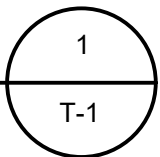


REFERENCE: ORANGE COUNTY GIS (GEOGRAPHICAL INFORMATION SYSTEMS)

VICINITY MAP

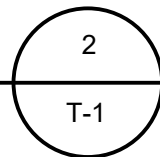
SCALE: 1" = 1,000'



REFERENCE: GOOGLE EARTH (IMAGERY DATE 9/18/2019)

AERIAL MAP

SCALE: NTS



SITE PLAN FOR TRADE TRANS CORPORATION 173 BLACK MEADOW ROAD SECTION 6 BLOCK 1 LOT 106 TOWN OF CHESTER ORANGE COUNTY, N.Y.

PROJECT INFORMATION

OWNER OF RECORD	KIPS BAY HOLDINGS OF WARWICK, LLC.
ZONING	IP (INDUSTRIAL PARK DISTRICT)
TAX ID	SECTION 06
	BLOCK 01
	LOT 106
TOTAL LOT AREA	418,612 S.F. / 9.61± ACRES

THIS PLAN CONTAINS 10 SHEETS. THIS SHEET SHALL NOT BE CONSIDERED VALID UNLESS ACCOMPANIED BY THE REMAINING SHEETS.

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DRAWING LIST

T-1	TITLE SHEET
S-1	EXISTING CONDITIONS
S-2	SITE PLAN
S-3	GRADING & UTILITIES PLAN
S-4	STORMWATER DETAILS
S-5	LIGHTING & LANDSCAPING PLAN
S-6	EROSION & SEDIMENTATION CONTROL PLAN
S-7	EROSION & SEDIMENTATION CONTROL PLAN DETAILS
S-8	SEPTIC DETAILS
S-9	CONSTRUCTION DETAILS

REVISIONS				
DWN BY	REV	DESCRIPTION	DATE	APPROVED
DO	0	FOR APPROVAL	08/10/22	
DO	1	REVISED PER TOWN COMMENT	11/23/22	



JOHN D. FULLER
REG. NO. 077703

TOWN OF CHESTER
PLANNING BOARD APPROVAL

JOHN D. FULLER, P.E., P.C. 4 SOUTH STREET
PORT JERVIS, NY 12771
(845) 856-1536

SITE PLAN FOR
TRADE TRANS CORPORATION
173 BLACK MEADOW ROAD
SECTION 6 BLOCK 1 LOT 106
TOWN OF CHESTER, NY

DWG TITLE

TITLE SHEET

DWG NO.

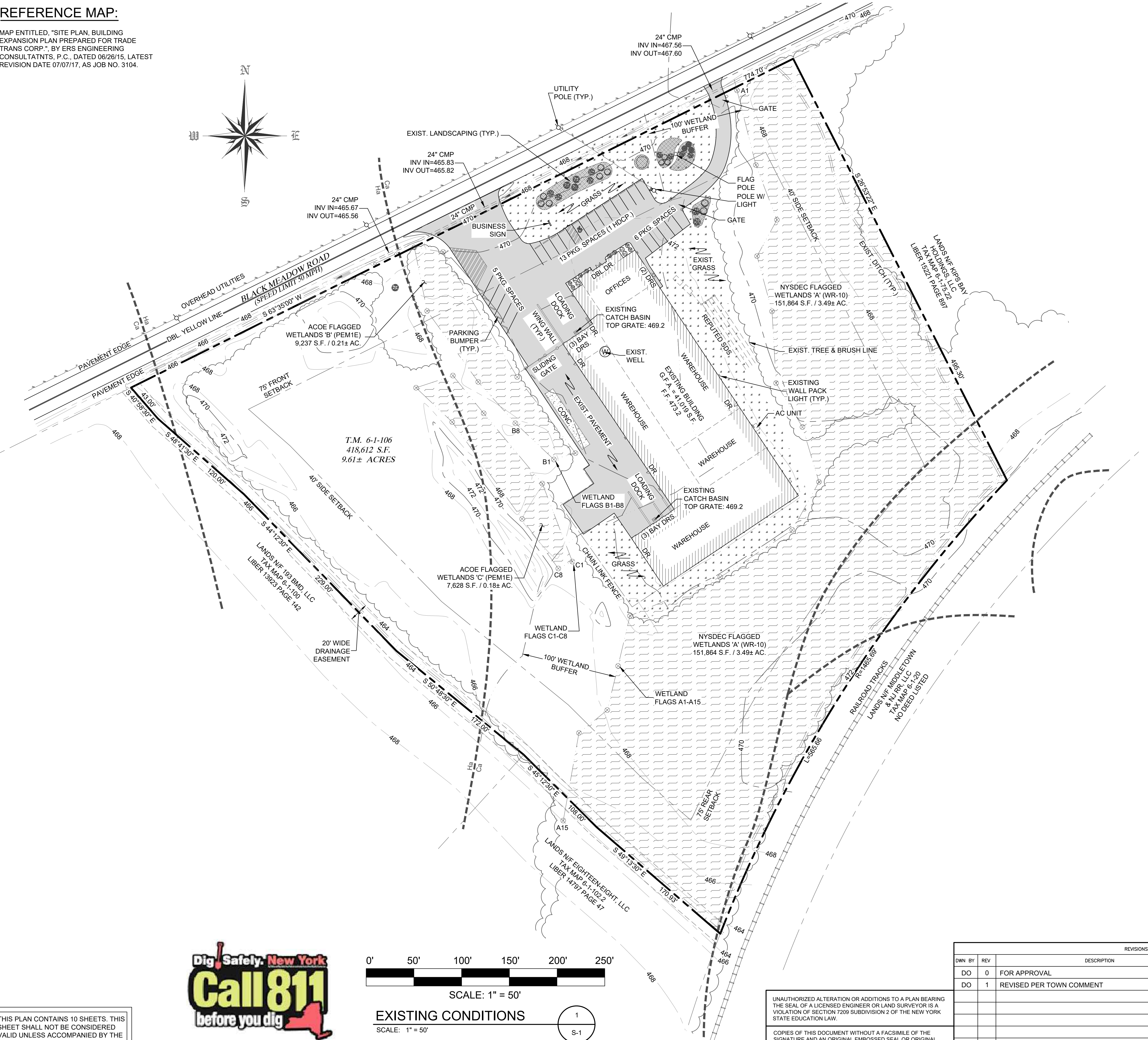
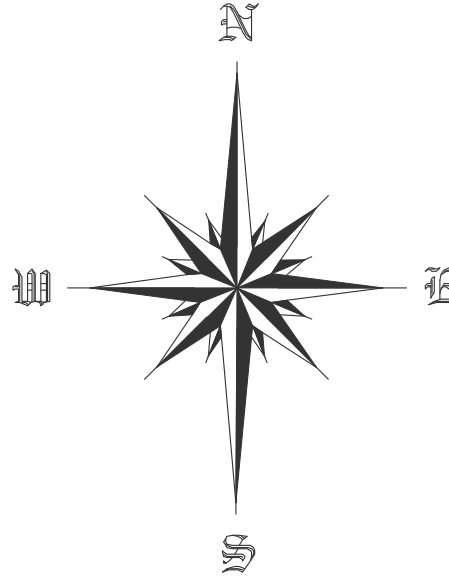
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SCALE AS NOTED

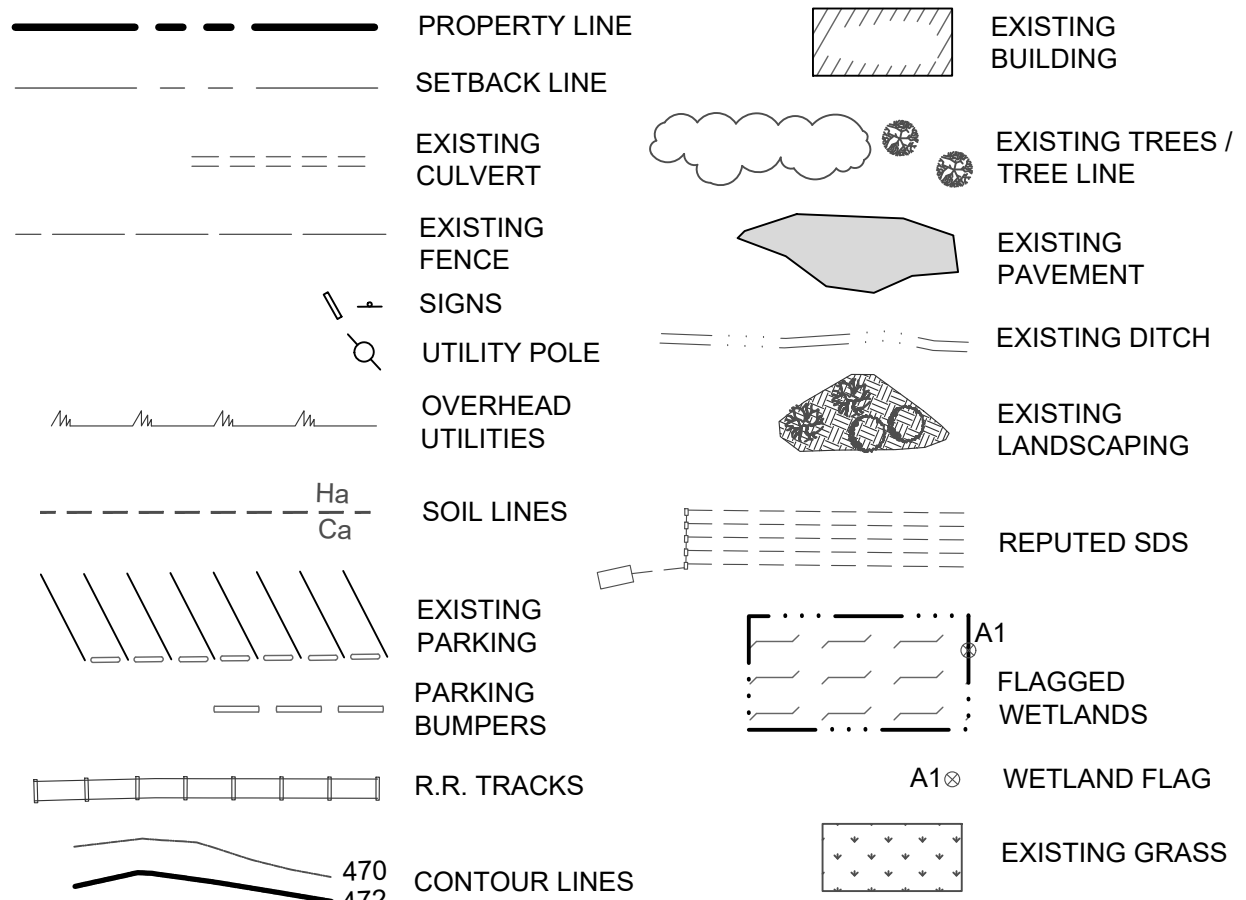
JOB NO. 1713.003

REFERENCE MAP:

MAP ENTITLED, "SITE PLAN, BUILDING EXPANSION PLAN PREPARED FOR TRADE TRANS CORP.", BY ERS ENGINEERING CONSULTANTS, P.C., DATED 06/26/15, LATEST REVISION DATE 07/07/17, AS JOB NO. 3104.



LEGEND



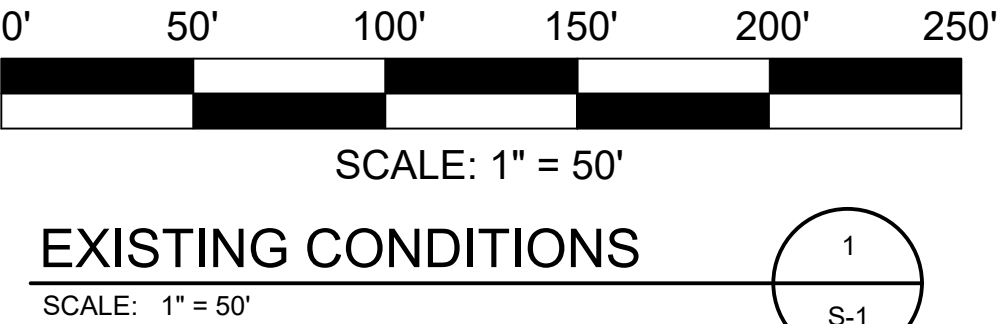
GENERAL NOTES

- OWNER OF RECORD / APPLICANT:
KIPS BAY HOLDINGS OF WARWICK, LLC
173 BLACK MEADOW ROAD
CHESTER, NY 10918
- TAX MAP DESIGNATION: SECTION 6 BLOCK 1 LOT 106
- PARCEL ZONED: IP (INDUSTRIAL PARK DISTRICT)
- TOTAL AREA: 418,612 S.F. / 9.61± ACRES
- THE ENTIRE SITE IS LOCATED WITHIN FLOOD ZONE AE.
- EXISTING USE: WAREHOUSE / WHOLESALE

BULK TABLE REQUIREMENTS:

ZONED DISTRICT: IP (INDUSTRIAL PARK DISTRICT)

	MINIMUM REQUIREMENTS	EXISTING
LOT AREA:	2 ACRES	9.61 ACRES
LOT WIDTH:	200 FEET	750.4± FEET
LOT DEPTH:	200 FEET	628.3± FEET
FRONT YARD:	75 FEET	99.2± FEET
REAR YARD:	75 FEET	155.9± FEET
1 SIDE YARD:	70 FEET	202.2± FEET
BOTH SIDES:	140 FEET	431.6± FEET
	MAXIMUM PERMITTED	
BLDG. HEIGHT:	45 FEET	< 45 FEET
LOT COVERAGE:	40 %	18.7 %



EXISTING CONDITIONS

SCALE: 1" = 50"

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JOHN D. FULLER, P.E., P.C. 4 SOUTH STREET
PORT JERVIS, NY 12771
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SITE PLAN FOR
TRADE TRANS CORPORATION
173 BLACK MEADOW ROAD
SECTION 6 BLOCK 1 LOT 106
TOWN OF CHESTER, NY

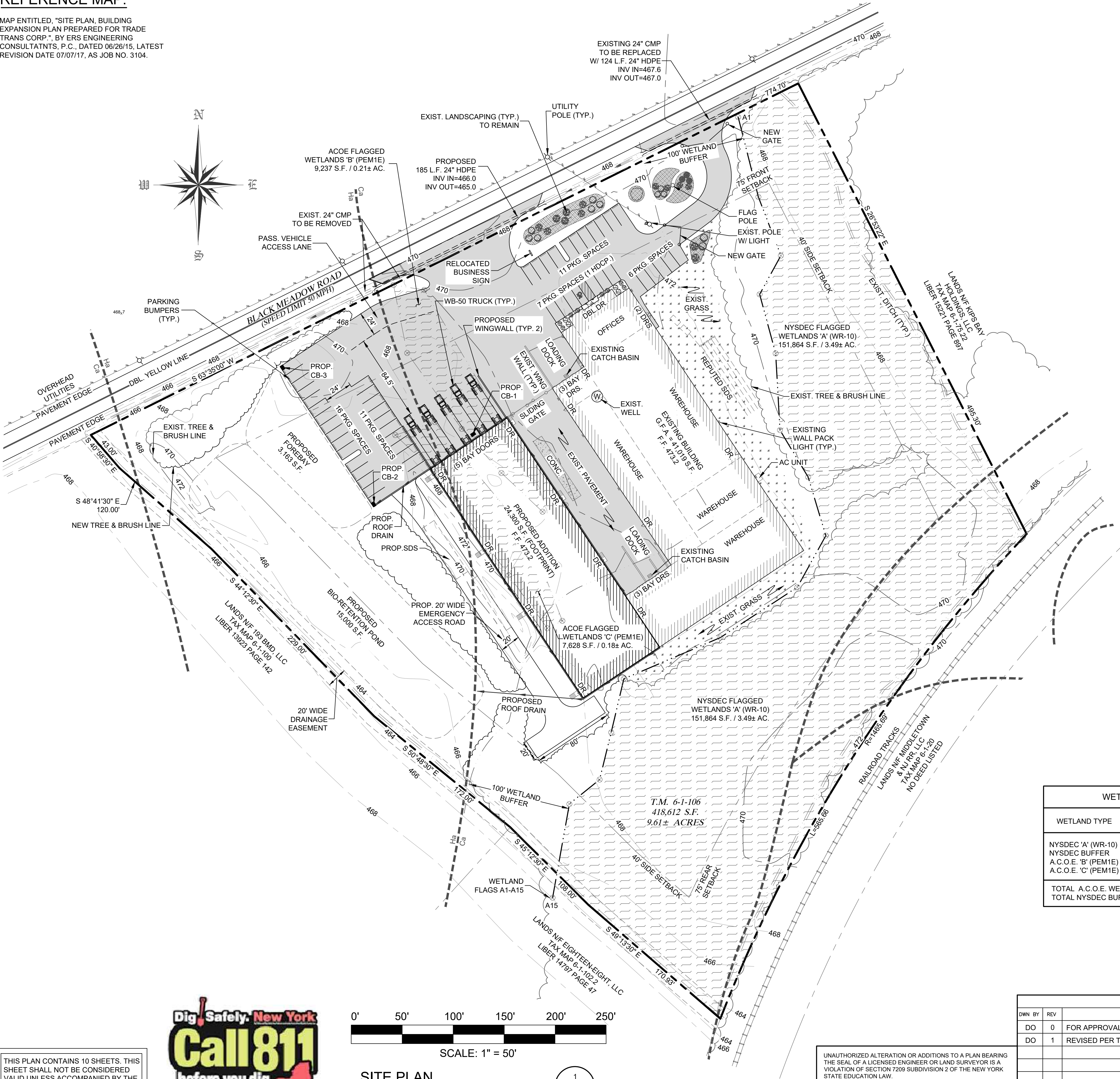
DWG TITLE
EXISTING CONDITIONS

DWG NO.
S-1

SCALE AS NOTED JOB NO. 1713.003

REFERENCE MAP:

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GENERAL NOTES

- OWNER OF RECORD / APPLICANT: KIPS BAY HOLDINGS OF WARWICK, LLC 173 BLACK MEADOW ROAD CHESTER, NY 10918
- TAX MAP DESIGNATION: SECTION 6 BLOCK 1 LOT 106
- PARCEL ZONED: IP (INDUSTRIAL PARK DISTRICT)
- TOTAL AREA: 418,612 S.F. / 9.61± ACRES
- THE ENTIRE SITE IS LOCATED WITHIN FLOOD ZONE AE.
- EXISTING USE: WAREHOUSE / WHOLESALE
- PROPOSED USE: WAREHOUSE / WHOLESALE
ITEMS STORED IN WAREHOUSE INCLUDE:
- DRY FOOD PRODUCTS
- PACKAGING MATERIALS

BULK TABLE REQUIREMENTS:

ZONED DISTRICT: IP (INDUSTRIAL PARK DISTRICT)

	MINIMUM REQUIREMENTS	PROPOSED
LOT AREA:	2 ACRES	9.61 ACRES
LOT WIDTH:	200 FEET	750.4± FEET
LOT DEPTH:	200 FEET	628.3± FEET
FRONT YARD:	75 FEET	99.2± FEET
REAR YARD:	75 FEET	155.9± FEET
1 SIDE YARD:	70 FEET	143.4± FEET
BOTH SIDES:	140 FEET	345.6± FEET
	MAXIMUM PERMITTED	
BLDG. HEIGHT:	45 FEET	< 45 FEET
LOT COVERAGE:	40 %	25.9 %

PARKING CALCULATIONS:

WAREHOUSE OR WHOLESALE : 1 SPACE PER 500 S.F. OF GROSS FLOOR AREA

EXISTING BLDG = 41,019 S.F.
PROPOSED BLDG = 24,300 S.F.
TOTAL = 65,319 S.F.
65,319/500 = 130.63 = 131 SPACES REQUIRED
TOTAL REQUIRED: = 131 SPACES

EXISTING SPACES = 24'
TOTAL SPACES PROVIDED = 50 (INCLUDES 1 HANDICAP)

* PARKING VARIANCE GRANTED FOR 24 SPACES ON OCTOBER 20, 2015. (SEE MAP REFERENCE)

WETLAND DISTURBANCE CHART			
WETLAND TYPE	EXISTING AREA	EXISTING DISTURBANCE	PROPOSED DISTURBANCE
NYSDEC 'A' (WR-10)	151,864 S.F.	0 S.F.	0 S.F.
NYSDEC BUFFER	82,566 S.F.	18,976 S.F.	10,228 S.F.
A.C.O.E. 'B' (PEM1E)	9,237 S.F.	0 S.F.	9,237 S.F.
A.C.O.E. 'C' (PEM1E)	7,628 S.F.	0 S.F.	7,628 S.F.
TOTAL A.C.O.E. WETLAND DISTURBANCE AREA: 12,313 S.F. / 0.28± AC.			
TOTAL NYSDEC BUFFER DISTURBANCE AREA: 16,865 S.F. / 0.39± AC.			

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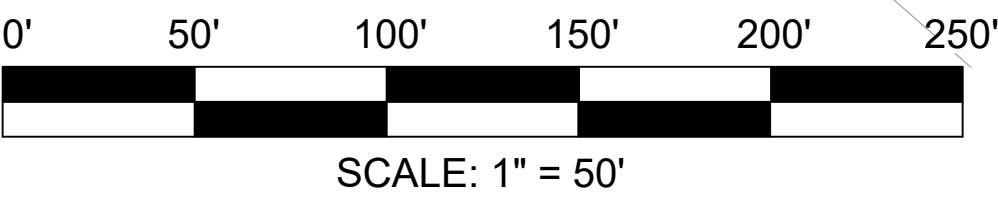
JOHN D. FULLER
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TOWN OF CHESTER
PLANNING BOARD APPROVAL

JOHN D. FULLER, P.E., P.C. 4 SOUTH STREET
PORT JERVIS, NY 12771
(845) 856-1536

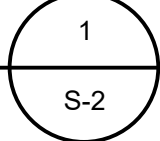
SITE PLAN FOR
TRADE TRANS CORPORATION
173 BLACK MEADOW ROAD
SECTION 6 BLOCK 1 LOT 106
TOWN OF CHESTER, NY

DWG TITLE	DWG NO.
SITE PLAN	S-2
SCALE AS NOTED	JOB NO. 1713.003



SITE PLAN

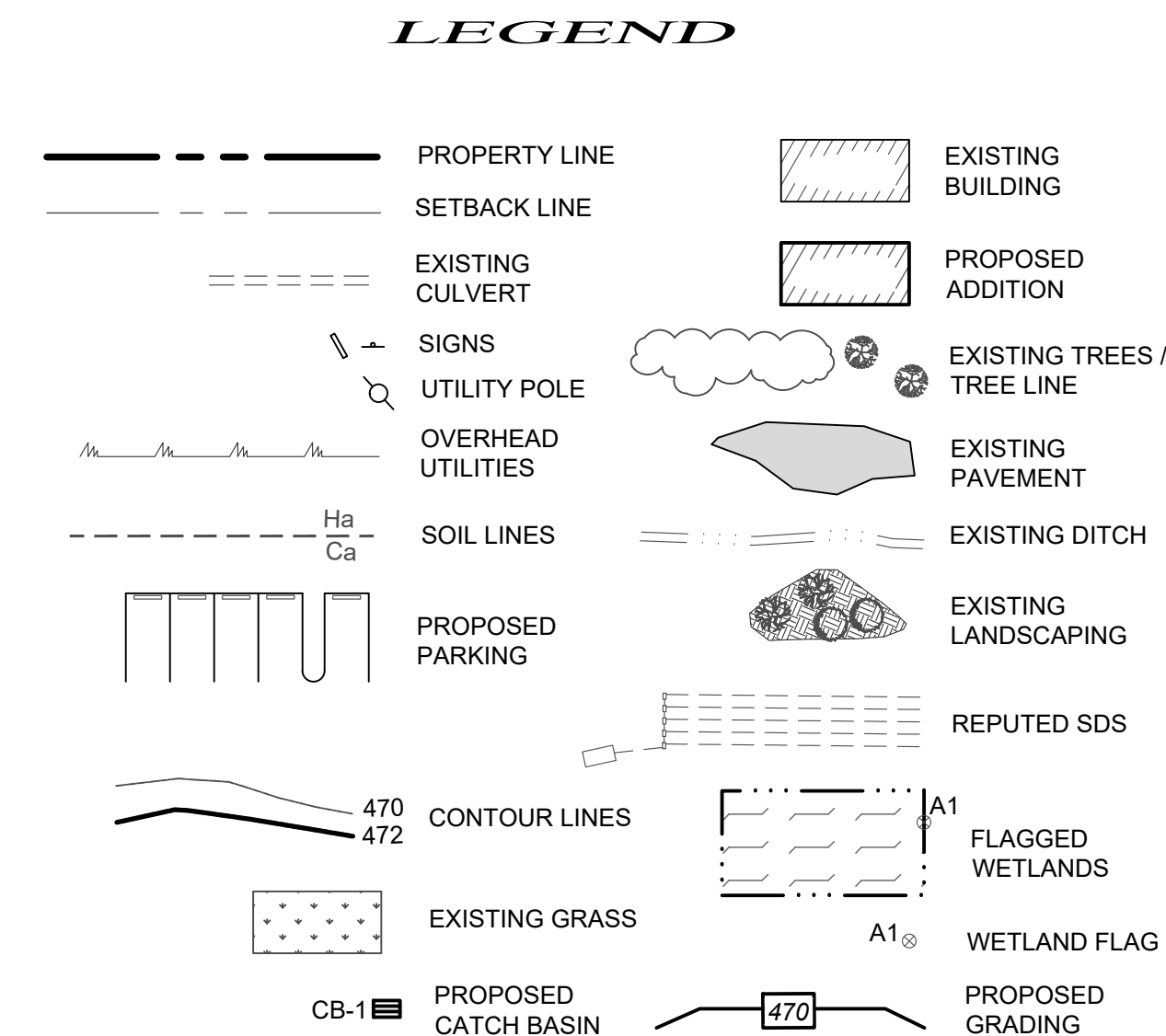
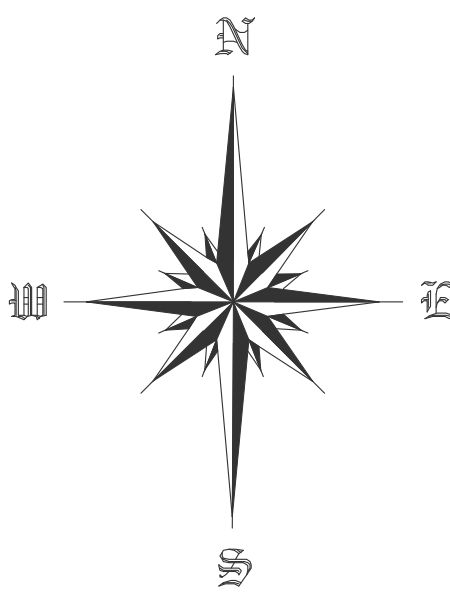
SCALE: 1" = 50'



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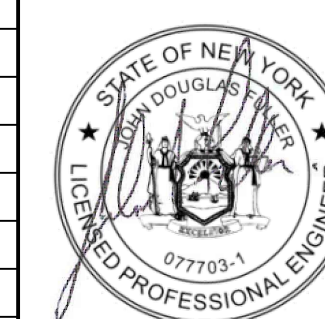
1. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHY INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 1.5% MIN. ACROSS ALL PAVED SURFACES AND SLOPE ALONG ALL GUTTERS TO PREVENT PONDING. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL DISCREPANCIES AND OTHER CONDITIONS THAT MAY EFFECT PUBLIC SAFETY AS WELL AS THE PROJECT COST TO ENGINEER IMMEDIATELY IN WRITING.
2. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICES CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. INTERFACE POINTS (CROSSING) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION. A MINIMUM OF 15" VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN ALL UTILITY CROSSING. ANY POTENTIAL CROSSINGS LESS THAN THE MINIMUM REQUIRED SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY IN WRITING.
3. REFER TO CONSTRUCTION DETAIL PLAN FOR GRADING AND YARD DETAILS.
4. IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERSEDE IN ALL CASES. NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "THE NEW YORK ONE CALL SYSTEM" (1-800-962-7962) 48 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES
6. WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONDUCTED IN ACCORDANCE WITH THE TOWN OF WAWAYANDA REQUIREMENTS.
7. ALL UTILITY CONNECTIONS TO BE MADE IN ACCORDANCE WITH UTILITY COMPANY REQUIREMENTS.
8. ALL UTILITY SERVICES TO BE SIZED IN ACCORDANCE WITH ARCHITECTURAL PLANS (BY OTHERS).

T.M. 6-1-106
418,612 S.F.
9.61± ACRES

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DO	1	REVISED PER TOWN COMMENT	11/23/22	
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PORT JERVIS, NY 12771
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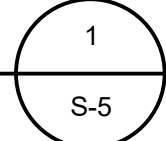
SITE PLAN FOR
TRADE TRANS CORPORATION
173 BLACK MEADOW ROAD
SECTION 6 BLOCK 1 LOT 106
TOWN OF CHESTER, NY

DWG TITLE	GRADING & UTILITIES PLAN
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TH STREET
JERVIS, NY 12771
856-1536

DWG NO.	S-3
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SCALE	AS NOTED	JOB NO.	1713.003
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JOHN D. FULLER
REG. NO. 077703

Dig! Safely. New York
Call 811
before you dig

TOWN OF CHESTER
PLANNING BOARD APPROVAL

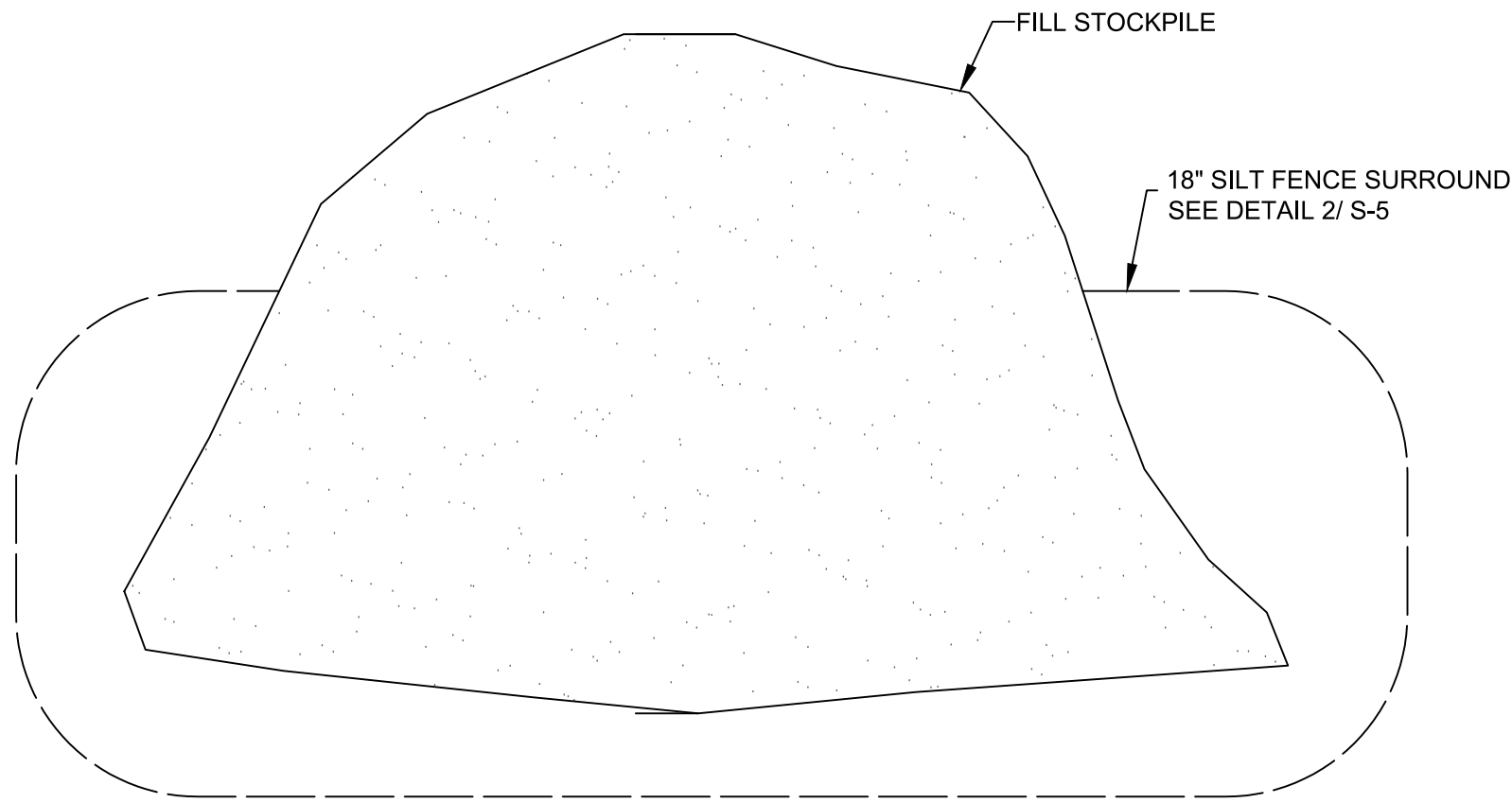
JOHN D. FULLER, P.E., P.C. 4 SOUTH STREET
PORT JERVIS, NY 12771
(845) 856-1536

SITE PLAN FOR
TRADE TRANS CORPORATION
173 BLACK MEADOW ROAD
SECTION 6 BLOCK 1 LOT 106
TOWN OF CHESTER, NY

DWG TITLE EROSION & SEDIMENTATION

SCALE	AS NOTED	JOB NO.	1713.003
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DWG NO.
S-5

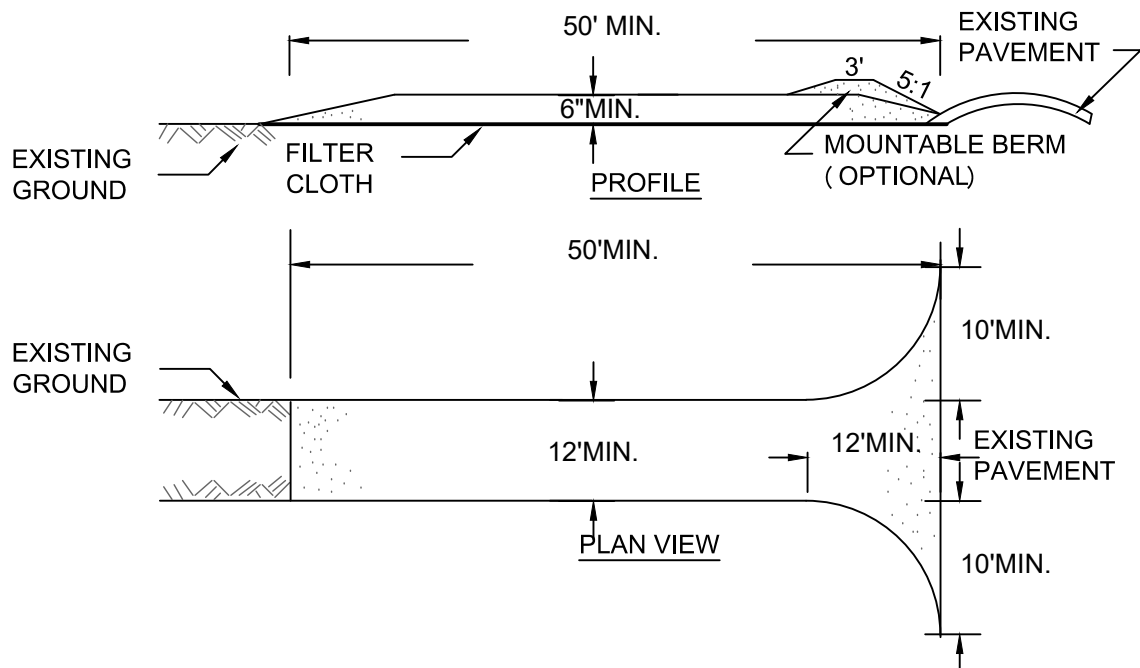


NOTE:
STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET.
STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.

STOCKPILE DETAIL

SCALE: NONE

1
S-6



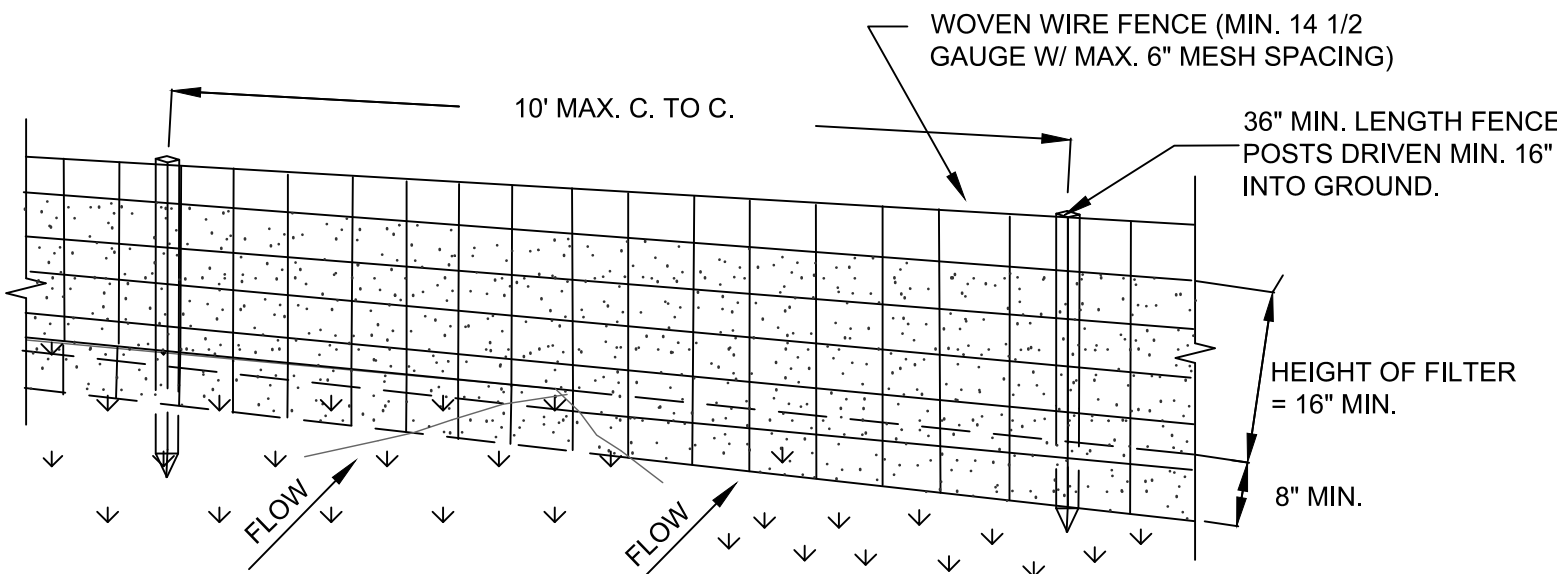
CONSTRUCTION ENTRANCE

SCALE: N. T. S.

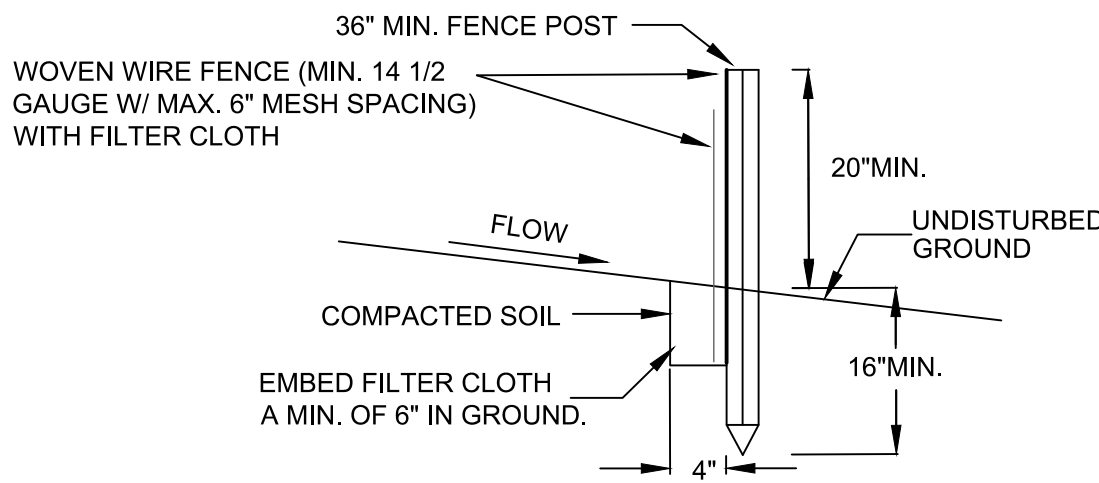
3
S-6

CONSTRUCTION SPECIFICATIONS

- STONE SIZE = USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH = NOT LESS THAN FIFTY (50) FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS = NOT LESS THAN SIX (6) INCHES.
- WIDTH = TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR. TWENTY-FOUR (24) FEET IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



PERSPECTIVE VIEW

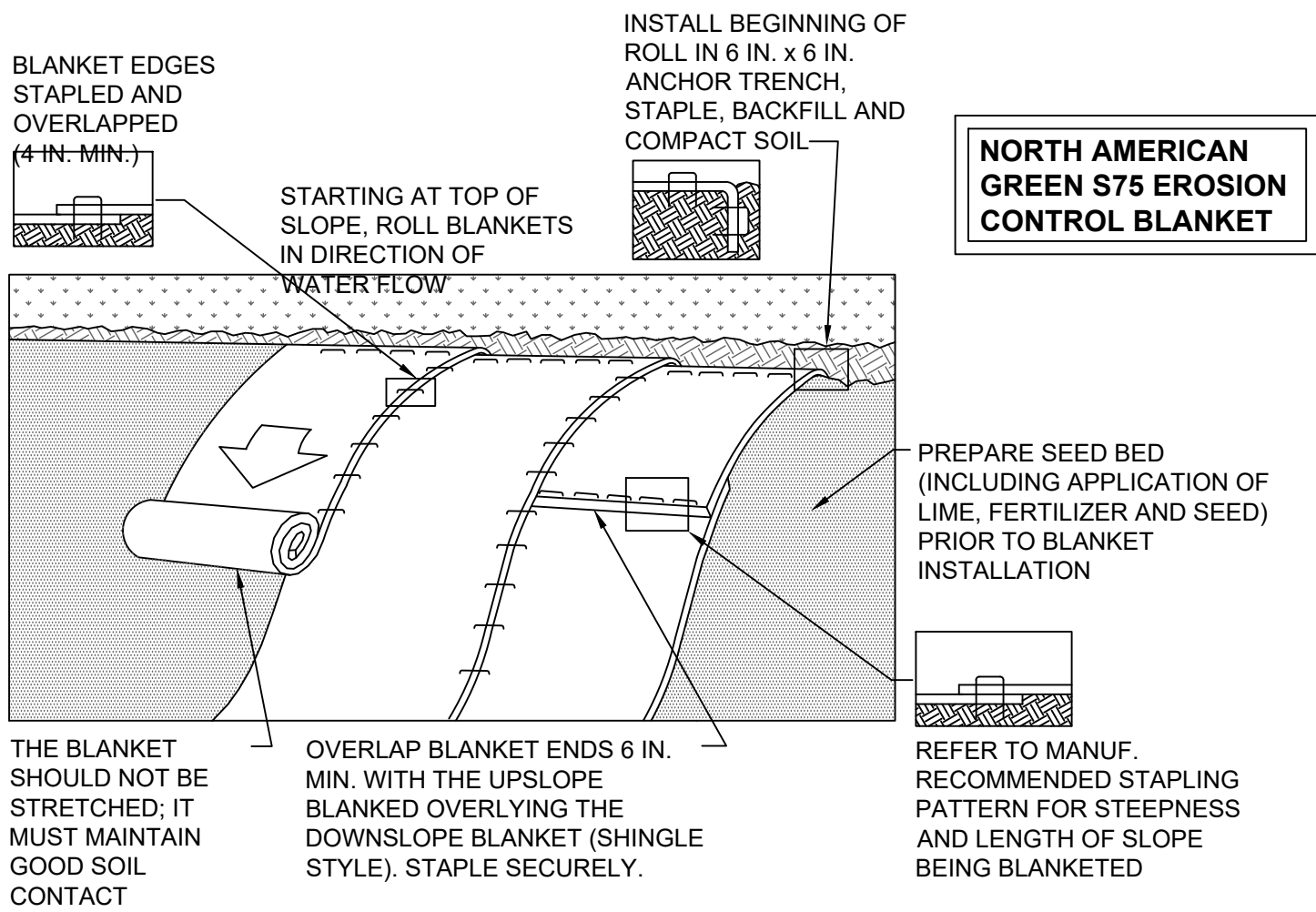


SECTION VIEW

SILT FENCE DETAIL

SCALE: NTS

2
S-6



SLOPE MATTING INSTALLATION DETAIL

SCALE: NONE

4
S-6

NOTES:

SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.

PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.

SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.

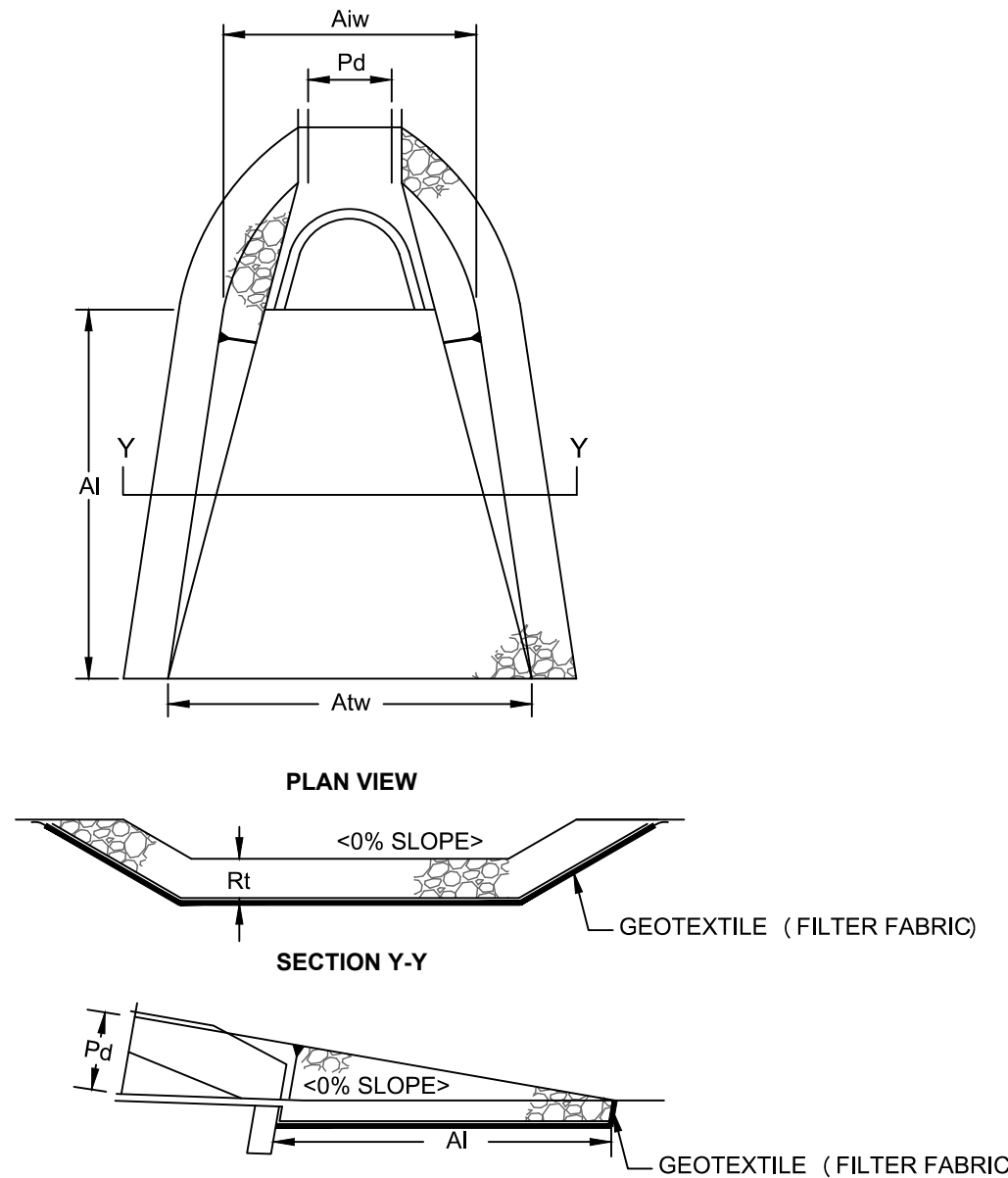
BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.

THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH STORMWATER EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



OUTLET NO.	PIPE DIA Pd (IN)	RIPRAP		APRON		TERMINAL WIDTH Atw (FT)
		SIZE (R-)	THICK. Rt (IN)	LENGTH Al (FT)	INITIAL WIDTH Aiw (FT)	
1	15	4	6	12	3	10
-	-	-	-	-	-	-
-	-	-	-	-	-	-

RIP RAP APRON AT PIPE OUTLET

SCALE: N. T. S.

5
S-6

CONSTRUCTION SEQUENCE

STAGE 1 (SITE PREPARATION)

- SCHEDULE ON-SITE PRE-CONSTRUCTION MEETING WITH ENGINEER, CONTRACTOR, LANDOWNER, AND TOWNSHIP AT LEAST ONE WEEK PRIOR TO THE START OF CONSTRUCTION.
- INSTALL CONSTRUCTION ENTRANCE AND PERIMETER SILT FENCE.
- CONSTRUCT SEDIMENT INFILTRATION BASINS AS SHOWN ON THE PLAN. EROSION CONTROLS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE NEW SITE DISTURBANCE BEGINS.
- CLEAR AND GRUB SITE. STRIP TOPSOIL AND STOCKPILE AS SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLAN AND STABILIZE IN ACCORDANCE WITH THE SEEDING AND MULCHING SPECIFICATIONS.
- INITIATE EARTH MOVING ACTIVITIES FOR SITE DEVELOPMENT. UNSUITABLE MATERIAL IS TO BE REMOVED FROM THE PROJECT SITE. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL EROSION AND SEDIMENTATION CONTROL MEASURE AT ANY OFF-SITE SPOIL AREAS. PLACE AND COMPACT MATERIAL IN AREAS OF FILL TO OBTAIN NECESSARY GRADES.
- ROUGH GRADE SITE, STABILIZE AND SEED EXCESS STOCKPILE MATERIAL AS SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLAN SHEET. INSTALL SILT FENCE AROUND THE STOCKPILE IMMEDIATELY AFTER THE SOIL IS STOCKPILED.
- THE SITE GRADING ACTIVITIES SHALL BE INITIATED AND PROCEED IN SUCH A MANNER AS TO DIRECT ALL STORM WATER FROM DISTURBED AREAS TO THE SEDIMENT CONTROL STRUCTURES.
- STABILIZE ALL GRASS AREAS IN ACCORDANCE WITH THE SEEDING AND MULCHING SPECIFICATIONS.

STAGE 2 (CONSTRUCTION)

- INITIATE CONSTRUCTION OF BUILDING FOUNDATION AND SUPER STRUCTURE.
- INSTALL WASTEWATER AND WATER SUPPLY SYSTEMS INCLUDING PIPING AND TRENCHING AS SHOWN ON THE SITE PLAN.
- ROUGH GRADE SITE, WORKING GRADE TOWARDS "ROUGH" FINAL GRADE ELEVATIONS OF PARKING LOT.
- PLACE AND COMPACT SUBBASE IN AREAS TO BE PAVED AND PLACE THE GRAVEL / ITEM #4 COURSE AS SOON AS IT IS PRACTICAL.
- CLEAN OUT & RESEED AND RE-STABILIZE INFILTRATION BASINS WHERE NECESSARY.
- RESEED, RE-MULCH AND RE-STABILIZE WHERE NECESSARY.
- REMOVE SILT FENCING ONLY AFTER ENTIRE SITE HAS BEEN STABILIZED, VEGETATED AREAS SHALL BE CONSIDERED PERMANENTLY STABILIZED WHEN A UNIFORM 70% VEGETATIVE COVER OF EROSION RESISTANT PERENNIAL SPECIFIED HAS BEEN ACHIEVED, OR THE DISTURBED AREA IS COVERED WITH AN ACCEPTABLE BMP WHICH PERMANENTLY MINIMIZE ACCELERATED EROSION AND SEDIMENTATION. UNTIL SUCH TIME AS THIS STANDARD IS ACHIEVED, INTERIM STABILIZATION MEASURES AND TEMPORARY EROSION AND SEDIMENT CONTROL BMPs THAT ARE USED TO TREAT PROJECT RUNOFF MAY NOT BE REMOVED. DURING PERIODS OF DROUGHT, IRRIGATION SHOULD BE UTILIZED UNTIL STABILIZATION HAS OCCURRED.

SEEDING AND MULCHING SPECIFICATIONS

TEMPORARY STABILIZATION:

	TYPE	RATE
SEED	ANNUAL RYE GRASS	1 LB/1,000 SQ FT
MULCH	HAY	3.0 TONS/ACRE
LIME	AGRICULTURAL GRADE LIMESTONE	1.0 TONS/ACRE
FERTILIZER	10-20-10	50 LBS./ACRE

PERMANENT STABILIZATION:

	TYPE	RATE
SEED	PERENNIAL RYE GRASS (20%) RED TOP (50%) ORCHARD GRASS (30%)	0.45 LBS/1,000 SQ FT 0.35 LBS/1,000 SQ FT 1.4 LBS/1,000 SQ FT
MULCH	HAY	3.0 TONS/ACRE
LIME	AGRICULTURAL GRADE LIMESTONE	6.0 TONS/ACRE
FERTILIZER	10-20-10	1,000 LBS./ACRE

THIS PLAN CONTAINS 10 SHEETS. THIS SHEET SHALL NOT BE CONSIDERED VALID UNLESS ACCOMPANIED BY THE REMAINING SHEETS.



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DO	1	REVISED PER TOWN COMMENT	11/23/22	



JOHN D. FULLER
REG. NO. 077703

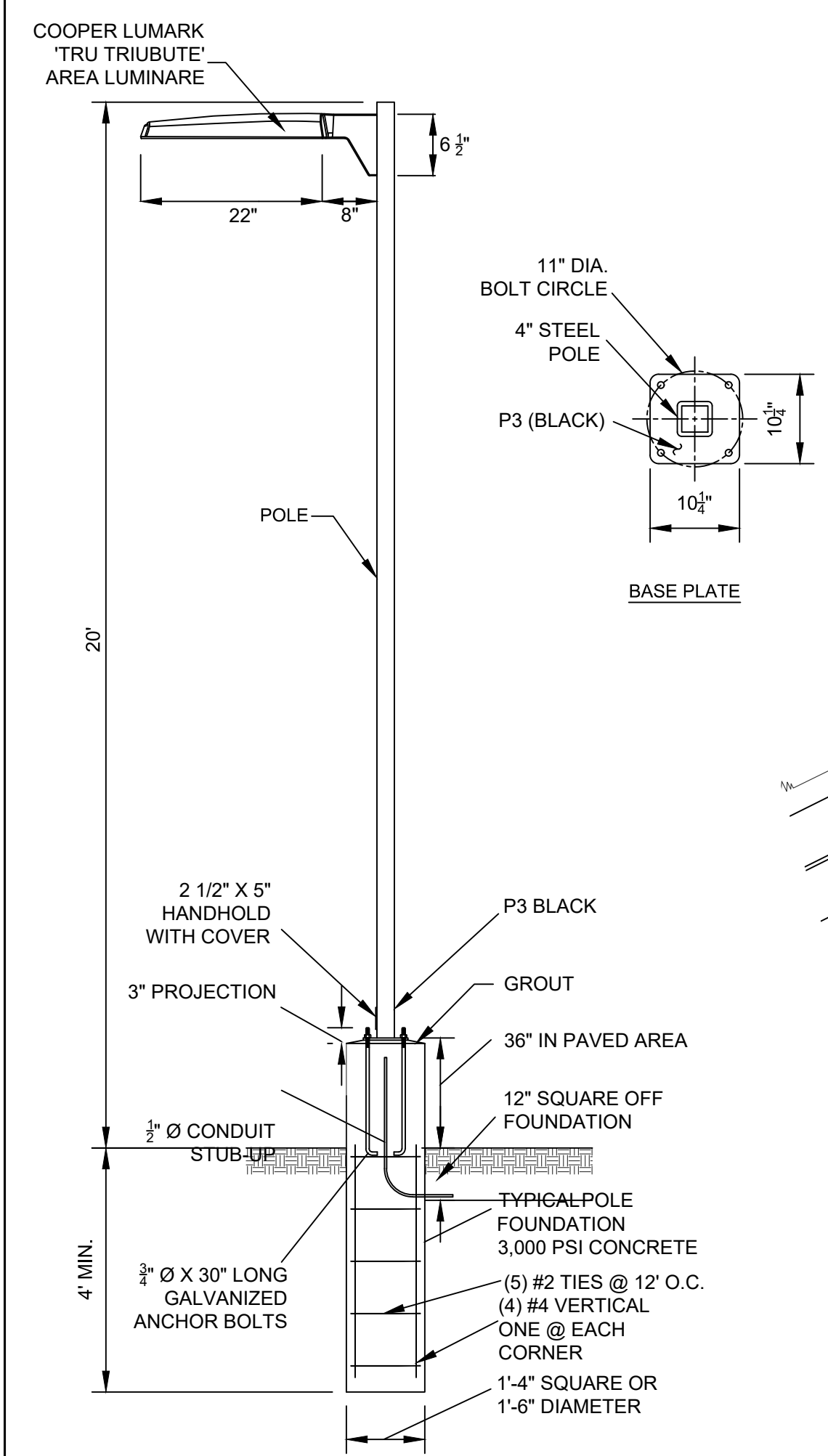
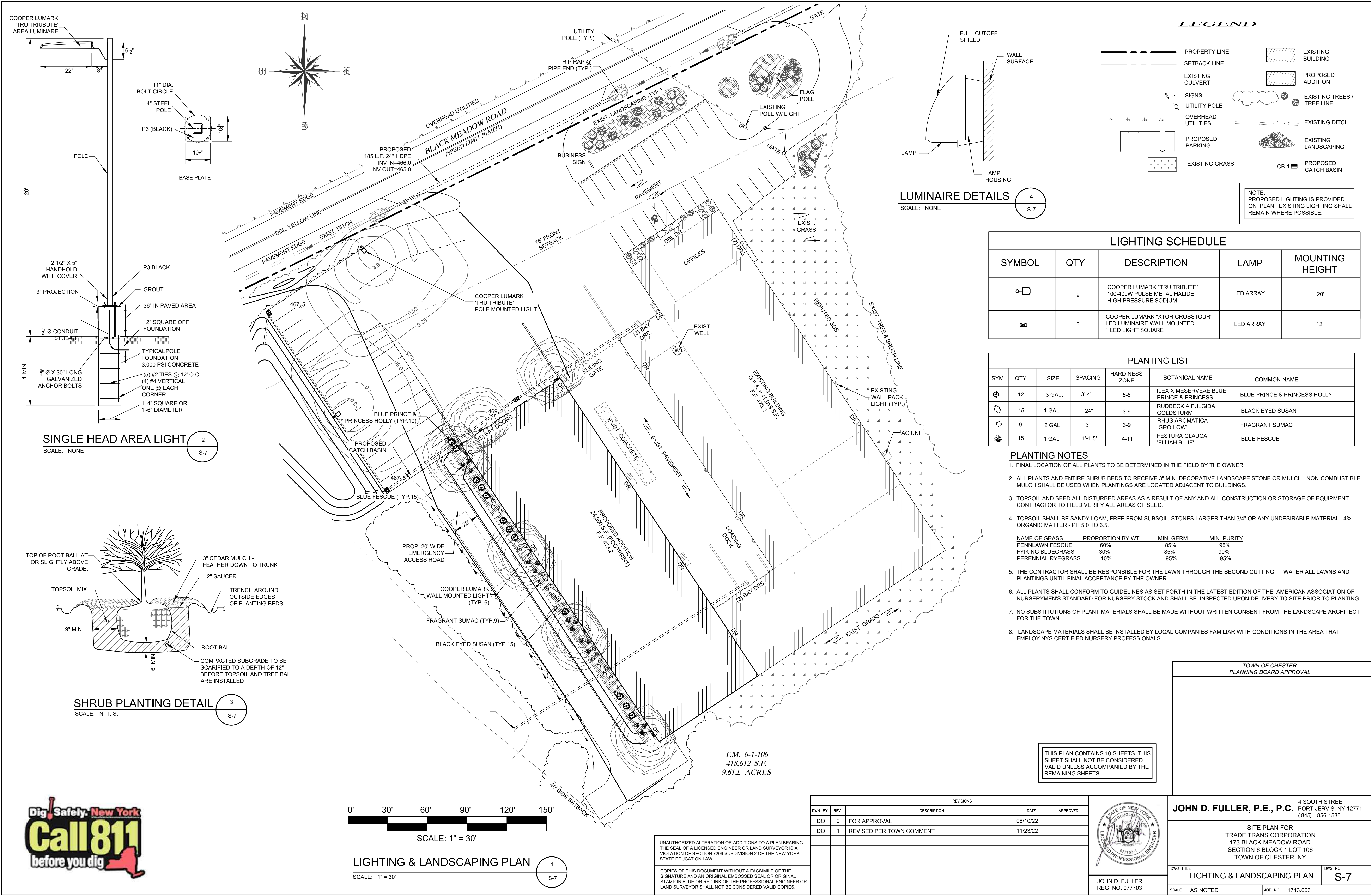
JOHN D. FULLER, P.E., P.C. 4 SOUTH STREET
PORT JERVIS, NY 12771
(845) 856-1536

SITE PLAN FOR
TRADE TRANS CORPORATION
173 BLACK MEADOW ROAD
SECTION 6 BLOCK 1 LOT 106
TOWN OF CHESTER, NY

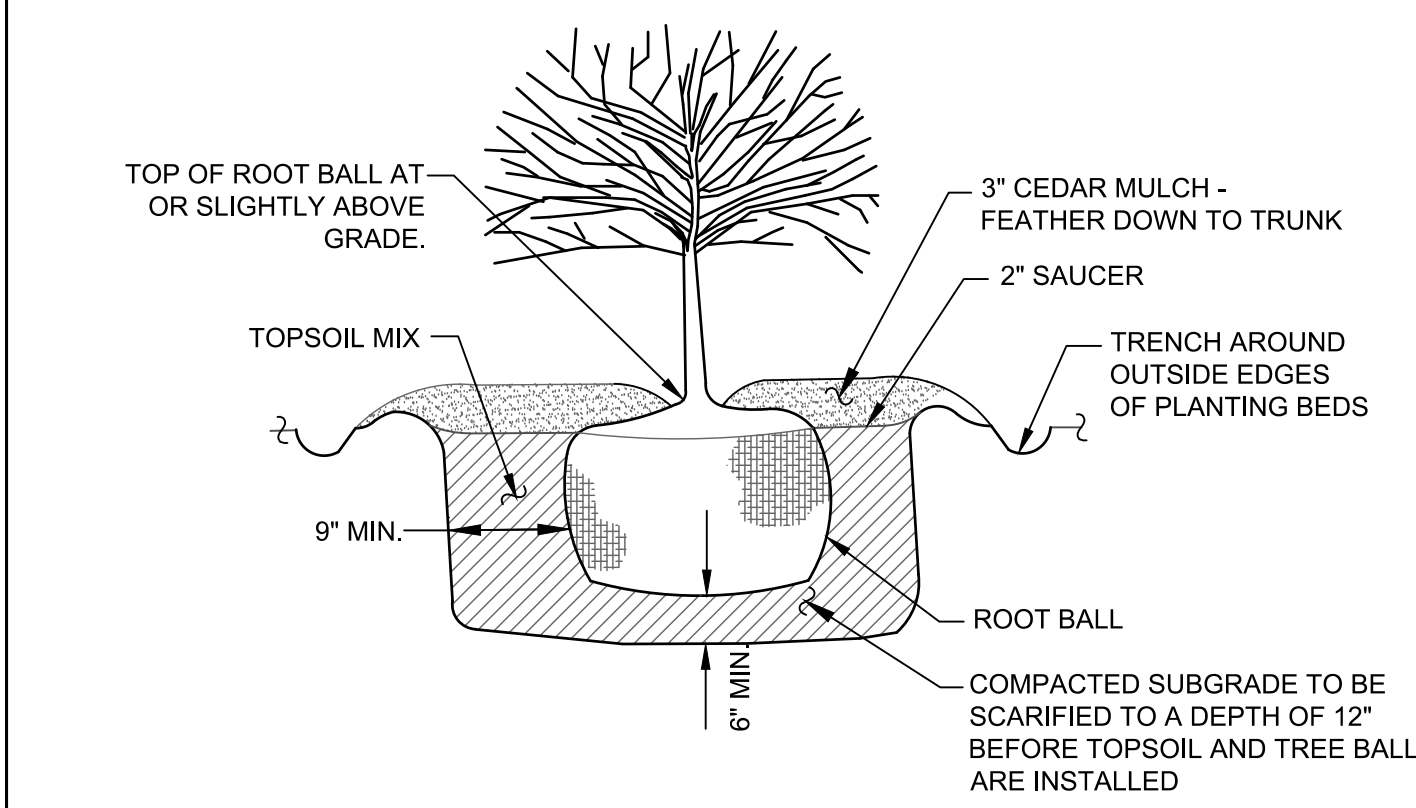
DWG TITLE EROSION & SEDIMENTATION
CONTROL PLAN DETAILS

DWG NO.
S-6

SCALE AS NOTED JOB NO. 1713.003



SINGLE HEAD AREA LIGHT
SCALE: NONE

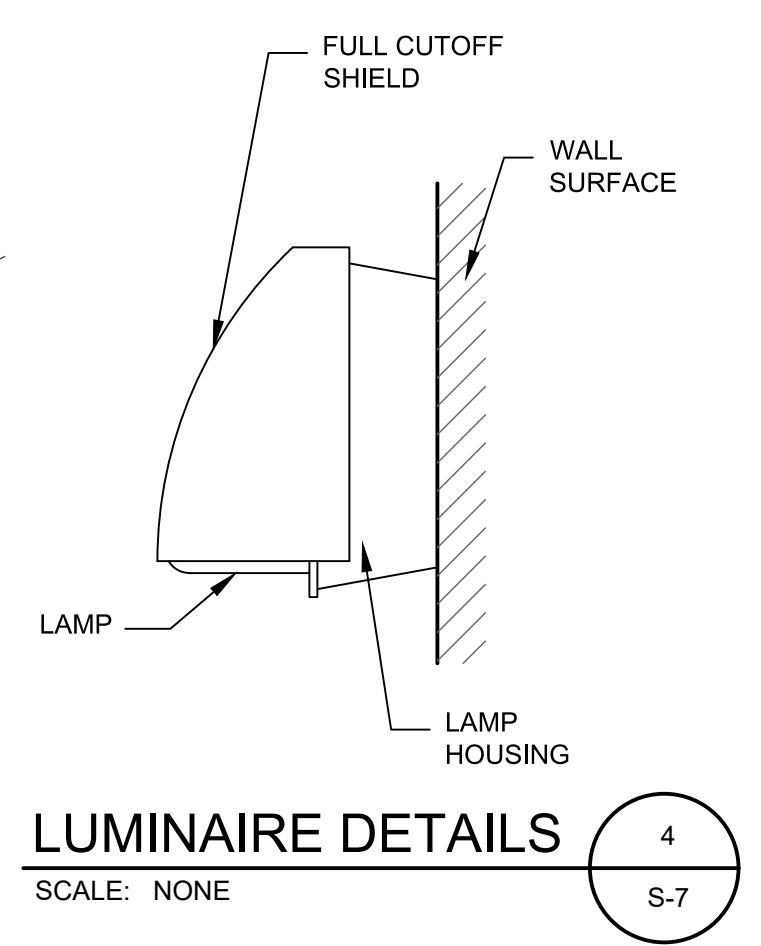


SHRUB PLANTING DETAIL
SCALE: N.T.S.

LEGEND

--- PROPERTY LINE	[Hatched Box] EXISTING BUILDING
- - - SETBACK LINE	[Hatched Box] PROPOSED ADDITION
==== EXISTING CULVERT	[Cloud with Star] EXISTING TREES / TREE LINE
- - - - - SIGNS	--- EXISTING DITCH
[Symbol] UTILITY POLE	[Hatched Box] EXISTING LANDSCAPING
--- OVERHEAD UTILITIES	[Hatched Box] CB-1 PROPOSED CATCH BASIN
[Symbol] PROPOSED PARKING	
[Symbol] EXISTING GRASS	

NOTE: PROPOSED LIGHTING IS PROVIDED ON PLAN. EXISTING LIGHTING SHALL REMAIN WHERE POSSIBLE.

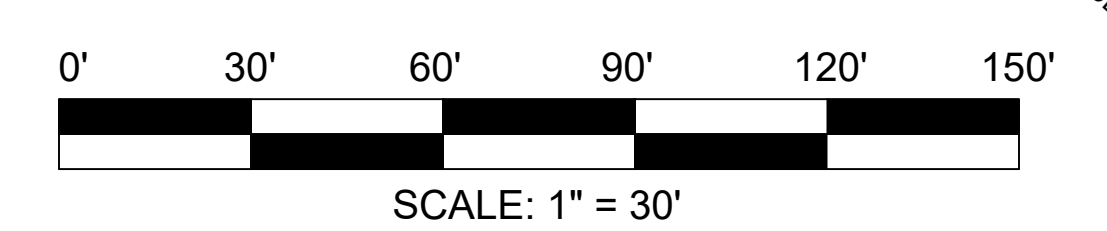


LUMINAIRE DETAILS
SCALE: NONE

LIGHTING SCHEDULE				
SYMBOL	QTY	DESCRIPTION	LAMP	MOUNTING HEIGHT
[Symbol]	2	COOPER LUMARK "TRU TRIBUTE" 100-400W PULSE METAL HALIDE HIGH PRESSURE SODIUM	LED ARRAY	20'
[Symbol]	6	COOPER LUMARK "XTOR CROSSTOUR" LED LUMINAIRE WALL MOUNTED 1 LED LIGHT SQUARE	LED ARRAY	12'

PLANTING LIST						
SYM.	QTY.	SIZE	SPACING	HARDINESS ZONE	BOTANICAL NAME	COMMON NAME
[Symbol]	12	3 GAL.	3'-4'	5-8	ILEX X MESERVEAE BLUE PRINCE & PRINCESS	BLUE PRINCE & PRINCESS HOLLY
[Symbol]	15	1 GAL.	24"	3-9	RUDBECKIA FULGIDA GOLDSTURM	BLACK EYED SUSAN
[Symbol]	9	2 GAL.	3'	3-9	RHUS AROMATICA 'GRO-LOW'	FRAGRANT SUMAC
[Symbol]	15	1 GAL.	1'-1.5'	4-11	FESTURA GLAUCA 'ELIJAH BLUE'	BLUE FESCUE

- PLANTING NOTES**
- FINAL LOCATION OF ALL PLANTS TO BE DETERMINED IN THE FIELD BY THE OWNER.
 - ALL PLANTS AND ENTIRE SHRUB BEDS TO RECEIVE 3" MIN. DECORATIVE LANDSCAPE STONE OR MULCH. NON-COMBUSTIBLE MULCH SHALL BE USED WHEN PLANTINGS ARE LOCATED ADJACENT TO BUILDINGS.
 - TOPSOIL AND SEED ALL DISTURBED AREAS AS A RESULT OF ANY AND ALL CONSTRUCTION OR STORAGE OF EQUIPMENT. CONTRACTOR TO FIELD VERIFY ALL AREAS OF SEED.
 - TOPSOIL SHALL BE SANDY LOAM, FREE FROM SUBSOIL, STONES LARGER THAN 3/4" OR ANY UNDESIRABLE MATERIAL. 4% ORGANIC MATTER - PH 5.0 TO 6.5.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAWN THROUGH THE SECOND CUTTING. WATER ALL LAWNS AND PLANTINGS UNTIL FINAL ACCEPTANCE BY THE OWNER.
 - ALL PLANTS SHALL CONFORM TO GUIDELINES AS SET FORTH IN THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARD FOR NURSERY STOCK AND SHALL BE INSPECTED UPON DELIVERY TO SITE PRIOR TO PLANTING.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN CONSENT FROM THE LANDSCAPE ARCHITECT FOR THE TOWN.
 - LANDSCAPE MATERIALS SHALL BE INSTALLED BY LOCAL COMPANIES FAMILIAR WITH CONDITIONS IN THE AREA THAT EMPLOY NYS CERTIFIED NURSERY PROFESSIONALS.



LIGHTING & LANDSCAPING PLAN
SCALE: 1" = 30'



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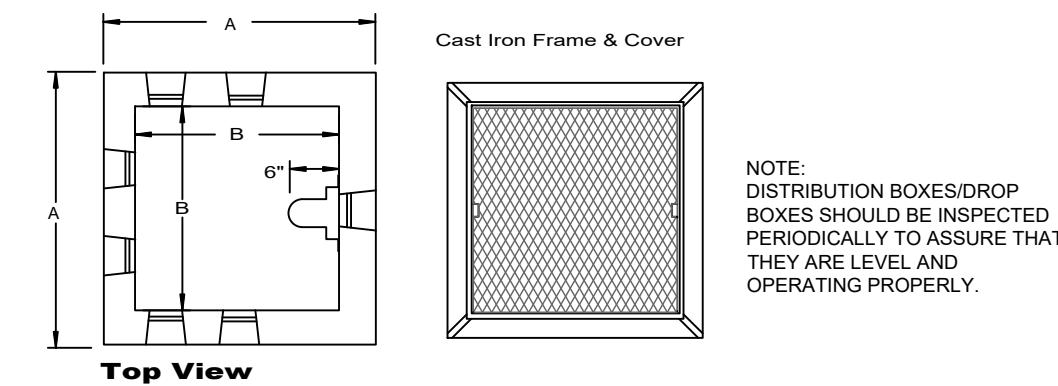
TOWN OF CHESTER
PLANNING BOARD APPROVAL

JOHN D. FULLER, P.E., P.C. 4 SOUTH STREET
PORT JERVIS, NY 12771
(845) 856-1536

SITE PLAN FOR
TRADE TRANS CORPORATION
173 BLACK MEADOW ROAD
SECTION 6 BLOCK 1 LOT 106
TOWN OF CHESTER, NY

DWG TITLE: **LIGHTING & LANDSCAPING PLAN** DWG NO.: **S-7**

SCALE: AS NOTED JOB NO. 1713.003



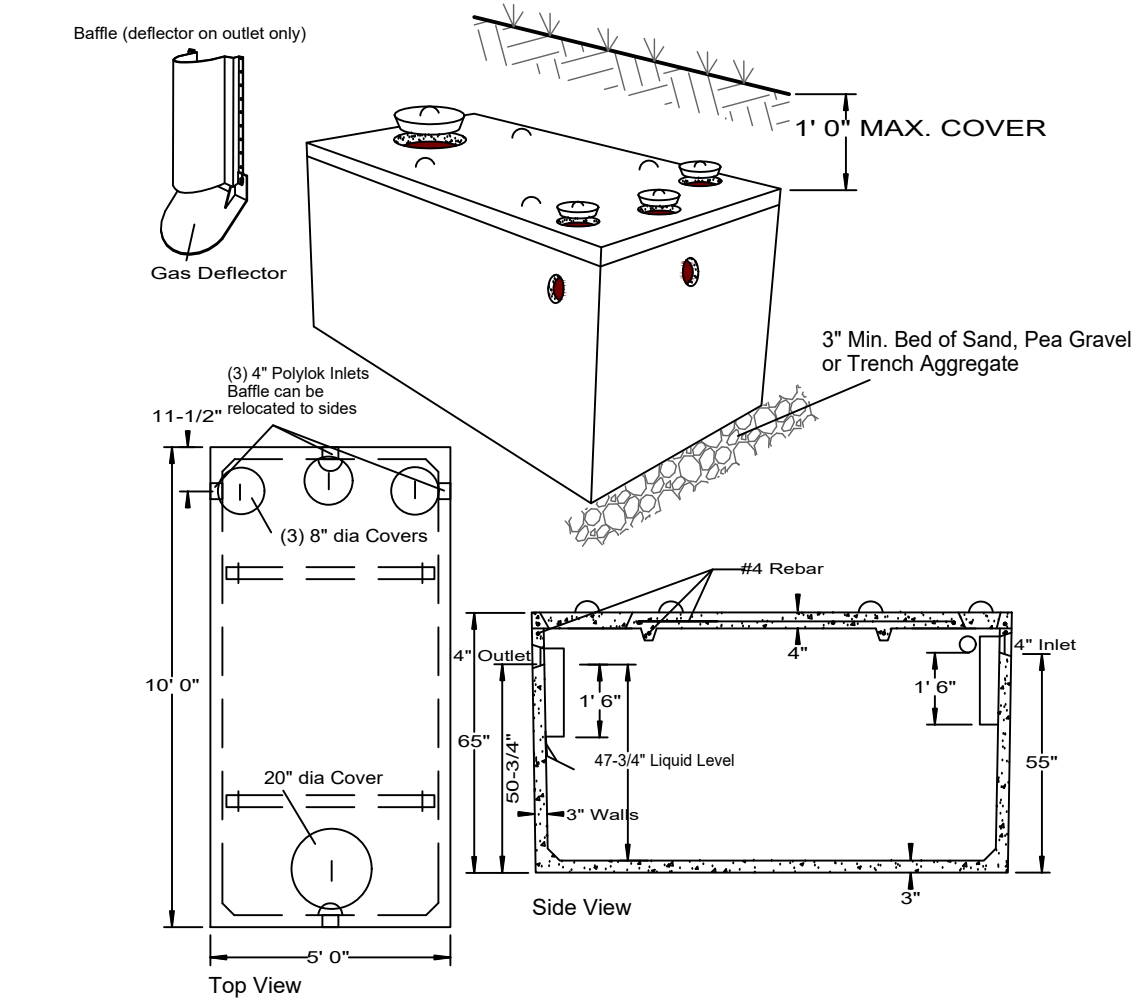
# Outlets	A	B	C	D	E
6	26"	17"	18"	2"	2"
9	34"	24"	20"	3"	2"
12	41"	28"	18"	3"	6"

SPECIFICATIONS	PRECAST TRAFFIC RATED DISTRIBUTION BOXES
Concrete Min. Strength: 4,000 psi at 28 days Reinforcement: #4 Rebar / ASTM A615 Air Entrainment: 6% Pipe Connection: Polylok Seal Weights: 650 lb / 1,300 lb / 2,000 lb Load Rating: H20-44 + 30% / ASTM C857	Woodard's Concrete Products, Inc. 629 Lybolt Road, Bullville, NY 10915 (845) 361-3471 / Fax 361-1050

PRECAST TRAFFIC RATED DISTRIBUTION BOX DETAIL

SCALE: N.T.S.

1
S-8



SPECIFICATIONS	PRECAST SEPTIC TANKS MODEL ST-1250 / 1250 GALLONS
Concrete Min. Strength: 4,000 psi at 28 days Reinforcement: #4 Rebar, 6x6x10ga WWM Air Entrainment: 5% Construction Joint: Bulyl Rubber Sealant Pipe Connection: Polylok Seal (patented) Weight = 9,500 lbs Load Rating: 300 psf	Woodard's Concrete Products, Inc. 629 Lybolt Road, Bullville, NY 10915 (845) 361-3471 / Fax 361-1050

PRECAST CONCRETE SEPTIC TANK

SCALE: N.T.S.

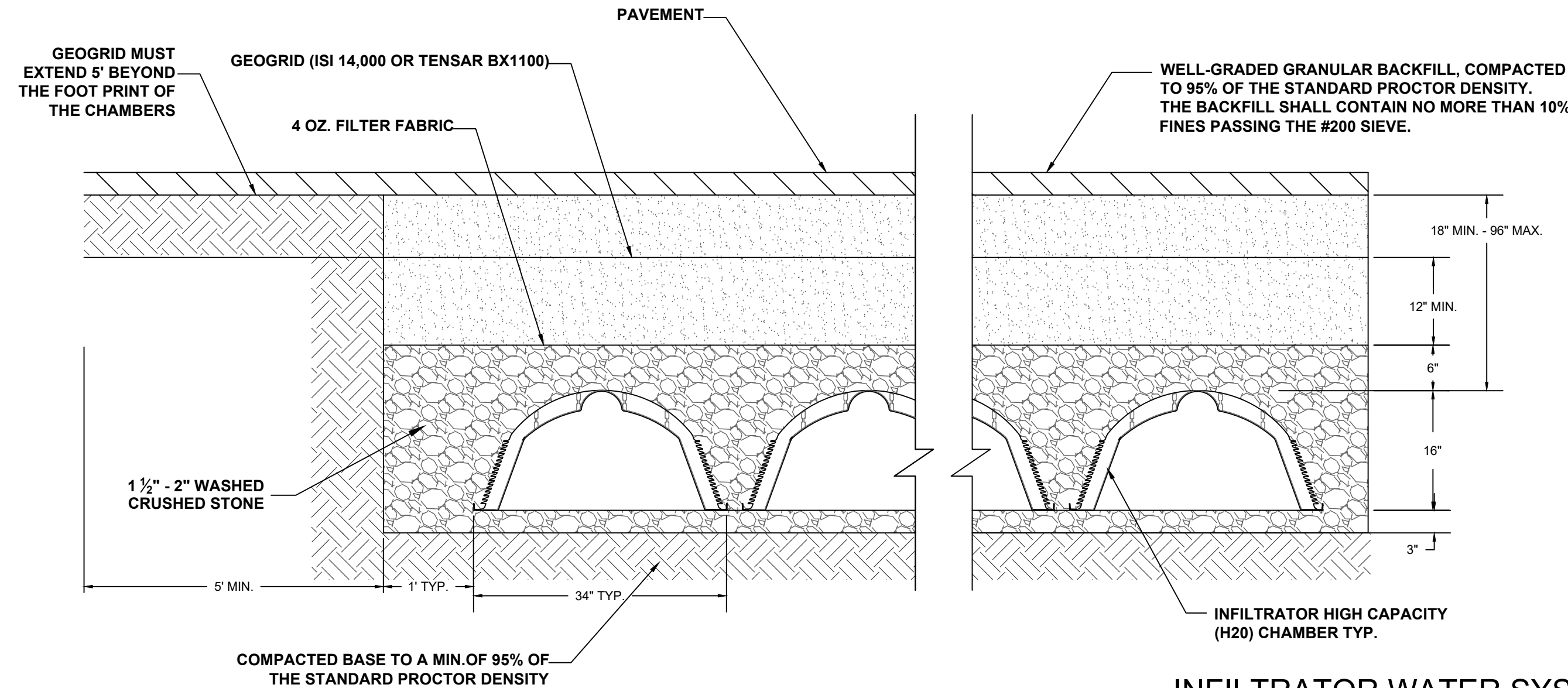
- NOTES:
1. ALL LATERALS IN USE SHALL BE EQUIPPED WITH A FLOW LEVELER.
 2. FLOW LEVELERS SHALL NOT COMPENSATE FOR MORE THAN 1 1/4" DIFFERENCE IN LATERAL INVERT ELEVATIONS. THE DISTRIBUTION BOX SHALL BE RELEVELLED AND THE FLOW LEVELERS READJUSTED.
 3. THE DISTRIBUTION BOX SHALL BE CHECKED 6-12 MONTHS AFTER INSTALLATION AND THE FLOW LEVELERS SHALL BE READJUSTED IF NECESSARY.



FLOW LEVELER

SCALE: N.T.S.

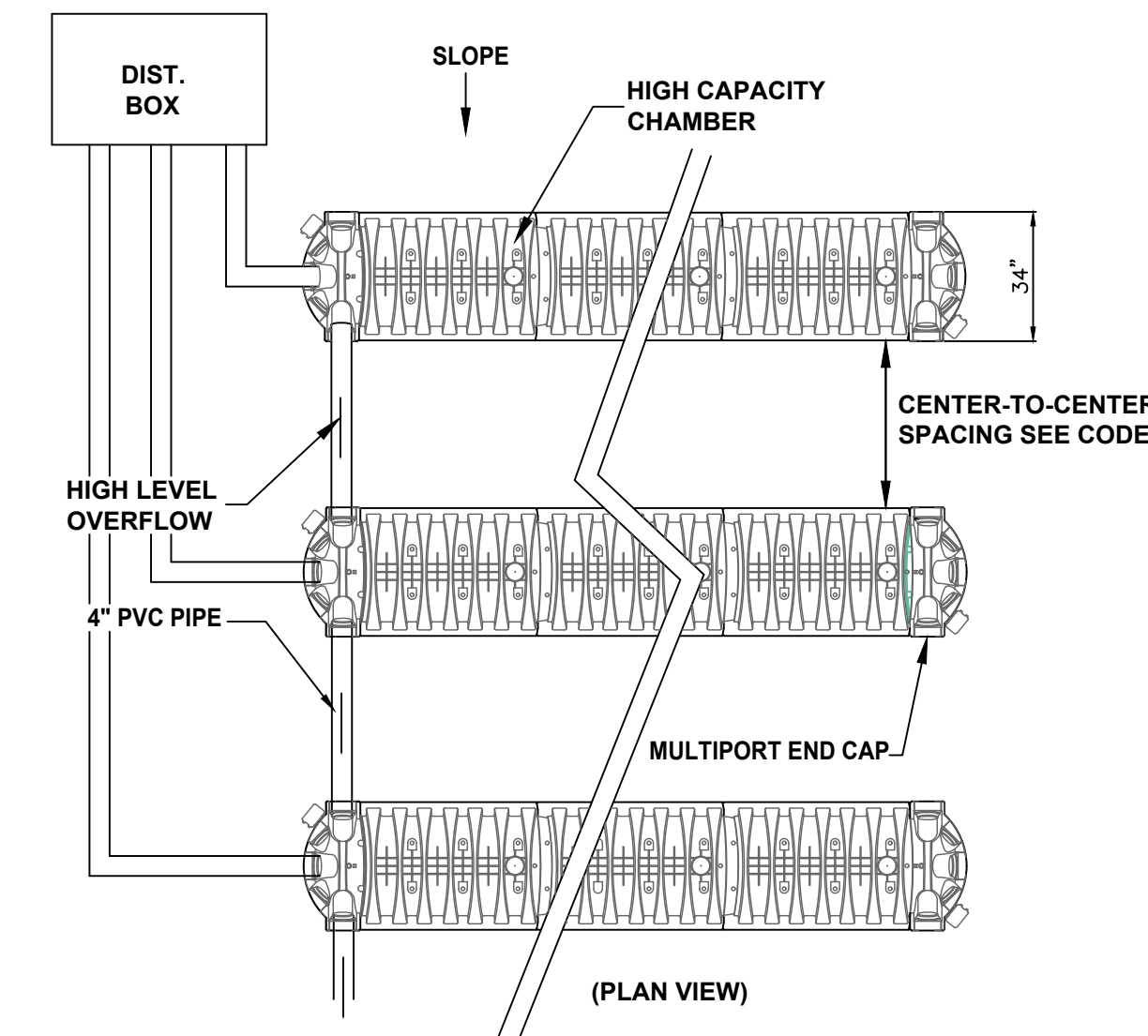
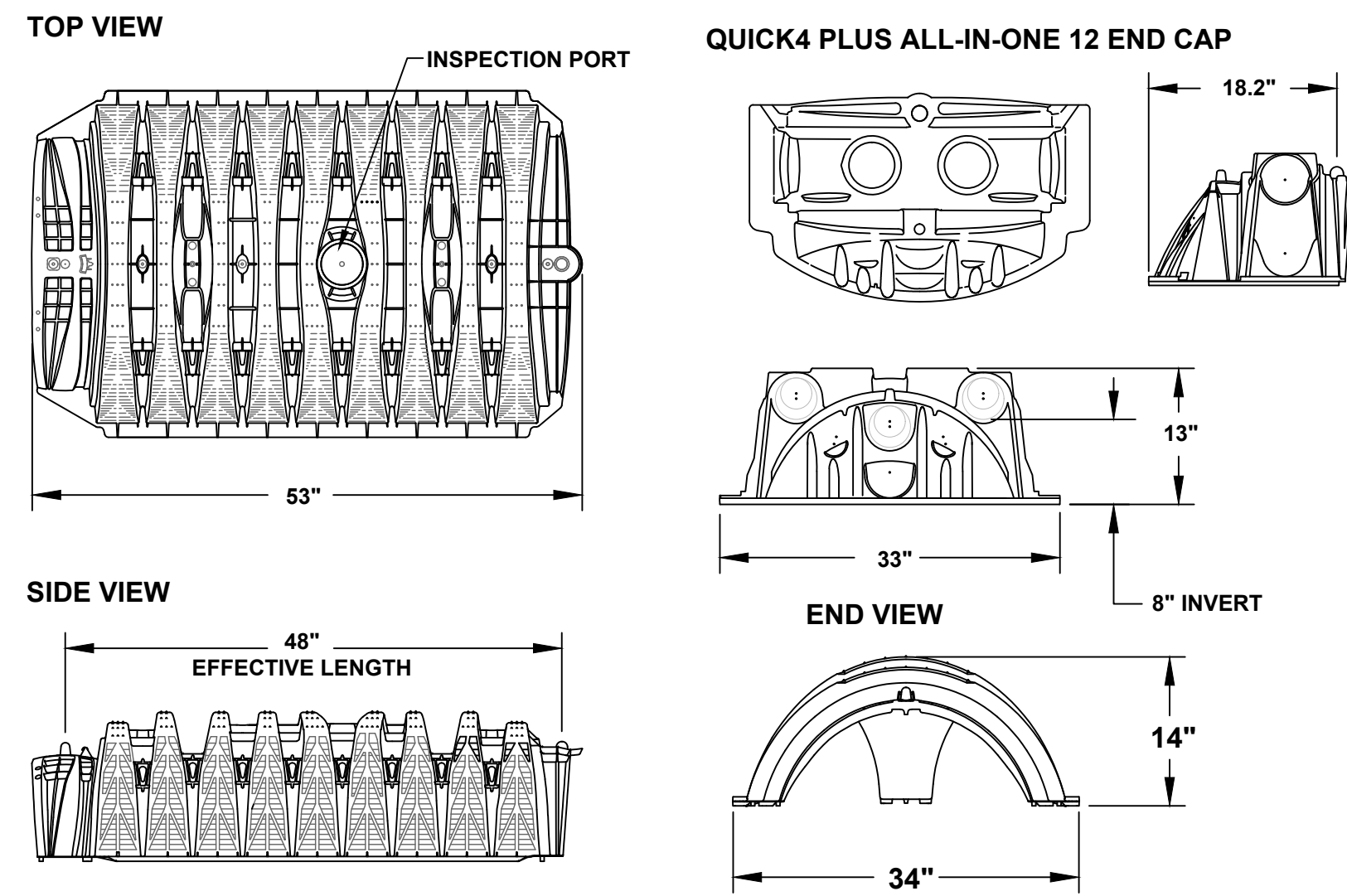
3
S-8



INFILTRATOR WATER SYSTEMS HIGH CAPACITY (H2O) CHAMBER TRENCH DETAIL

SCALE: N.T.S.

4
S-8



MINIMUM SEPTIC TANK CAPACITIES

MINIMUM SEPTIC TANK CAPACITY = 1.5 TIMES THE DESIGN FLOW RATE
1.5 X 315 GPD = 472.5 GALLONS
1,250 GALLONS PROVIDED

SEPTIC CALCULATIONS

DESIGN FLOW = 21 EMPLOYEES @ 15 GPD PER EMPLOYEE = 315 GPD
PERCOLATION RATE: 45-60 MIN.

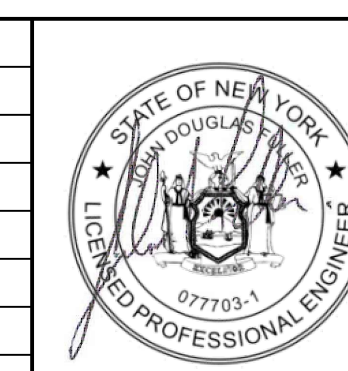
TRENCH LENGTH REQUIRED = 315 GPD/0.45/2 = 350 L.F.

6 ROWS PROVIDED @ 60 = 360 L.F.



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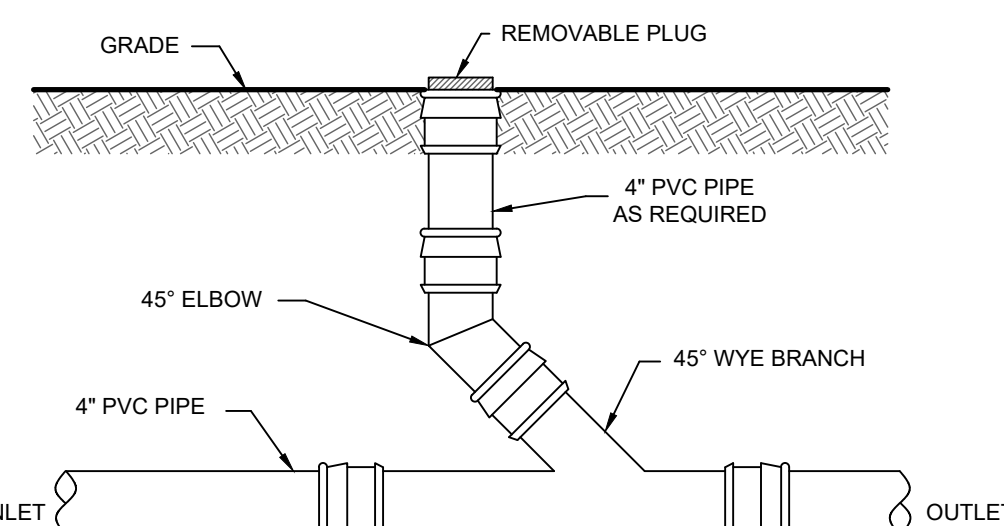
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SITE PLAN FOR
TRADE TRANS CORPORATION
173 BLACK MEADOW ROAD
SECTION 6 BLOCK 1 LOT 106
TOWN OF CHESTER, NY

DWG TITLE	DWG NO.
SEPTIC DETAILS	S-8
SCALE AS NOTED	JOB NO. 1713.003

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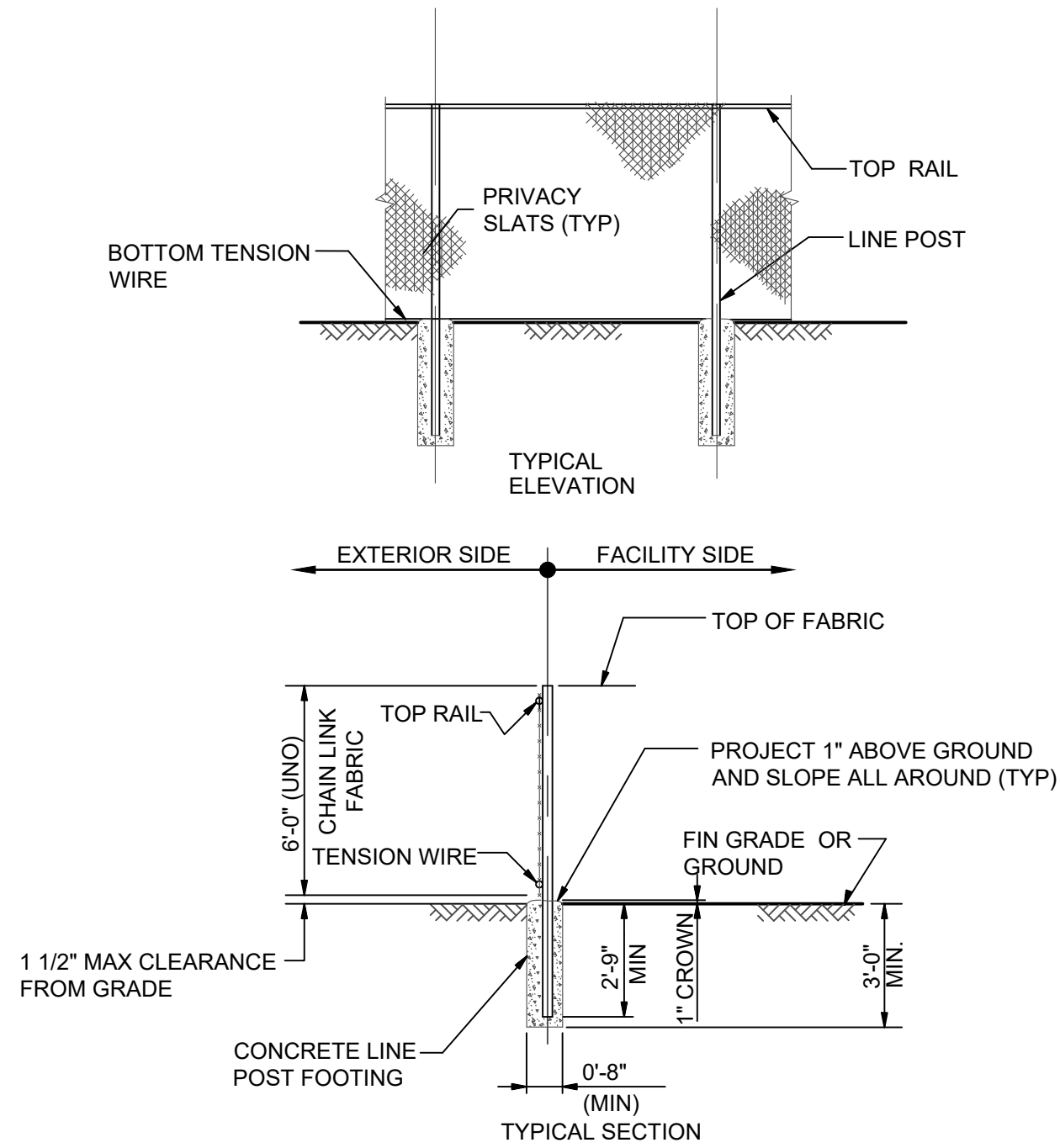
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TYPICAL CLEANOUT DETAIL

SCALE: N.T.S.

5
S-8



TYPICAL CHAIN LINK FENCE DETAIL

SCALE: N. T. S.

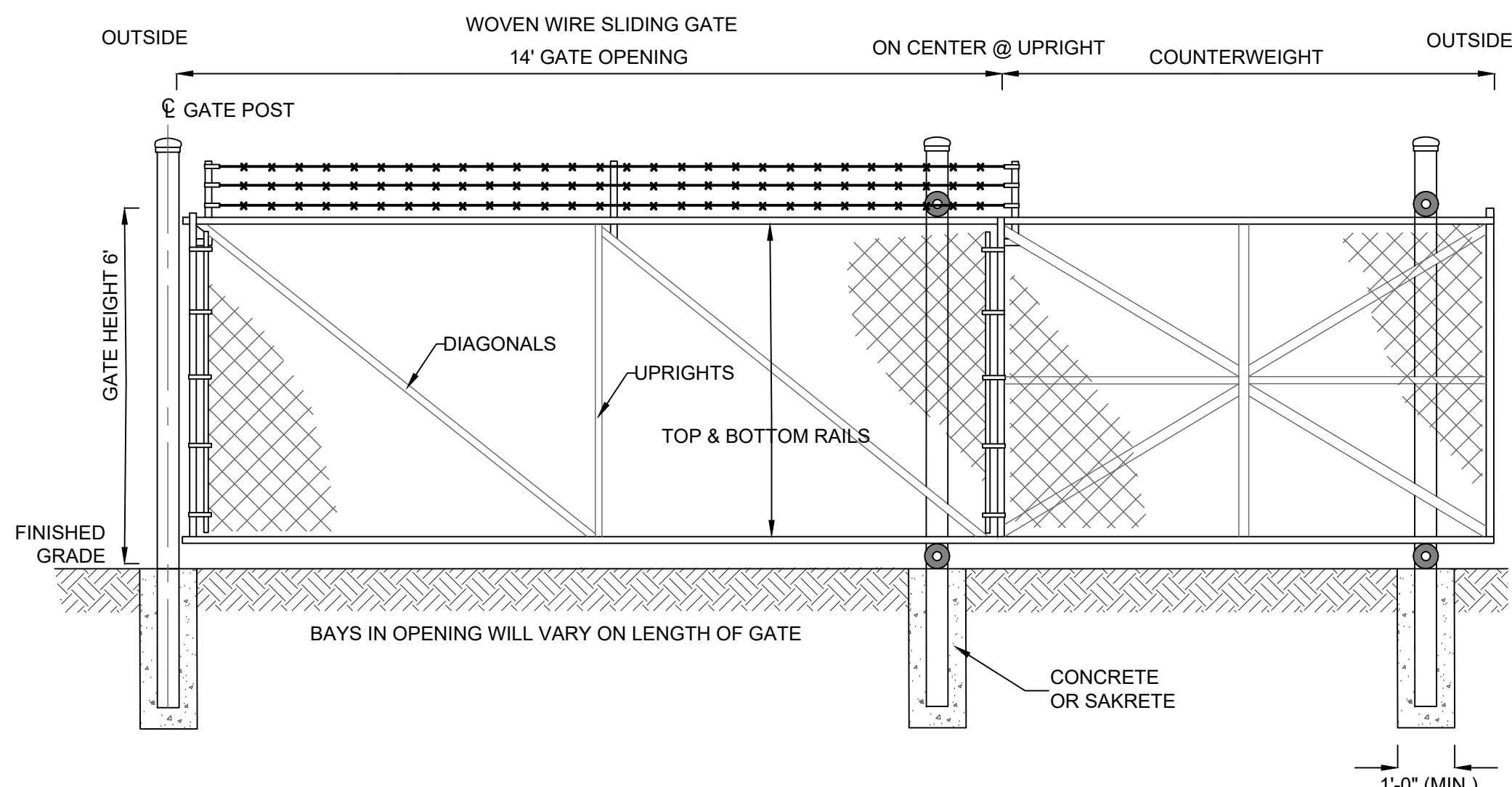
1

S-9

TYPICAL WOVEN WIRE FENCING NOTES

(INSTALL FENCING PER ASTM F-567)

1. LINE POST: 2-3/8"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
2. TOP RAIL & BRACE RAIL: 1 1/4"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
3. FABRIC: 11 GA. CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392 CLASS 1.
4. TIE WIRE: MINIMUM 11 GA GALVANIZED STEEL INSTALL A SINGLE WRAP TIE WIRE AT POSTS AND RAILS AT MAX. 24" INTERVALS. INSTALL HOG RINGS ON TENSION WIRE AT 24" INTERVALS.
5. TENSION WIRE: 7 GA. GALVANIZED STEEL.
6. HEIGHT = 4' VERTICAL.
7. LINE POSTS ARE 5' O.C. NOMINAL AND NOT TO EXCEED 10'.
8. ALL WORK SHALL CONFORM WITH THE PROJECT SPECIFICATIONS.

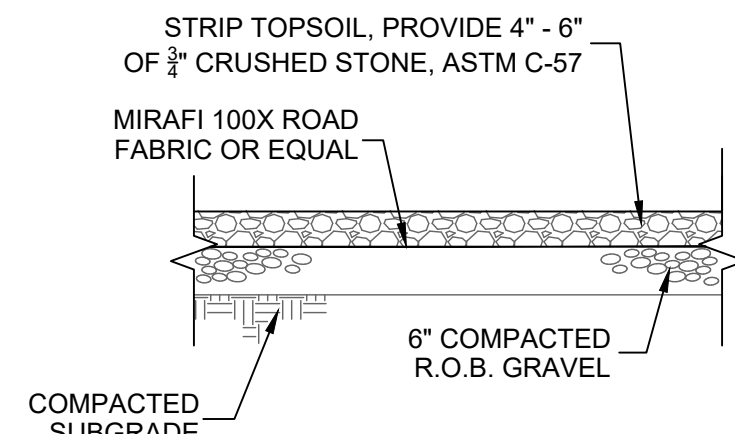


CHAIN LINK SLIDING GATE DETAIL

SCALE: NONE

2

S-9



GRAVEL PARKING DETAIL

SCALE: N. T. S.

3

S-9

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