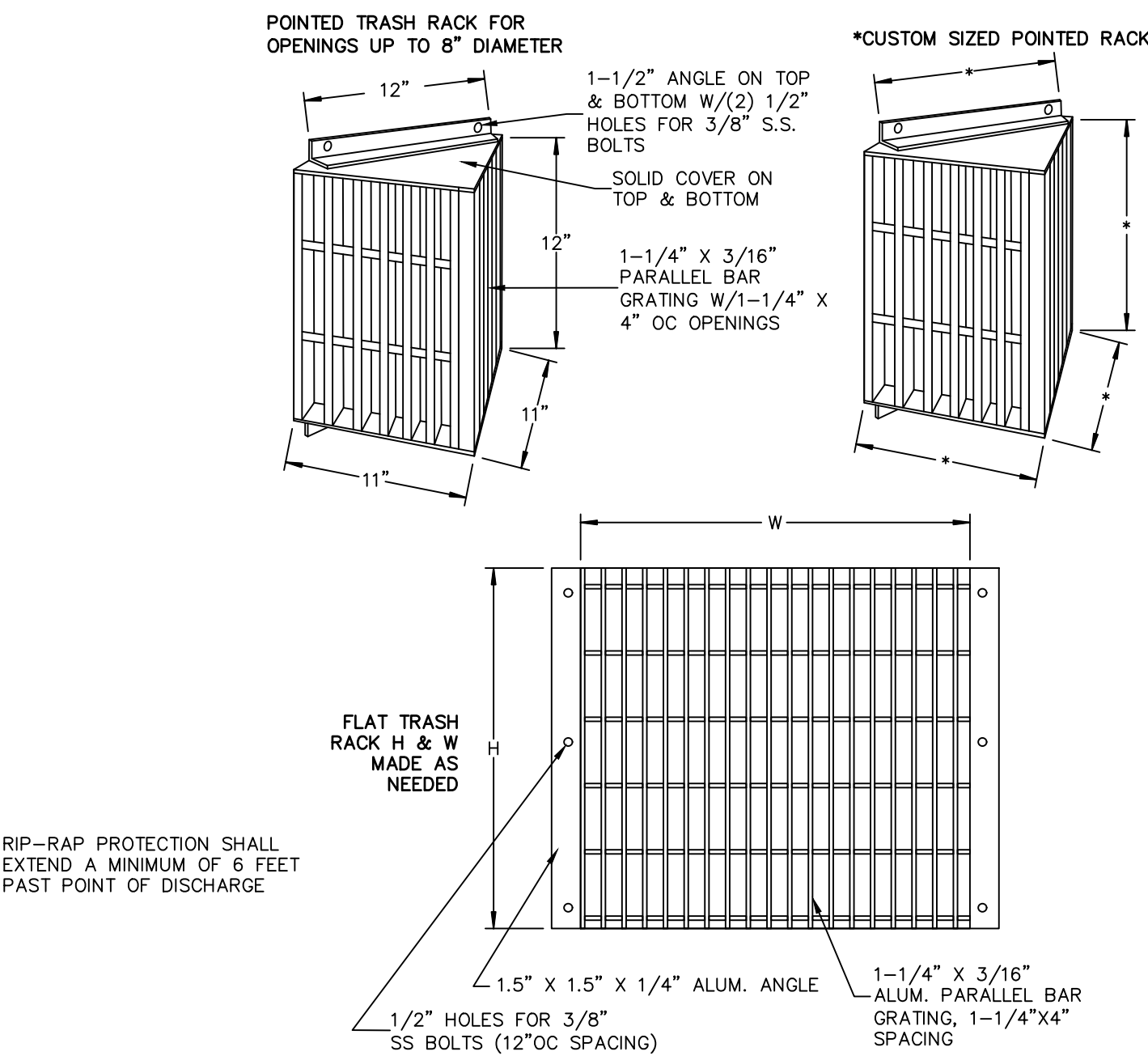
1. ALL CONCRETE SHALL BE A MINIMUM 4,000 PSI.
2. ALL TRASH RACK CONNECTIONS TO OUTLET STRUCTURE SHALL BE ALUMINUM.
3. UPON COMPLETION OF STORMWATER CONSTRUCTION, OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE DRAINAGE FACILITIES IN ACCORDANCE WITH THE NYSDEC STORMWATER MANAGEMENT DESIGN MANUAL. THESE ITEMS INCLUDE, BUT ARE NOT LIMITED TO:
  - A. REMOVAL OF DEBRIS FROM TRASH RACKS
  - B. ROUTINE GRASS CUTTING AROUND INLET PIPES, ORIFICES
  - C. SEDIMENT AND GRIT REMOVAL
4. TRASH RACKS FOR OS-1 RIM & RECTANGULAR WEIR PROVIDED BY WOODARDS CONCRETE PRODUCTS, OR EQUAL.
5. PIPES ARE TO BE FLUSH WITH THE INSIDE OF THE OUTLET STRUCTURE WALLS.

DRAINAGE NOTES:

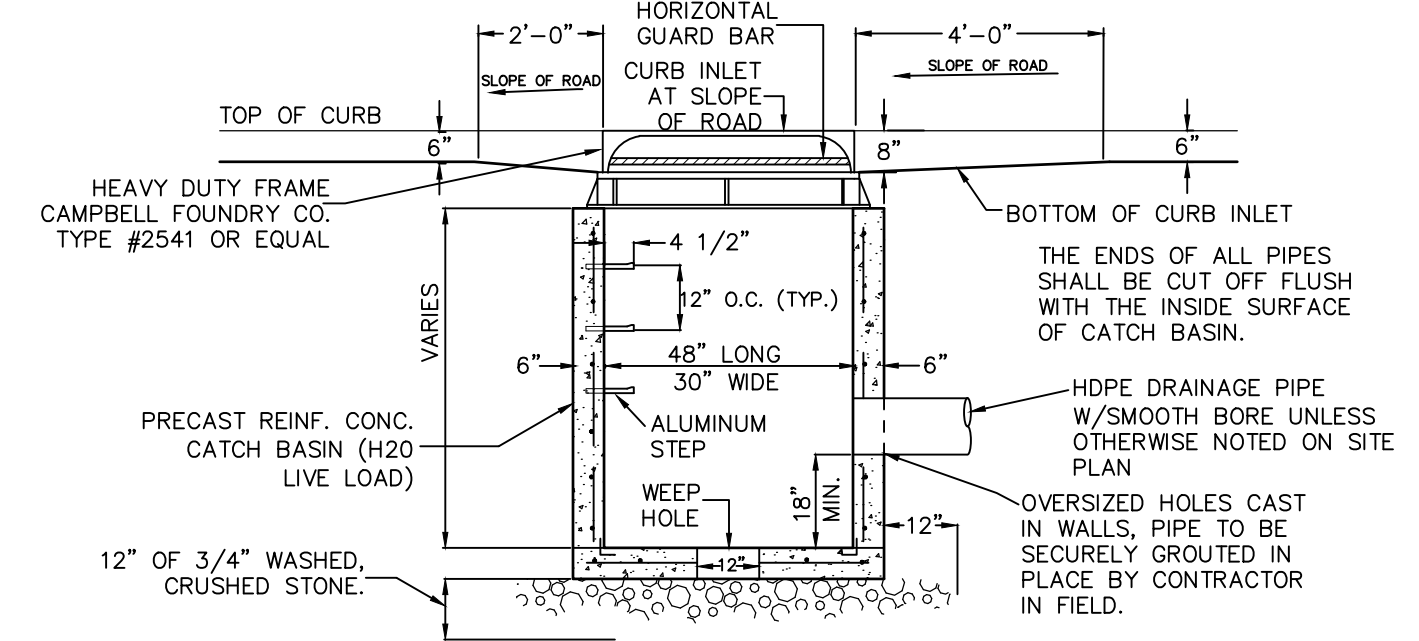
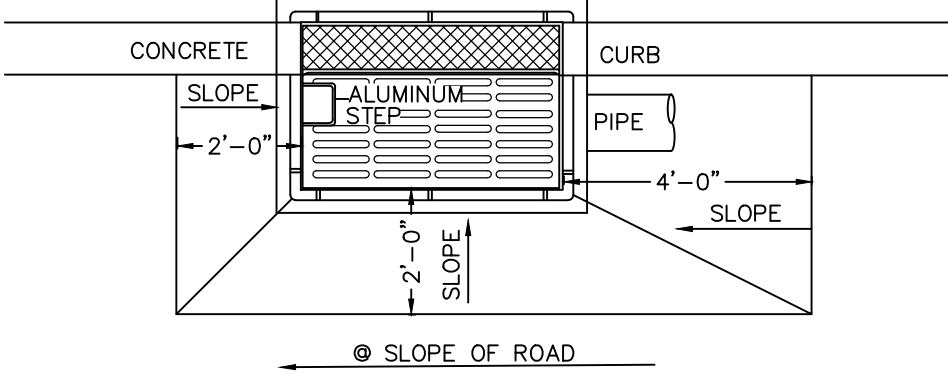
1. ALL CONCRETE SHALL BE A MINIMUM 4,000 PSI.
2. UPON COMPLETION OF INFILTRATION BASINS CONSTRUCTION, OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE DRAINAGE FACILITIES IN ACCORDANCE WITH THE NYSDEC STORMWATER MANAGEMENT DESIGN MANUAL. THESE ITEMS INCLUDE, BUT ARE NOT LIMITED TO:
  - A. REMOVAL OF DEBRIS FROM TRASH RACKS
  - B. ROUTINE GRASS CUTTING AROUND INLET PIPES, ORIFICES
  - C. SEDIMENT AND GRIT REMOVAL
3. TRASH RACK IS MANF. BY PLASTIC SOLUTIONS, OR EQUAL.
4. PIPES ARE TO BE FLUSH WITH THE INSIDE OF THE OUTLET STRUCTURE WALLS.



FLARED CULVERT END SECTION  
NOT TO SCALE

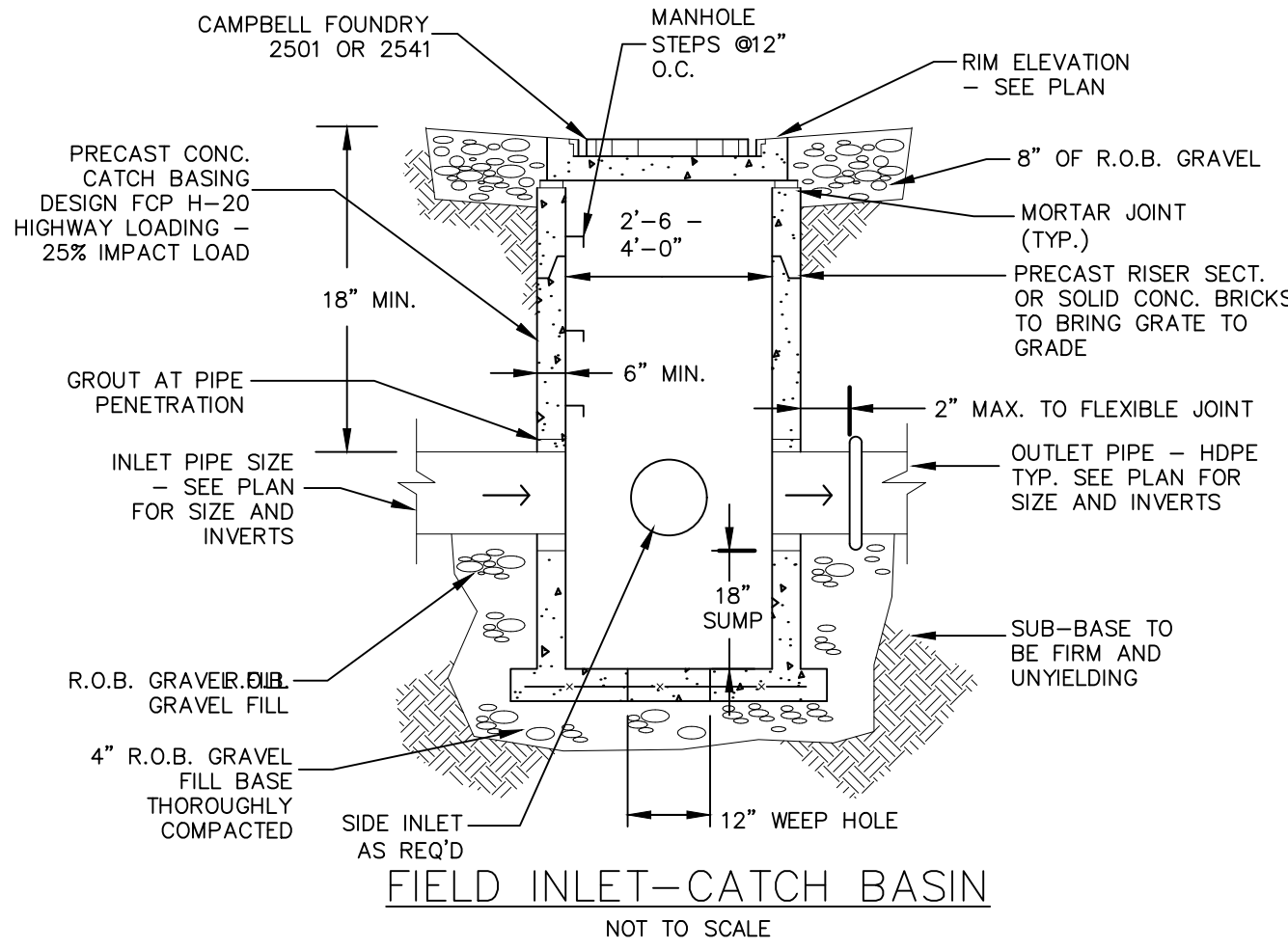


ALUMINUM TRASH RACK FOR  
CONCRETE WEIR  
NOT TO SCALE



CURB INLET-CATCH BASIN  
NOT TO SCALE

- NOTES:
1. RETAINER GLANDS ARE REQUIRED ON ALL FITTINGS IN ADDITION TO THE RODS AND THRUST BLOCKS.
  2. ALL UTILITY TRENCHES WITHIN PAVED AREAS SHALL BE BACKFILLED FULL DEPTH WITH RUN-OF-BANK GRAVEL.
  - ALL UTILITIES TO BE DEDICATED TO THE TOWN SHALL MEET TOWN OF WALLKILL SPECIFICATIONS.



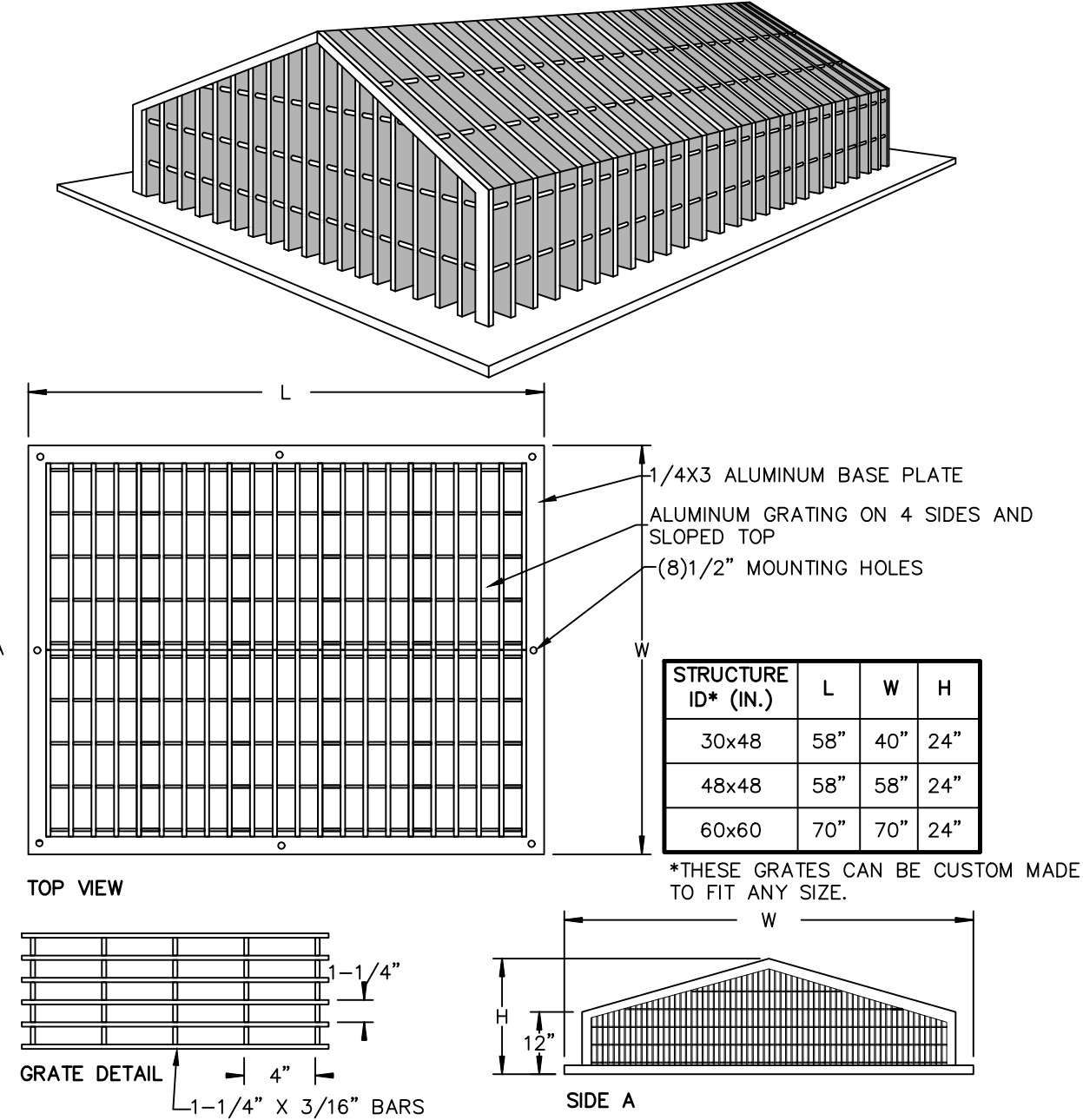
FIELD INLET-CATCH BASIN  
NOT TO SCALE

STANDARD COUNTY NOTE:

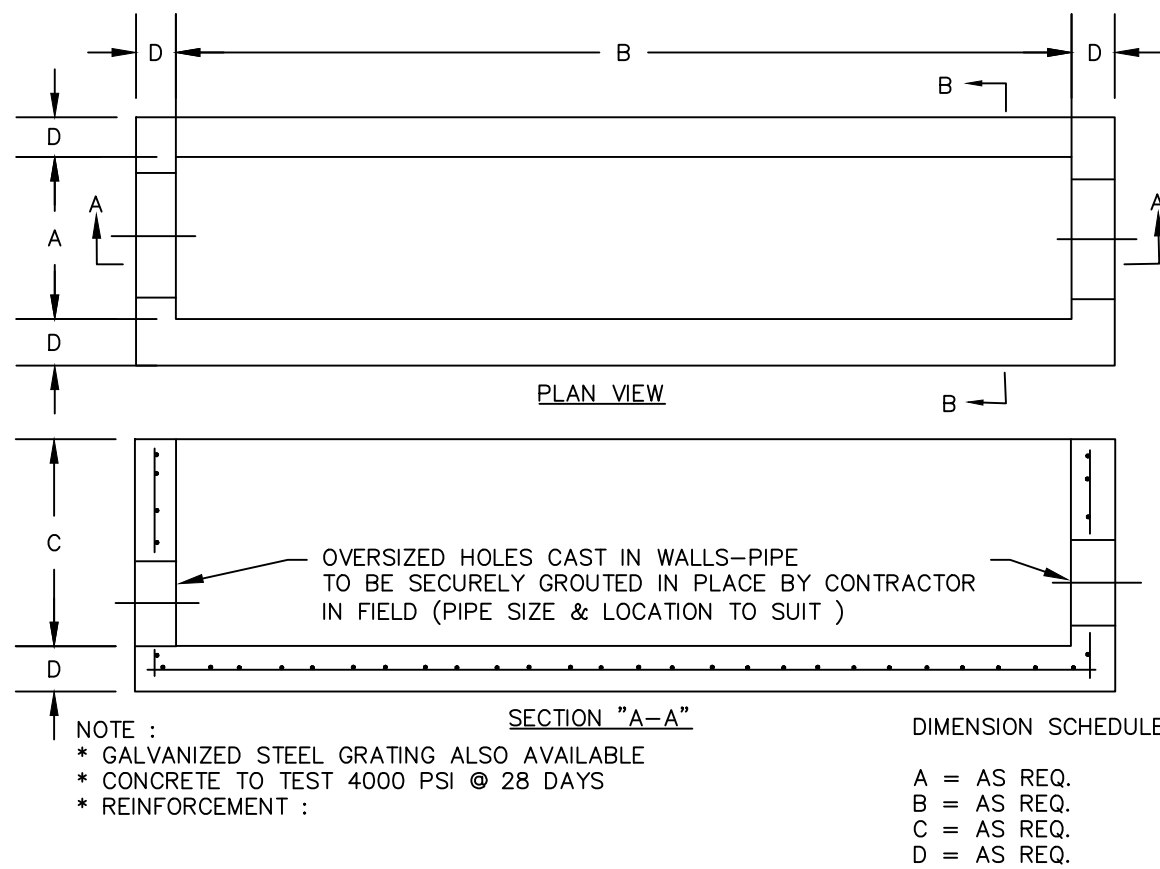
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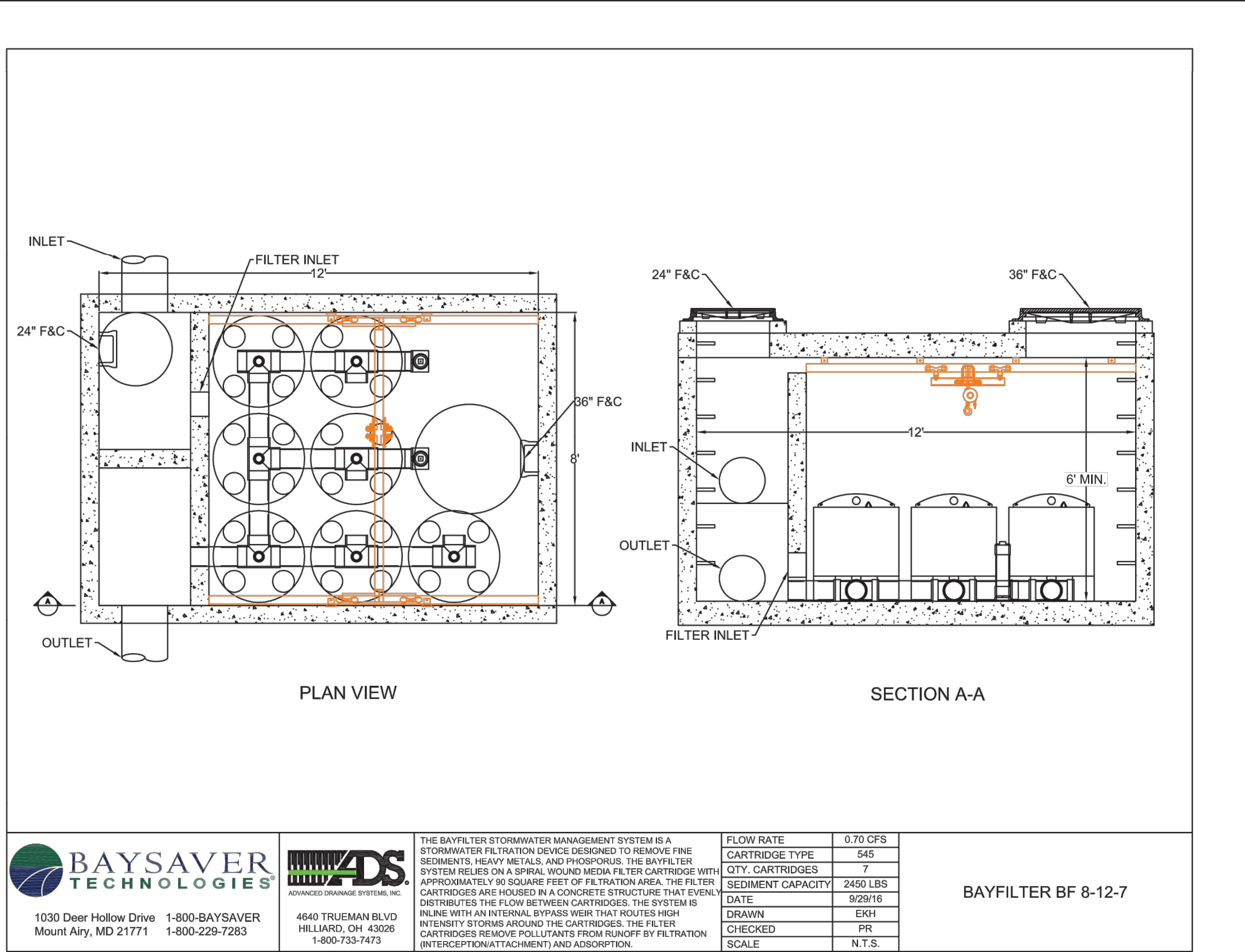
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PEAKED ALUMINUM TRASH RACK FOR  
POND OUTLET  
NOT TO SCALE



TRENCH DRAIN  
NOT TO SCALE



<b>BAYSAVER TECHNOLOGIES</b> 1030 Deer Hollow Drive Mount Airy, MD 21771 1-800-BAYSAYER 1-800-228-7283	<b>ADS</b> 4640 TRUHEMAN BLVD HILLIARD, OH 43026 1-800-733-7473	THE BAYFILTER STORMWATER MANAGEMENT SYSTEM IS A STORMWATER FILTRATION DEVICE DESIGNED TO REMOVE FINE SEDIMENTS, HEAVY METALS, AND PHOSPHORUS. THE BAYFILTER SYSTEM RELIES ON A SPIRAL WOUND MEDIA FILTER CARTRIDGE WITH APPROXIMATELY 90 SQUARE FEET OF FILTRATION AREA. THE FILTER CARTRIDGES ARE HOUSED IN A CONCRETE STRUCTURE THAT EVENLY DISTRIBUTES THE FLOW BETWEEN CARTRIDGES. THE SYSTEM IS IN LINE WITH AN INTERNAL BYPASS WEIR THAT ROUTES HIGH WINTER RAINSTORMS AROUND THE CARTRIDGES. THE SYSTEM IS DESIGNED TO REMOVE POLLUTANTS FROM RUNOFF BY FILTRATION (INTERCEPTION ATTACHMENT) AND ADSORPTION.	FLOW RATE: 0.70 CFS CARTRIDGE TYPE: 545 QTY. CARTRIDGES: 7 SEDIMENT CAPACITY: 2400 LBS DATE: 9/20/19 DRAWN: EKH CHECKED: RRR SCALE: N.T.S.
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STORMWATER FACILITY MAINTENANCE NOTES:

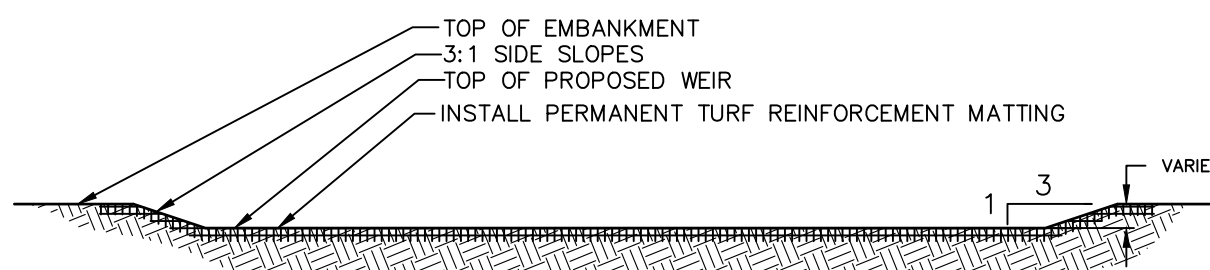
STORMWATER MANAGEMENT FACILITIES SHALL BE REGULARLY MAINTAINED TO ENSURE THEY FUNCTION AT DESIGN CAPACITY AND TO PREVENT HEALTH HAZARDS ASSOCIATED WITH DEBRIS AND STAGNANT WATER. THE PRIVATELY OWNED PORTION OF THE SYSTEM MUST BE PRIVATELY MAINTAINED.

RESPONSIBILITY FOR THE OPERATION AND MAINTENANCE OF THE STORM WATER FACILITIES, INCLUDING PERIODIC REMOVAL AND DISPOSAL OF ACCUMULATED PARTICULATE MATERIAL AND DEBRIS, BUT NOT LIMITED TO THE FOLLOWING: VISUAL INSPECTION OF ALL SYSTEM COMPONENTS AT LEAST TWICE A YEAR; VACUUMING OF ALL STORM SEWER INLETS ONCE EVERY SIX MONTHS (FREQUENCY MAY BE ADJUSTED TO ONCE A YEAR IF FIRST YEAR MAINTENANCE RECORDS INDICATE THAT SEDIMENT AND DEBRIS ACCUMULATION IS INSIGNIFICANT); REVERSE FLUSHING AND VACUUMING IF SYSTEM INSPECTION INDICATE SIGNIFICANT ACCUMULATION OF SEDIMENT IN THE PIPES; AND PERIODIC REMOVAL AND DISPOSAL OF OTHER MATERIAL AND DEBRIS, SHALL REMAIN WITH THE OWNER OR OWNERS OF THE PROPERTY, WITH PERMANENT ARRANGEMENTS THAT SHALL PASS TO ANY SUCCESSIVE OWNER, UNLESS ASSUMED BY A GOVERNMENTAL AGENCY.

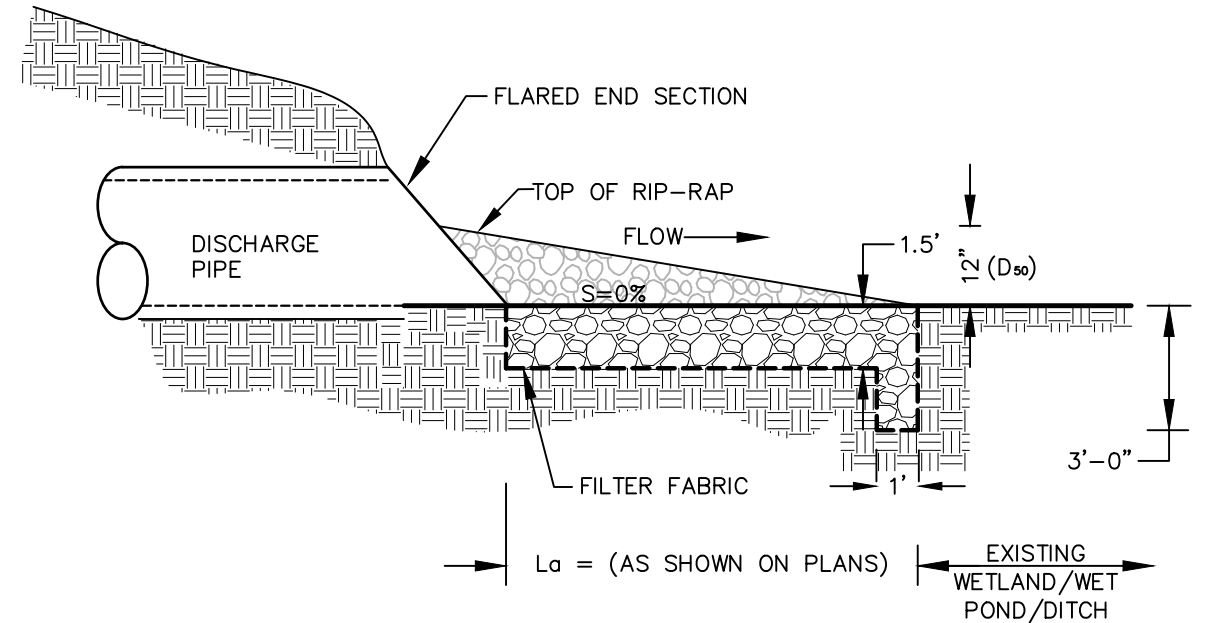
IN THE EVENT THAT THE FACILITY BECOMES A DANGER TO PUBLIC SAFETY OR PUBLIC HEALTH, OR IT IS IN NEED OF MAINTENANCE, THE OWNER SHALL EFFECT SUCH MAINTENANCE AND REPAIR OF THE FACILITY IN A MANNER THAT IS APPROVED BY THE TOWN ENGINEER OR HIS DESIGNEE, IF THE OWNER FAILS TO PERFORM SUCH MAINTENANCE AND REPAIR, THE MUNICIPALITY MAY IMMEDIATELY PROCEED TO DO SO AND SHALL BILL THE COST TO THE OWNER.

SEDIMENT TRAP & BASIN CONSTRUCTION SPECIFICATIONS:

1. THE AREA OF THE PROPOSED SEDIMENT BASIN SHALL BE USED AS A SEDIMENT TRAP PRIOR TO FINAL CONSTRUCTION OF THE INFILTRATION BASIN. SEDIMENT TRAP SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MAT, INCLUSION OF VEGETATION, ORGANIC MATERIAL, OR FROZEN SOIL IN THE EMBANKMENT, AS WELL AS PLACING OF EMBANKMENT MATERIAL ON A FROZEN SURFACE IS PROHIBITED.
2. THE FILL MATERIAL FOR EMBANKMENTS SHALL BE FREE OF ROOTS OR OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS, ORGANIC MATERIAL OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED IF POSSIBLE. MAXIMUM HEIGHT OF EMBANKMENT SHALL BE FIVE (5) FEET, MEASURED AT CENTERLINE OF EMBANKMENT. PLACE FILL IN LIFTS NOT TO EXCEED 9" AND MACHINE COMPACT.
3. ALL FILL SLOPES SHALL BE 2:1 OR FLATTER, CUT SLOPES 1:1 OR FLATTER.
4. ELEVATION OF THE TOP OF ANY DIKE DIRECTING WATER INTO TRAP MUST EQUAL OR EXCEED HEIGHT OF EMBANKMENT.
5. ENSURE THAT THE SPILLWAY CREST IS LEVEL AND AT LEAST 1.5' BELOW THE TOP OF THE DAM AT ALL POINTS.
6. FILTER CLOTH SHALL BE PLACED OVER THE BOTTOM OF THE OUTLET CHANNEL PRIOR TO PLACEMENT OF STONE. SECTIONS OF FABRIC MUST OVERLAP AT LEAST ONE (1) FOOT WITH SECTION NEAREST THE ENTRANCE PLACED ON TOP. FABRIC SHALL BE EMBEDDED AT LEAST SIX (6) INCHES INTO EXISTING GROUND AT ENTRANCE OF OUTLET CHANNEL.
7. STONE USED IN OUTLET CHANNEL SHALL BE FOUR (4) TO EIGHT (8) INCHES (RIP RAP), TO PROVIDE A FILTERING EFFECT. STONE USED FOR SPILLWAY SECTION-CLASS "B" EROSION CONTROL STONE. STONE USED ON INSIDE SPILLWAY FACE TO CONTROL DRAINAGE - D.O.T. #57 WASHED STONE. A LAYER OF FILTER CLOTH SHALL BE EMBEDDED ONE (1) FOOT WITH SECTION NEAREST ENTRANCE PLACED ON TOP. FABRIC SHALL BE EMBEDDED AT LEAST SIX (6) INCHES INTO EXISTING GROUND AT ENTRANCE OF OUTLET CHANNEL.
8. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
9. THE SEDIMENT TRAP SHALL BE INSPECTED AFTER EACH RAIN AND SHALL BE REPAIRED AS NEEDED.
10. CONSTRUCT EMBANKMENT AND STONE SPILLWAY TO DIMENSIONS, SLOPES AND ELEVATIONS SHOWN ON THE PLAN.
11. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION ARE MINIMIZED.
12. THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
13. DRAINAGE AREA FOR THIS PRACTICE IS LIMITED TO 15 ACRES.
15. ENSURE THAT THE TOP OF THE EMBANKMENT AT ALL POINTS IF 0.5' ABOVE NATURAL SURROUNDING GROUND.
16. IMMEDIATELY STABILIZE THE EMBANKMENT AND ALL DISTURBED AREAS AS IN ACCORDANCE WITH THE SPECIFICATIONS SHOWN ON THE GENERAL PLANSET AND EROSION AND SEDIMENT CONTROL PLANS.



TYPICAL FOREBAY WEIR  
NOT TO SCALE



RIP-RAP OUTLET PROTECTION DETAIL  
NOT TO SCALE

Dig Safely. New York  
Call 811  
before you dig

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1251 KINGS HWY  
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JOB#: 18-029  
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SHEET NO. 17 of 21

**MICHAEL A. MORGANTE, P.E.**  
LIC. NO. 78577





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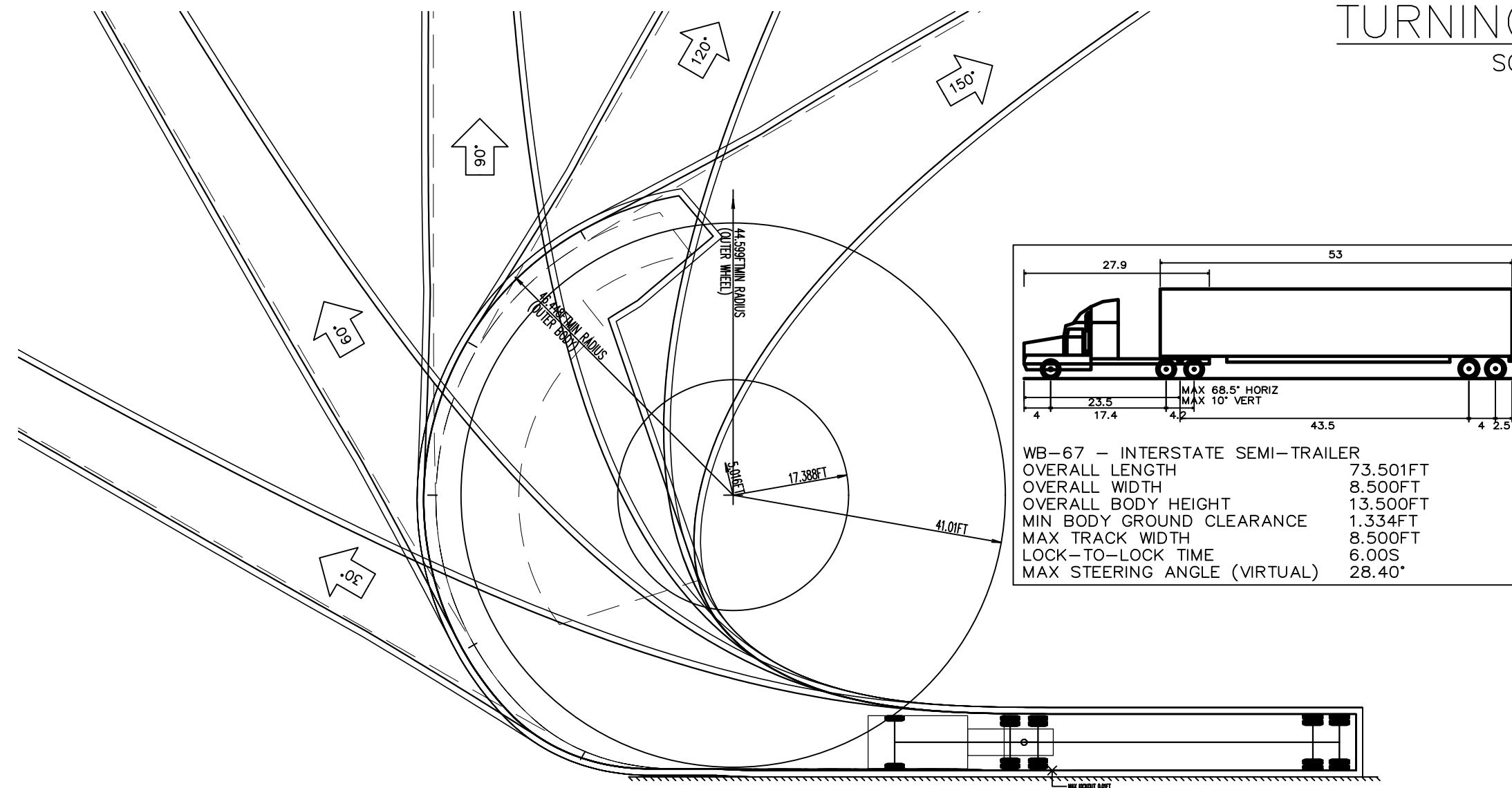
TURNING DIAGRAMS

SCALE: 1"=100'

LEGEND:

	EXISTING BUILDING
	EXISTING WATER EDGE
	EXISTING WETLANDS BUFFER
	EXISTING EDGE OF PAVEMENT
	EXISTING YELLOW LINE
	EXISTING WHITE LINE
	EXISTING OVERHEAD WIRE
	EXISTING PROPERTY LINE
	EXISTING ADJACENT PROPERTY LINE
	EXISTING STONE WALL
	EXISTING DRAINAGE LINE
	EXISTING WETLAND
	TREE
	STEEL BRIDGE
	EXISTING GUY
	RAIL ROAD TRUCK
	GRAVEL SURFACE TO BE REMOVED
	EXISTING RAILROAD SIGNAL X-ING STOP ARM
	PERCOLATION TEST

	EXISTING WELL
	EXISTING LIGHT POLE
	EXISTING IRON PIPE MARKER
	EXISTING IRON ROD MARKER
	EXISTING SIGN
	PROPOSED WELL
	PROPOSED BUILDING
	PROPOSED EDGE OF PAVEMENT
	PROPOSED SEWER LINE
	PROPOSED SEWER CLEANOUT
	PROPOSED SEPTIC TANK
	PROPOSED DISTRIBUTION BOX
	PROPOSED RIPRAP
	PROPOSED PROPERTY LINE
	DEEP TESTS
	EXISTING GUY
	EXISTING FLOOD ZONE



TURNING DIAGRAMS

SCALE: 1"=100'



REVISION	BY	DATE	DESCRIPTION
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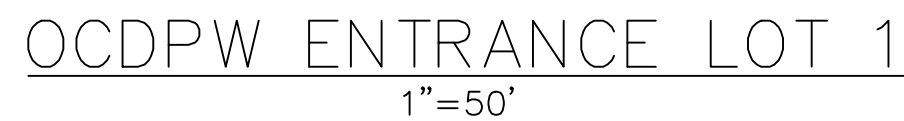


SUBDIVISION & SITE PLAN FOR  
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1251 KINGS HWY  
CHESTER, NY 10918

TURNING DIAGRAMS

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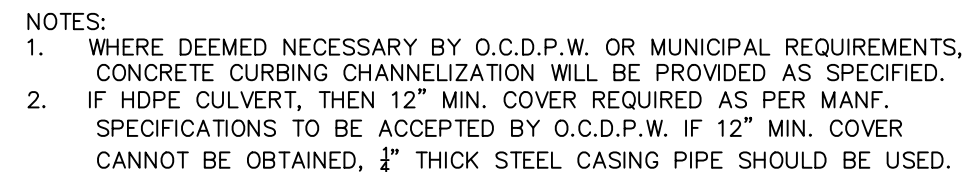




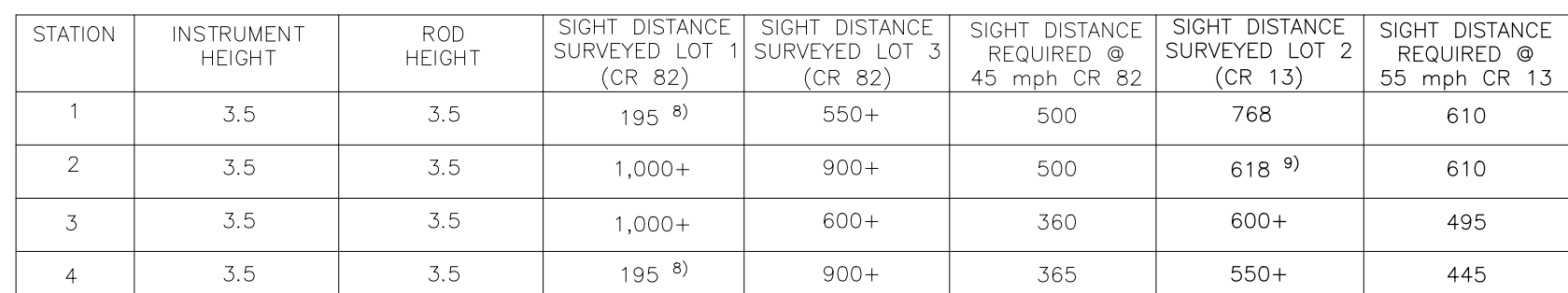
1. EXISTING ACCESS DRIVEWAYS FOR LOT LOT TO BE REMOVED SHALL BE RESTORED BY REMOVAL OF GRAVEL TO A DEPTH OF AT LEAST 6-INCHES AND A DISTANCE OF AT LEAST 25 FEET FROM THE EDGE OF PAVEMENT. THESE AREAS ARE TO BE REPLACED WITH TOPSOIL, SEED AND STRAW MULCH.
2. THE DRIVEWAY THAT WILL REMAIN SHALL BE UPGRADED TO A RESIDENTIAL DRIVEWAY STANDARD IN ACCORDANCE WITH OCDPW POLICY & STANDARDS



	EXISTING BUILDING		EXISTING IRON PIPE MARKER
	EXISTING WATER EDGE		EXISTING IRON ROD MARKER
	EXISTING WETLANDS BUFFER		EXISTING SIGN
	EXISTING EDGE OF PAVEMENT		PROPOSED WELL
	EXISTING YELLOW LINE		PROPOSED BUILDING
	EXISTING WHITE LINE		PROPOSED EDGE OF PAVEMENT
	EXISTING OVERHEAD WIRE		PROPOSED MAJOR CONTOUR
	EXISTING PROPERTY LINE		PROPOSED MINOR CONTOUR
	EXISTING ADJACENT PROPERTY LINE		PROPOSED DRAINAGE CATCHBASIN
	EXISTING STONE WALL		PROPOSED DRAINAGE PIPE
	EXISTING MAJOR CONTOUR		PROPOSED BAYFILTER
	EXISTING MINOR CONTOUR		PROPOSED TRENCH DRAIN
	EXISTING DRAINAGE LINE		PROPOSED FLARED END SECTION
	EXISTING WETLAND		PROPOSED SEWER LINE
	EXISTING TREELINE		PROPOSED SEWER CLEANOUT
	TREE		PROPOSED SEPTIC TANK
	EXISTING GUY		PROPOSED DISTRIBUTION BOX
	GRAVEL SURFACE TO BE REMOVED		PROPOSED RIPRAP
	PERCOLATION TEST		PROPOSED PROPERTY LINE
	EXISTING WELL		DEEP TESTS
	EXISTING LIGHT POLE		PROPOSED 4' HIGH FENCE



DRIVEWAY OR ROAD CONNECTION  
NOT TO SCALE



1. SIGHT DISTANCES WERE FIELD SURVEYED BY STEPHEN DOLSON, POL ON 9/5/20.
2. SIGHT DISTANCE REQUIRED VALUES ARE TAKEN FROM AASHTO-“POLICY ON GEOMETRIC DESIGN”, 2018 Ed FOR 2-LANE PASSENGER CARS
3. ALL DISTANCES ARE MEASURED IN FEET.
4. INSTRUMENT HEIGHT IS THE EQUIVALENT OF THE DRIVER’S EYE LEVEL.
5. ROD HEIGHT IS THE EQUIVALENT OF SIGHTING A 3.5 FT. TALL VEHICLE.
6. D(LEFT) MEANS DISTANCE TO LEFT FOR CARS TO TURN RIGHT.
7. D(RIGHT) MEANS DISTANCE TO RIGHT FOR CARS TO TURN LEFT.
8. SIGHT DISTANCE MEASURED TO THE INTERSECTION OF THE ROAD AND SHOULDER.
9. CLEAR BRUSH NOTED FOR ENTRANCE TO LOT 2 TO ACHIEVE SIGHT DISTANCE.

AASHTO SIGHT DISTANCE CRITERIA  
NOT TO SCALE



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CHESTER, NY 10918

### OCDPW ENTRANCE DETAILS

MM



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**LIC. NO. 78577**

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ONLY MAPS WITH EMBOSSED SEALS ARE GENUINE COPIES OF THE ORIGINAL WORK AND OPINION. MAPS NOT BEARING EMBOSSED SEALS SHOULD NOT BE RELIED UPON SINCE OTHER THAN EMBOSSED-SEAL COPIES MAY CONTAIN UNAUTHORIZED AND UNDETECTABLE MODIFICATIONS, DELETIONS, ADDITIONS AND CHANGES.

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EXISTING CONDITIONS & SURVEY NOTES:

1. SURVEYED WITHOUT THE BENEFIT OF A TITLE SEARCH. SUBJECT TO COVENANTS, EASEMENTS, RESTRICTIONS, CONDITIONS AND AGREEMENTS OF RECORD.
2. CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS AS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON SO NOTED.
3. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS. THEIR SUCCESSORS AND/OR ASSIGNS, OR SUBSEQUENT OWNERS.
4. SUBSURFACE STRUCTURES NOT VISIBLE OR READILY APPARENT ARE NOT SHOWN AND THEIR LOCATION AND EXTENT ARE NOT CERTIFIED. THE LOCATION OF UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS ARE NOT ALWAYS KNOWN AND OFTEN MUST BE ESTIMATED. IF ANY UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS EXIST OR ARE SHOWN, THE IMPROVEMENTS OR ENCROACHMENTS ARE NOT COVERED BY THIS CERTIFICATE. THE CONTRACTOR SHALL COMPLY WITH NEW YORK STATE INDUSTRIAL CODE RULE 753 - 48 HOURS PRIOR TO DIGGING CALL DIGSAFELY NEW YORK 1-800-962-7962 TO HAVE PUBLIC UTILITY LOCATIONS PAINTED.
5. ONLY TITLE SURVEYS BEARING THE MAKERS EMBOSSED SEAL SHOULD BE RELIED UPON SINCE OTHER THAN EMBOSSED-SEAL COPIES MAY CONTAIN UNAUTHORIZED AND UNDETECTABLE MODIFICATIONS, DELETIONS, ADDITIONS, AND CHANGES.
7. BOUNDARY LINES SHOWN HEREON ARE APPROXIMATE AND ARE SUBJECT TO WHATEVER STATE OF FACTS THAT AN ACCURATE BOUNDARY SURVEY MAY REVEAL.

GRADING NOTES:

1. PRIOR TO SITE DISTURBANCE, CONTRACTOR TO INSTALL EROSION & SEDIMENT CONTROL MEASURES.
2. IF ROCK IS ENCOUNTERED DURING CONSTRUCTION & REMOVAL BY BLASTING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVALS AND PERMITS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
3. ALL BLASTING OPERATIONS WILL ADHERE TO NEW YORK STATE AND LOCAL AUTHORITY ORDINANCES GOVERNING THE USE OF EXPLOSIVES. THE STATE REGULATIONS ARE CONTAINED IN 12 NYCRR 39 AND INDUSTRIAL CODE RULE 753.
4. STRIP ALL TOPSOIL PRIOR TO COMMENCING EARTHWORK OPERATIONS. TOPSOIL MAY BE STORED AND REUSED IN LAWN AND PLANTING AREAS ONLY. TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION THAT ARE TO REMAIN GREEN.
5. BOX ALL TREES AND HOUSE ALL SHRUBS AND HEDGES BEFORE PLACING EARTH AGAINST OR NEAR THEM. ORNAMENTAL TREES, SHRUBS AND HEDGES WHICH MUST BE REMOVED DURING CONSTRUCTION SHALL BE HEALED IN AND RE-PLANTED IN AS GOOD A CONDITION AS THEY WERE BEFORE THEIR REMOVAL. ANY DAMAGED TREES, SHRUBS, AND/OR HEDGES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
6. ALL EARTHWORK SHALL BE SMOOTHLY AND EVENLY BLENDED INTO EXISTING CONDITIONS. NO WORK, STORAGE, OR TRESPASS SHALL BE PERMITTED BEYOND THE BOUNDARIES OF ANY EASEMENT OR PROPERTY LINE.
7. REMOVE ALL VEGETATION, TREES, STUMPS, GRASSES, ORGANIC SOILS, DEBRIS AND DELETERIOUS MATERIALS WITHIN THE AREAS SLATED FOR CONSTRUCTION.
8. IF PREVIOUSLY UNKNOWN CULTURAL ARCHEOLOGICAL, OR HISTORIC REMAINS OR ARTIFACTS ARE DISCOVERED IN THE COURSE OF CONSTRUCTION OF THIS PROJECT, THE PROJECT SPONSORS SHALL SUSPEND CONSTRUCTION OPERATIONS IN THE PERTINENT AREA AND SHALL NOTIFY THE PROJECT ENGINEER.

DEMOLITION NOTES:

1. REFER TO REQUIREMENTS OUTLINED IN THE EROSION & SEDIMENTS CONTROL PLANS & NOTICES PRIOR TO COMMENCEMENT OF WORK.
2. EXISTING STRUCTURES ARE TO BE REMOVED PRIOR TO CONSTRUCTION OF NEW IMPROVEMENTS.
3. BUILDING(S)/STRUCTURE(S) TO BE DEMOLISHED ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE NOT TO BE DEMOLISHED AS PART OF THIS WORK. PRIOR TO DEMOLISHING ANY BUILDINGS/STRUCTURES, THE CONTRACTOR SHALL PERFORM A PRE-DEMOLITION SURVEY IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS GOVERNING THE DISPOSAL OF SOLID WASTE. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS BY THE AUTHORITY HAVING JURISDICTION.
4. CONFORM TO APPLICABLE CODE FOR DEMOLITION OF STRUCTURES, SAFETY OF ADJACENT STRUCTURES, DUST CONTROL RUNOFF CONTROL, AND HAULING, DISPOSAL AND STORAGE OF DEBRIS.
5. PROVIDE, ERECT, AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES.
6. MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS. DO NOT INTERRUPT EXISTING UTILITIES SERVING OPERATING FACILITIES. EXCEPT WHEN AUTHORIZED IN WRITING BY OWNER AND AUTHORITIES HAVING JURISDICTION.
7. NOTIFY ADJACENT OWNERS OF WORK THAT MAY AFFECT THEIR PROPERTY, POTENTIAL NOISE, UTILITY OUTAGE, OR DISRUPTION. COORDINATE WITH OWNER.
8. PREVENT MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES. PROVIDE BRACING AND SHORING.
9. LOCATE AND IDENTIFY ALL EXISTING UTILITIES WITHIN THE CONSTRUCTION AREA. DISCONNECT AND SEAL OR CAP OFF UTILITY SERVICES THAT WILL BE AFFECTED BY THIS PROJECT. NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS. VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED.
10. DEMOLISH AND REMOVE COMPONENTS IN AN ORDERLY AND CAREFUL MANNER.
11. PROTECT EXISTING FEATURES THAT ARE NOT TO BE DEMOLISHED.
12. CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESSES.
13. MAINTAIN EGRESS AND ACCESS AT ALL TIMES. DO NOT CLOSE OR OBSTRUCT ROADWAYS, OR SIDEWALKS WITHOUT PERMITS. COORDINATE WITH AUTHORITY HAVING JURISDICTION.
14. CEASE OPERATIONS IMMEDIATELY IF ADJACENT STRUCTURES APPEAR TO BE IN DANGER. NOTIFY AUTHORITY HAVING JURISDICTION.
15. ROUGH GRADE AND COMPACT AREAS AFFECTED BY DEMOLITION TO MAINTAIN SITE GRADES AND CONTOURS.
16. FIELD VERIFY EXISTING CONDITIONS AND CORRELATE WITH REQUIREMENTS INDICATED ON DEMOLITION PLAN TO DETERMINE EXTENT OF SELECTIVE DEMOLITION REQUIRED.
17. CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH SELECTIVE DEMOLITION OPERATIONS.
18. CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND SELECTIVE DEMOLITION AREA.
19. USE WATER MIST, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS TO LIMIT THE SPREAD OF DUST AND DIRT. COMPLY WITH GOVERNING ENVIRONMENTAL PROTECTION REGULATIONS. DO NOT USE WATER WHEN IT MAY DAMAGE EXISTING CONSTRUCTION, SUCH AS CAUSING ICING, FLOODING, AND TRANSPORTING POLLUTANTS.
20. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.
21. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE START OF SELECTIVE DEMOLITION.
22. PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. ALL DEBRIS RESULTING FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE AT A FACILITY APPROVED TO RECEIVE THE DEBRIS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE. DO NOT BURN DEMOLISHED MATERIALS ON-SITE.

GENERAL CONSTRUCTION:

1. THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE ENGINEER OR OWNER, SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AND UNDER THE SUPERVISION OF A NEW YORK STATE LICENSED LAND SURVEYOR.
2. ALL PAVEMENT RESTORATION SHALL MEET AND MATCH EXISTING GRADES.
3. ALL SAWCUT LINES SHALL BE PARALLEL AND CURVILINEAR TO EXISTING OR PROPOSED CURBING AND SHALL BE A CONSTANT DISTANCE OF 18" MIN AWAY.
4. ALL ARCHITECTURE IS SUBJECT TO PLANNING BOARD REVIEW.
5. NOTIFY ENGINEER 48 HOURS PRIOR TO INITIALIZATION OF ANY WORK ON SITE.
6. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT PRIOR REVIEW FROM THE ENGINEER.
7. CONTRACTOR IS RESPONSIBLE FOR EMPLOYING AND MAINTAINING ALL TRAFFIC CONTROL AND SAFETY MEASURES DURING CONSTRUCTION.
8. CONTRACTOR IS RESPONSIBLE FOR PROPERLY & SAFELY MAINTAINING AREA BETWEEN ALL ADJOINING PROPERTIES.
9. NO WORK, STORAGE OR TRESPASS SHALL BE PERMITTED BEYOND THE SITE PROPERTY LINES OR PUBLIC RIGHT-OF-WAY.
10. ALL EXISTING LAWN AREA, CURBING, PAVING, SIDEWALKS, CULVERTS OR OTHER PUBLIC OR PRIVATE PROPERTY DAMAGED BY TRENCHING OR EXCAVATION OPERATIONS SHALL BE REPLACED OR REPAIRED TO A CONDITION EQUAL TO EXISTING, AS DESCRIBED IN CONTRACT DOCUMENTS OR AS ORDERED BY ENGINEER (AOBE). MAILBOXES, SIGN POSTS, ETC. SHALL BE PROTECTED OR REMOVED AND REPLACED EXACTLY AS THEY WERE BEFORE BEING DISTURBED. REMOVE AND REPLACE AFFECTED CURBING AND SIDEWALK TO NEAREST JOINT. REMOVE PAVEMENT AND REPLACE TO SAW CUT LINE. SAW CUT IN STRAIGHT LINE TO POINT NEEDED TO BLEND GRADE. REMOVE LAWN AND REPLACE TO MINIMUM LIMIT OF EXCAVATION.
11. NO SITE PREPARATION OR CONSTRUCTION SHALL COMMENCE UNTIL ALL REQUIRED PERMITTING AND APPROVALS HAVE BEEN OBTAINED.
12. MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:

- A. NEW YORK STATE DEPARTMENT OF TRANSPORTATION " STANDARD SPECIFICATIONS", 2008, AS SUPPLEMENTED.
- B. CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.
- C. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- D. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.

PAVING:

1. NO VEHICULAR TRAFFIC OF ANY SORT SHALL BE PERMITTED ON THE SURFACE OF SUBBASE COURSE MATERIAL ONCE IT HAS BEEN FINE GRADED, COMPACTED, AND READY FOR PAVING. SUBBASE MATERIAL SO PREPARED FOR PAVING SHALL BE PAVED WITHIN THREE DAYS OF PREPARATION.
2. SUBBASE MATERIAL AND THE VARIOUS ASPHALT CONCRETE MATERIALS CALLED FOR IN THESE DRAWINGS SHALL CONFORM WITH THE REFERENCED SECTION OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED MAY 1, 2008. CONSTRUCTION SHALL BE AS FURTHER SET FORTH IN THOSE SPECIFICATIONS AND AS OTHERWISE PROVIDED FOR IN THESE DRAWINGS.
3. PLACE ASPHALT CONCRETE MIXTURE ON PREPARED SURFACE, SPREAD AND STRIKE-OFF USING A SELF-PROPELLED PAVING MACHINE WITH VIBRATING SCREED. PLACEMENT IN INACCESSIBLE AND SMALL AREAS MAY BE BY HAND.
4. PROVIDE JOINTS BETWEEN OLD AND NEW PAVEMENTS OR BETWEEN SUCCESSIVE DAYS WORK.
5. TACK COAT MEANS SPECIFIED OR CALLED OUT ON THE DRAWINGS OR REQUIRED BY THE REFERENCED SPECIFICATION SHALL CONFORM WITH THE FOLLOWING:
  - A. TACK COAT SHALL MEET THE MATERIAL REQUIREMENTS OF 702-90 ASPHALT EMULSION FOR TACK COAT OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED MAY 1, 2008, SHALL BE APPLIED IN ACCORDANCE WITH SECTION 407 - TACK COAT SHALL BE IN ACCORDANCE WITH THOSE SPECIFICATIONS AND AS OTHERWISE PROVIDED FOR IN THESE DRAWINGS.
  - B. REMOVE LOOSE AND FOREIGN MATERIAL FROM ASPHALT SURFACE BEFORE PAVING NEXT COURSE. USE POWER BROOMS, BLOWERS OR HAND BROOM.
  - C. APPLY TACK COAT TO ASPHALT PAVEMENT SURFACES & SURFACES OF CURBS, GUTTERS, MANHOLES, AND OTHER STRUCTURES PROJECTING INTO OR ABUTTING PAVEMENT. DRY TO A "TACKY" CONSISTENCY BEFORE PAVING.
  - D. TACK COAT ENTIRE VERTICAL SURFACE OF ABUTTING EXISTING PAVEMENT.
6. AFTER COMPLETION OF PAVING AND SURFACING OPERATIONS, CLEAN SURFACES OF EXCESS OR SPILLED ASPHALT, GRAVEL OR STONE MATERIALS TO THE SATISFACTION OF THE ENGINEER.
7. ALL CURBING SHALL BE CONCRETE.

STRIPING:

1. STRIPE PAVEMENT AS INDICATED ON THE PLANS AND/OR IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS.
2. COLOR: DRIVE LANE DIVIDERS-WHITE OR AOBE NO PARKING ZONE WARNINGS-WHITE OR AOBE PARKING DIVIDERS-WHITE OR AOBE WALKING LINES-WHITE OR AOBE HANDICAP PARKING LINES & SYMBOL-BLUE.

SITE PLAN MAP NOTES:

1. NO BUILDING PERMIT FOR A BUILDING SUBJECT TO SITE PLAN APPROVAL SHALL BE ISSUED BY THE BUILDING INSPECTOR EXCEPT UPON AUTHORIZATION OF AND IN CONFORMITY WITH THE SITE PLAN APPROVED BY THE PLANNING BOARD.
2. ALL TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

UTILITY PLAN NOTES:

1. ALL UNDERGROUND UTILITIES ARE SHOWN IN THEIR RELATIVE POSITION AND ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY THEIR ACTUAL LOCATION IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
2. ANY CONDITION ENCOUNTERED IN THE FIELD DIFFERING FROM THOSE SHOWN HEREON, SHALL BE REPORTED TO THE DESIGN ENGINEER BEFORE CONSTRUCTION IS TO PROCEED.
3. SEWER MAINS IN RELATION TO WATER MAINS: WHERE POSSIBLE, SEWERS SHALL BE LAID AT LEAST 10 (TEN) FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. VERTICAL SEPARATION SHALL BE MAINTAINED TO PROVIDE 18 (EIGHTEEN) INCHES BETWEEN TOP OF SEWER AND BOTTOM OF THE WATER MAIN AT UTILITY CROSSINGS. WHEN NOT POSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION, SEWER PIPE SHALL BE PRESSURE RATED AND TESTED @ 150psi, 10 (TEN) FEET ON EACH SIDE OF THE WATER MAIN BEING CROSSED.
4. ALL PROPOSED UTILITIES SHALL BE COORDINATED WITH BUILDING PLANS FOR ANY CONNECTIONS.
5. ALL STORM SEWER SHALL BE SMOOTH INTERIOR HDPE UNLESS OTHERWISE SPECIFIED.
6. ALL GRAVITY SANITARY SEWER SHALL BE SDP 35 PVC, CONFORMING TO ASTM SPECIFICATION D-3034. MINIMUM PIPE STIFFNESS (F/Y) AT 5% DEFLECTION SHALL BE 46 PSI WHEN TESTED IN ACCORDANCE WITH ASTM SPECIFICATION D-2412. ALL JOINTS AND CONNECTIONS SHALL BE MADE WATERTIGHT.
7. CONTRACTOR TO VERIFY STATUS OF ALL UTILITY SERVICES PRIOR TO INTERRUPTION.
8. EXPLORATORY EXCAVATIONS SHALL BE PERFORMED BY THE CONTRACTOR AT ALL UTILITY CONNECTION LOCATIONS AND AS NEEDED TO VERIFY EXISTING CONDITIONS PRIOR TO PERFORMING WORK.
9. BEFORE CONSTRUCTING LINES TO CONNECT TO EXISTING UTILITIES, VERIFY EXISTING UTILITY INVERTS AND NOTIFY THE ENGINEER IF ANY VARIATION FROM THE PLAN IS REQUIRED.
10. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES IN SERVICE FOR THE DURATION OF THE WORK.
11. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIRED PERMITS AND ASSOCIATED CONDITIONS.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING UTILITY TRENCHES AND EXCAVATIONS AND FOR THE MAINTENANCE OF SURFACE DRAINAGE DURING THE COURSE OF THE WORK.
13. ALL PROPOSED UTILITIES SHALL TERMINATE 5 FEET FROM ANY PROPOSED BUILDING FACE. CONTRACTOR TO COORDINATE WITH BUILDING PLANS FOR ANY CONNECTIONS.
14. A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER SHALL INSPECT THE SANITARY FACILITIES (WATER DISTRIBUTION, ANY WATER TREATMENT, AND SEWAGE FACILITIES) AT THE TIME OF CONSTRUCTION. PRIOR TO OCCUPANCY OF THE DWELLING(S), THE ENGINEER SHALL CERTIFY TO THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS.
16. TELEPHONE, ELECTRIC, AND GAS LINES SHALL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS SHALL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT TOP COURSE.

GENERAL NOTES:

1. UNDERGROUND FACILITIES AND STRUCTURES SHOWN HEREON WERE TAKEN FROM DATA OBTAINED FROM THIS OTHER WORK AND SHALL BE SHOWN AS ABOVE GROUND STRUCTURES AND SURFACE FEATURES SHOWN HEREON ARE THE RESULT OF A FIELD SURVEY UNLESS OTHERWISE NOTED. THERE MAY BE OTHER UNDERGROUND UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN OR CERTIFIED BY THE UNDERSIGNED. SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES. THE UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION MUST BE NOTIFIED PRIOR TO CONDUCTING TEST BORINGS, EXCAVATION AND CONSTRUCTION.
2. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
3. CONTRACTOR SHALL FIELD VERIFY EXISTING GRADES, EXISTING STRUCTURE LOCATIONS AND OTHER EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE FOR FURTHER RESOLUTION. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
4. THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE FACT THAT OTHER CONTRACTORS MAY BE WORKING IN THE AREA ON OTHER CONSTRUCTION AT THE SAME TIME THAT WORK IS PERFORMED UNDER THIS CONTRACT. THE CONTRACTOR SHALL BE AWARE OF THE NATURE AND EXTENT OF THIS OTHER WORK AND SHALL SCHEDULE AND CONDUCT HIS OWN OPERATION SO THAT THERE WILL BE NO CONFLICT IN OPERATIONS.
5. SINCE THIS PROJECT INVOLVES CONSTRUCTION WITHIN AN ACTIVE ROADWAY, IT IS IMPERATIVE THAT THE CONSTRUCTION BE CARRIED FORTH IN SUCH A MANNER AS TO INSURE THAT PROPER TRAFFIC FLOW IS MAINTAINED DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE MAINTENANCE AND PROTECTION OF TRAFFIC IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND STANDARD SPECIFICATIONS.
6. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS AND SHALL BE RESPONSIBLE FOR FIELD FIT FINISH AND QUALITY OF WORK AND MATERIALS USED IN THE CONSTRUCTION. NO ALLOWANCE SHALL BE MADE ON BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS PART.
7. THE CONTRACTOR IS RESPONSIBLE FOR THE REPLACEMENT AND RESTORATION OF ALL NATURAL AND MANMADE FEATURES WHETHER SHOWN ON THE PLANS OR ENCOUNTERED IN THE FIELD. IT IS THE INTENTION OF THE PLANS TO SHOW ONLY MAJOR FEATURES TO BE PROTECTED, RESTORED OR REPLACED.
8. PROTECTION AND RESTORATION OF PROPERTY SHALL BE IN ACCORDANCE WITH THE NYSDOT STANDARD SPECIFICATIONS.
9. TOPSOIL SHALL BE PLACED AND AREAS SHALL BE SEEDED AS SOON AS FINAL GRADES ARE ESTABLISHED ON PERMANENT SLOPES. SLOPES SHALL ALSO BE MULCHED.
10. THE CONTRACTOR SHALL CONTACT ALL THE APPROPRIATE PARTIES WITH JURISDICTION OVER THE UTILITIES ENTERING ON OR NEAR THE PROJECT AREA PRIOR TO INITIATION OF CONSTRUCTION ACTIVITIES AND PROVIDE THOSE AGENCIES 72 HOURS NOTIFICATION.
11. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ANY SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION. IN SO FAR AS THEY MAY BE ENDANGERED BY HIS OPERATIONS, THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES NOT SHOWN ON THE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONTINUALLY PROCEED WITH CAUTION TO PREVENT UNDUE INTERRUPTION TO UTILITY SERVICES.
12. IF TEMPORARY UTILITY SERVICES ARE REQUIRED, THE CONTRACTOR SHALL SEE TO IT THAT THEY ARE PROVIDED, AT NO ADDITIONAL COST TO THE OWNER, AND IT SHALL BE HIS RESPONSIBILITY TO MAINTAIN SUCH TEMPORARY FACILITIES FOR THE DURATION OF THE PROJECT AS NECESSARY.
13. ALL EPOXY PAVEMENT MARKINGS AND ALL SIGNS SHALL BE IN CONFORMANCE WITH THE NYSDOT MUTCD.
14. ALL SIGNING WILL BE IN ACCORDANCE WITH THE NATIONAL MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES WITH NYS SUPPLEMENT, MOST RECENT VERSION.
15. PRIOR TO LEAVING THE WORK SITE EACH DAY, THE CONTRACTOR SHALL REMOVE OR PROTECT ANY PART OF THE WORK SITE THAT IS CONSIDERED HAZARDOUS TO THE TRAVELING PUBLIC, BY THE VILLAGE ENGINEER OR POLICE DEPARTMENT.
16. DURING ALL CONSTRUCTION OPERATIONS THE CONTRACTOR SHALL MAINTAIN ACCESS TO EACH ADJACENT SITE. IF CONDITIONS REQUIRE THAT ACCESS BE TEMPORARILY CLOSED, THE CONTRACTOR SHALL NOTIFY THE OWNER AT LEAST 24 HOURS IN ADVANCE. ALL ACCESS DRIVES WILL BE OPEN FOR SAFE USE AT THE END OF EACH WORK DAY.
17. AREAS DISTURBED NOT RECEIVING PAVEMENT OR CONCRETE SHALL BE TOPSOILED, SEEDED, AND MULCHED IN ACCORDANCE WITH SPECIFICATIONS ON ATTACHED SHEETS.
18. THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
22. ARDEN CONSULTING ENGINEERS, PLLC WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWING, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ARDEN CONSULTING ENGINEERS, PLLC SHOP DRAWING REVIEW SHALL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT ARDEN CONSULTING ENGINEERS, PLLC HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. ARDEN CONSULTING ENGINEERS, PLLC WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. ARDEN CONSULTING ENGINEERS, PLLC WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OF CORRELATED ITEMS NOT RECEIVED.
23. NEITHER THE PROFESSIONAL ACTIVITIES OF ARDEN CONSULTING ENGINEERS, PLLC, NOR THE PRESENCE OF ARDEN CONSULTING ENGINEERS, PLLC OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF HIS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TESTING OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. ARDEN CONSULTING ENGINEERS, PLLC AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. ARDEN CONSULTING ENGINEERS, PLLC SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
24. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE DESIGN ENGINEER AND MUNICIPAL BUILDING DEPARTMENT AND/OR MUNICIPAL ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENAL TIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER, ENGINEER, AND MUNICIPALITY HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
28. THESE NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

LAYOUT:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL FIELD LAYOUT. THE CONTRACTOR SHALL TAKE TIES TO ALL UTILITY CONNECTIONS AND PROVIDE MARK-UP AS BUILT PLANS FOR ALL UTILITIES SHOWING TIES TO CONNECTIONS, BENDS, VALVES, LENGTHS OF LINES AND INVERTS. AS-BUILT PLANS SHALL BE REVIEWED BY THE OWNER AND THE ENGINEER AND THE CONTRACTOR SHALL PROVIDE ANY CORRECTION OR ADDITIONS TO THE SATISFACTION OF THE OWNER OR THE ENGINEER BEFORE UTILITIES WILL BE ACCEPTED.
2. THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY MONUMENTATION, ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE ENGINEER OR OWNER, SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AND UNDER THE SUPERVISION OF A NEW YORK STATE LICENSED LAND SURVEYOR.
3. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT PRIOR REVIEW BY THE ENGINEER.
4. BUILDING DIMENSIONS TO BE TAKEN FROM ARCHITECTURAL BUILDING PLANS. NOTIFY THE ENGINEER OF ANY DEVIATION FROM CONDITIONS SHOWN ON THIS PLAN.
5. ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.

TRENCHING & INSTALLATION NOTES:

1. ALL AREAS DISTURBED DURING TRENCHING AND WORK OPERATIONS MUST BE STABILIZED WITHIN 14 DAYS.
2. ALL TRENCHING IN PAVEMENT SHOULD BE SAW-CUT PRIOR TO TRENCHING. PAVEMENT RESTORATIONS MAY REQUIRE ADDITIONAL CUTBACKS AFTER TRENCHING OPERATIONS HAVE BEEN COMPLETED.
3. ALL PAVED AREAS MUST BE RESTORED WITH A MINIMUM OF 4" TEMPORARY PAVING AT THE CLOSE OF EACH DAY'S WORK OPERATIONS.
4. PERMANENT PAVING MUST BE COMPLETED AT AMBIENT TEMPERATURES OF 40 DEGREES AND RISING. ANY PAVING OPERATIONS COMPLETED BELOW 40 DEGREES SHALL BE CONSIDERED TEMPORARY.
5. ALL SIGNS REMOVED FOR CONSTRUCTION MUST BE RESET USING TYPE A POSTS.

ROCK REMOVAL NOTES:

1. ALL RECOMMENDED SAFETY REQUIREMENTS AND STANDARDS REFERENCED AND ANY LOCAL RESTRICTIONS SHALL BE APPLIED AS REQUIRED FOR SAFETY, SECURITY, AND SPECIFICALLY RELATED DETAILS FOR BLASTING PROCEDURES, AT ALL TIMES. FEDERAL, STATE, AND LOCAL LAWS AND ORDINANCES WILL BE FOLLOWED CONCERNING THE TRANSPORTATION AND STORAGE OF EXPLOSIVES.
2. A MINIMUM OF FOUR (4) WEEKS PRIOR TO COMMENCEMENT OF THE INITIAL BLASTING OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AGENCIES AS APPROPRIATE: POLICE AGENCIES, GAS AND ELECTRIC SERVICE COMPANIES, TELEPHONE AND CABLE OPERATING COMPANIES, TOWN WATER AND SEWER DEPARTMENTS, NYSDOT, AND LOCAL FIRE, RESCUE, AND AMBULANCE SERVICES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE RESULTING FROM THE USE OF EXPLOSIVES. EXPLOSIVES SHALL BE STORED IN A SECURE MANNER IN COMPLIANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND ORDINANCES.
4. THE CONTRACTOR SHALL NOTIFY EACH PROPERTY AND UTILITY OWNER HAVING A BUILDING, STRUCTURE, OR OTHER INSTALLATION ABOVE OR BELOW GROUND IN PROXIMITY TO THE SITE OF THE WORK OF HIS INTENTION TO USE EXPLOSIVES. NOTICE SHALL BE GIVEN SUFFICIENTLY IN ADVANCE TO ENABLE THE OWNERS TO TAKE STEPS TO PROTECT THEIR PROPERTY. NOTICE SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR DAMAGE RESULTING FROM HIS BLASTING OPERATIONS.
5. THE CONTRACTOR SHALL SCHEDULE AND CONDUCT PRE-BLAST SURVEYS WITH PROPERTY OWNERS LOCATED IN THE AREA POTENTIALLY AFFECTED BY AIRBLAST OVERPRESSURE AND GROUND VIBRATION OR AS REQUIRED.
6. THE CONTRACTOR SHALL IMPLEMENT ENGINEERING MEASURES IN ORDER TO MINIMIZE THE POTENTIAL IMPACTS OF DUST, NOISE AND GROUND VIBRATION. BLAST VIBRATION CONTROL WILL BE ACHIEVED BY LIMITING THE CHARGE PER DELAY SO THAT THE PEAK PARTICLE VELOCITY REMAINS BELOW THE SPECIFIED LEVELS.
7. AN APPROPRIATELY QUALIFIED, LICENSED BLASTING SPECIALIST, WITH EXPERIENCE SHALL BE ONSITE AND SUPERVISE BLASTING OPERATIONS. AT ALL TIMES, THE BLASTING AREA SHALL BE RESTRICTED TO BLASTING OPERATIONS AND AUTHORIZED PERSONNEL ONLY.
8. PROTECTIVE MEASURES INCLUDING INSTALLATION OF SIGNAGE, NOTIFICATION OF NEARBY RESIDENTS, TRAFFIC CONTROL, AS NECESSARY ALONG NEARBY ROADS, AUDIBLE PRE-BLAST WARNINGS, AND USE OF BLAST MATS SHALL BE IMPLEMENTED.
9. DELIVERY AND TRANSPORT OF EXPLOSIVES FROM THE POWDER MAGAZINES TO THE BLAST AREA WILL BE BY VEHICLES SPECIFICALLY DESIGNED FOR THIS USE BY THE CRITERIA OUTLINED IN THE SAFETY REQUIREMENTS. ONLY AUTHORIZED PERSONS WILL TRANSPORT AND HANDLE THE EXPLOSIVES AS DESIGNATED BY THE ISSUING AUTHORITY OF THOSE LICENSES FOR THIS PURPOSE.
10. MONITORING OF PEAK PARTICLE VELOCITY (INCHES/SECOND) AND PEAK AIRBLAST OVERPRESSURE (PSI) SHALL BE PERFORMED DURING ALL BLASTS.

SPECIAL NOTES:

1. MAINTENANCE AND PROTECTION OF TRAFFIC IS THE RESPONSIBILITY OF THE PERMITTEE: ANY SUBCONTRACTORS WORKING FOR THE PERMITTEE MUST HAVE A COPY OF THE HIGHWAY RIGHT-OF-WAY WORK PERMIT ON THE SITE AND MUST BE FAMILIAR WITH THE TRAFFIC CONTROL REQUIREMENTS. IT IS STRONGLY ADVISED THAT A "TAILGATE" SAFETY MEETING WITH EACH WORK CREW BE INITIATED BEFORE THE START OF WORK.
2. TRAFFIC CONTROL SCHEMES MUST BE IN PLACE, AND MAINTAINED, THROUGHOUT THE DURATION OF WORK.
3. ALL MAINTENANCE AND PROTECTION OF TRAFFIC TO BE IN ACCORDANCE WITH THE NATIONAL MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND THE NYS SUPPLEMENT.
4. ANYONE WORKING WITHIN THE HIGHWAY RIGHT-OF-WAY SHALL WEAR HIGH-VISIBILITY APPAREL MEETING THE ANSI 107-2004 CLASS II STANDARDS AND A HARD HAT.
5. AT THE START OF WORK ON THE PROJECT, ALL WORK ZONE TRAFFIC CONTROL DEVICES SHALL APPEAR IN "ACCEPTABLE" CONDITION. THESE DEVICES SHALL NOT BE ALLOWED TO FALL BELOW THE "MARGINAL" CONDITION AT ANY TIME DURING THE LIFE OF THE PROJECT. FADED AND DETERIORATED PANELS AND NON-STANDARD LEGENDS ARE NOT ACCEPTABLE.
6. FLAGGER SIGNS ARE TO BE USED ONLY WHEN A FLAGGER IS ACTUALLY PRESENT AND VISIBLE TO THE MOTORIST. THEY SHALL BE COVERED OR REMOVED AT ALL OTHER TIMES. STOP/SLOW PADDLES ARE REQUIRED.
7. NO LOW-MOUNTED SIGNS SHALL BE PERMITTED, EXCEPT FOR FLEXIBLE PANELS MEETING THE CURRENT SPECIFICATION REQUIREMENTS.

WINTER WORK:

SNOW PLOWING REQUIREMENTS:

- DUE TO POSSIBLE SNOW FALL AND HENCE SNOW PLOWING OPERATIONS, ANY STEEL PLATES USED TO COVER AN EXCAVATION SHALL BE:
1. RECESSED INTO THE PAVEMENT AND PINNED.
  - OR
  2. PINNED WITH ASPHALT RAMPS PLACED ALONG ALL EDGES. RAMPS SHALL BE SLOPED AT 1 INCH RISE PER 6 FEET RUN MAXIMUM. "RAISE PLOW" SIGNS SUPPLEMENTED WITH TYPE A FLASHING LIGHTS MUST BE ERECTED AN APPROPRIATE DISTANCE BEFORE THE EXCAVATION; SIGNS AND LIGHTS MUST MEET NYSDOT MUTCD SPECIFICATIONS.

WINTER TIME FATHWORK REQUIREMENTS:

- ALL PERMIT WORK UNDER CONSTRUCTION BETWEEN THE DATES OF NOVEMBER 1 THROUGH MAY 1 SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
1. GRANULAR OR OTHER FROST SUSCEPTIBLE MATERIAL SHALL NOT BE PLACED WHEN THE TEMPERATURE IS BELOW 32 DEGREES FAHRENHEIT.
  2. FROZEN MATERIAL SHALL NOT BE INCORPORATED INTO EMBANKMENTS OR BACKFILLS.
  3. MATERIAL SHALL NOT BE PLACED ON FROZEN GROUND.
  4. THE MATERIAL SHALL BE COMPACTED IN ACCORDANCE WITH HIGHWAY DESIGN MANUAL CHAPTER 13 APPENDIX 13C REQUIREMENTS FOR NEW DESIGN AND CONSTRUCTION OF UNDERGROUND UTILITY INSTALLATIONS WITHIN THE STATE HIGHWAY RIGHT-OF-WAY. LATEST REVISION AND/OR 004-015 (ENGINEERING INSTRUCTION).
  5. ANY SPECIAL CONDITIONS AND RESTRICTIONS AS MAY BE IMPOSED BY THE DESIGN ENGINEER OR THE VILLAGE ENGINEER.

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		OCDPW TRAFFIC PROTECTION & SPECIFICATIONS	
MICHAEL A. MORGANTE, P.E. LIC. NO. 78577			

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