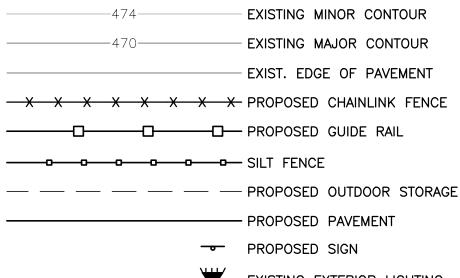




LEGEND



EXISTING EXTERIOR LIGHTING PROPOSED NORWAY SPRUCE

PROPOSED CANADIAN HEMLOCK

PROPOSED FORSYTHIA



NEW YORK STATE SOIL EROSION AND SEDIMENT CONTROL NOTES:

- ANY DISTURBED AREAS THAT ARE LEFT EXPOSED FOR MORE THAN FOURTEEN (14) DAYS, AND ARE NOT SUBJECT TO CONSTRUCTION TRAFFIC MUST IMMEDIATELY RECIEVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR AN EQUIVALENT MATERIAL. THE SEEDING WILL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS.
- 2. ANY GRADED AREAS NOT SUBJECT TO FURTHER DISTURBANCE OR CONSTRUCTION TRAFFIC SHALL RECIEVE PERMANENT VEGITATIVE COVER IN COMBINATION WITH SUITABLE MULCH WITHIN TEN (10) DAYS AS PER THE SPECIFICATION.
- 3. PAVED ROADWAYS SHALL BE KEPT CLEAN AT ALL TIMES.
- 4. STORMWATER FROM DISTURBED AREAS MUST BE PASSED THROUGH A PROTECTIVE (SILT SOXX) BARRIER OR OTHER CONTROL DEVICE BEFORE BEING DISCHARHED BEYOND DISTURBED AREAS, IN TO INLETS, OR IN TO OTHER DRAINAGE SYSTEMS.
- 5. THE CONTRACTOR SHALL INSPECT THE EFFECTIVENESS AND CONDITION OF EROSION CONTROL DEVICES DURING STORM EVENTS, AFTER EACH RAINFALL OF ONE-HALF INCH $(\frac{1}{2})$ MAGNITUDE OR GREATER, PRIOR TO WEEKENDS, AND PRIOR TO FORECASTED STORM EVENTS.
- 6. THE CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED EROSION CONTROL DEVICES IMMEDIATELY AND IN NO CASE, MORE THAN TWENTY-FOUR (24) HOURS AFTER OBSERVING SUCH DEFICIENCIES.
- 7. THE CONTRACTOR SHALL BE PREPARED TO IMPLEMENT INTERIM DRAINAGE CONTROL AND EROSION CONTROL MEASURES AS MAY BE NECESSARY DURING THE COURSE OF CONSTRUCTION.
- 8. THE CONTRACTOR SHALL MAKE AVAILIBLE ONSITE ALL EQUIPMENT, MATERIALS AND LABOR NECESSARY TO EFFECT EMERGENCY EROSION CONTROL AND DRAINAGE IMPROVEMENTS WITHIN FOUR (4) HOURS OF ANY IMPENDING EMERGENCY SITUATION.
- 9. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH NEW YORK STANDARDS & SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (NYSDEC, AUG. 2005)
- 10. THE TOWN OF CHESTER OR DESIGN ENGINEER MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE THE POTENTIAL FOR ONSITE OR OFFSITE EROSION PROBLEMS THAT MAY OCCUR DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITHT THESE MEASURES.

GENERAL NOTES:

MINIMUM OFFSTREET PARKING: AS PER SECTION 98-22,

OFFICE REQUIRES "ONE (1) PER TWO-HUNDRED (200) SQUARE FEET OF FLOOR AREA AND THEN ONE (1) PER THREE-HUNDRED (300) SQUARE FEET OF ANY ADDITIONAL FLOOR AREA."

TOTAL FLOOR AREA = 2092 SQ.FT. PER SPACE = 10.45 SPACES = 11 SPACES.

TOTAL SPACES PROVIDED: 12 SPACES

<u>PARKING:</u>

THERE ARE NO CUSTOMERS THAT COME TO THIS BUSINESS. ALL PARKING IS FOR EMPLOYEES AND BUSINESS VEHICLES.

VEHICLE PARKING SHALL BE LIMITED TO CARS, SMALL TRUCKS, AND CARGO VANS ONLY.

NO UNREGISTERED, WRECKED, OR PARTIALLY DISMANTLED MOTOR VEHICLE OF ANY TYPE OR DESIGN SHALL BE PERMITTED TO BE PARKED OR LEFT STANDING IN ANY YARD OF ANY DISTRICT.

THERE SHALL BE NO TRACTOR TRAILERS BACKING INTO THIS DRIVEWAY FROM LEHIGH AVENUE UNDER ANY CIRCUMSTANCE.

SIGN NOTES:

AS PER SECTION 98-21(c),

- 1(a) "FOR EACH ESTABLISHMENT, ONE IDENTITY SIGN FOR EACH STREET FRONTAGE, EACH WITH A MAXIMUM AREA OF ONE SQUARE FOOT FOR EACH LINEAR FOOT OF A BUILDING FACADE WHICH FRONTS ON A STREET.
 - = 52 SQ.FT. MAXIMUM

- 2(a) SIGNS MAY BE FLAT WALL SIGNS LOCATED ANYWHERE ON THE SURFACE OF THE BUILDING, BUT IN NO CASE SHALL THEY PROJECT ABOVE THE ROOF LINE, OR GROUND-MOUNTED SIGNS NOT TO EXCEED FIVE (5) FEET IN HEIGHT AND SET BACK AT LEAST TEN (10) FEET FROM A STREET LINE.
- (b) NO PRODUCTS OR PRODUCT CONTAINERS OR SIGNS SHALL BE CLOSER TO A STREET LINE THAN 20 FEET.

SITE VERIFICATION NOTES:

- 1. PRIOR TO SUBMISSION OF THE BID, THIS CONTRACTOR SHALL VISIT THE JOB SITE TO ASCERTAIN THE ACTUAL FIELD CONDITIONS AS THEY RELATE TO THE WORK INDICATED ON THE DRAWINGS AND DESCRIBED HEREIN. DISCREPANCIES, IF ANY, SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO SUBMISSION OF THE BID, AND IF NOT RESOLVED TO SATISFACTION, SHALL BE SUBMITTED AS A WRITTEN QUALIFICATION OF THE BID. SUBMISSION OF A BID SHALL BE EVIDENCE THAT SITE VERIFICATION HAS BEEN PERFORMED AS DESCRIBED ABOVE.
- 2. THE LOCATION OF ALL UTILITIES MUST BE VERIFIED.
- 3. THERE ARE NO WETLANDS LOCATED ON PROPERTY.
- 4. NO CONSTRUCTION SHALL TAKE PLACE DURING TIMBER RATTLESNAKE MOVEMENT PERIOD (MARCH 30 THROUGH OCTOBER 30)

SEWAGE DISPOSAL NOTES:

THE EXISTING SEPTIC SYSTEM WAS HYDRAULICALLY TESTED ON SEPTEMBER 16, 2017 FOR THE USE AS CURRENTLY DESIGNED, THERE WAS NO SIGN OF FAILURE OR MALFUNCTION. THE SYSTEM IS FUNCTIONING PROPERLY.

EXCAVATION:

AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE NEW YORK ONE CALL SYSTEM INCORPORATED AT 1-800-962-7962 FOR BURIED UTILITIES LOCATIONS.

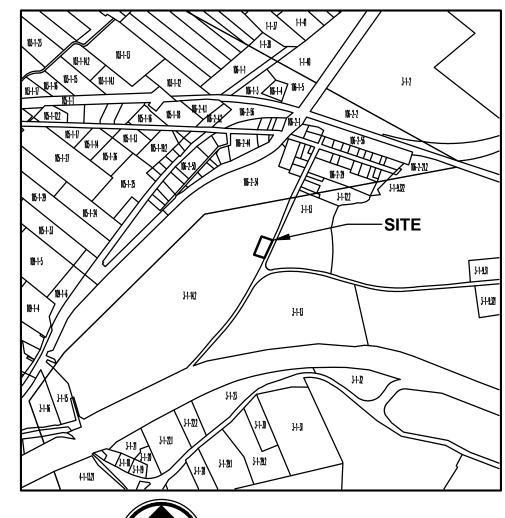
HOURS OF COMMERCIAL OPERATIONS:

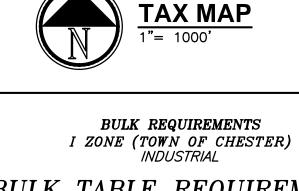
MONDAY - FRIDAY: 7:00 AM TO 6:00 PM

<u>SATURDAY</u>: CLOSED

SUNDAY: 7:00 AM TO 6:00 PM

THE ABOVE HOURS ARE IN REGARDS TO COMMERCIAL OPERATIONS (I.E. FOR DELIVERIES, PICKUPS, ETC.) OFFICE PERSONNEL FROM TIME TO TIME MAY PERFORM OFFICE WORK LATER THAN THE HOURS OF COMMERCIAL OPERATIONS.





BULK TABLE REQUIREMENTS MINIMUM REQUIRED

BULK ITEM <u>REQUIRED</u> <u>PROVIDED</u> LOT AREA LOT WIDTH 72.7* FRONT SETBACK (FT) REAR SETBACK 50.4* ONE SIDE >70 >140 BOTH SIDES

MAXIMUM PERMITTED BULK ITEM <u>PROVIDED</u> <u>PERMITTED</u> 18.5 BLDG. COVERAGE(%) BLDG. HEIGHT (FT)

> * DENOTES EXISTING NON-CONFORMING PROPERTY ADDRESS

> > 191 LEHIGH AVENUE CHESTER, NY 10918

TAX MAP SECTION 3, BLOCK 1, LOT 14.1 TOWN OF CHESTER, NY

> OWNER & DEVELOPER JOEL SCHREIBER 191 LEHIGH AVENUE CHESTER, NY 10918

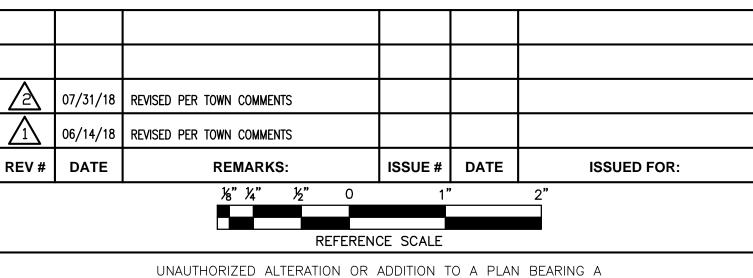
EXISTING USE

COMMERCIAL/RESIDENTIAL PROPOSED USE

CONTRACTOR'S STORAGE, OFFICES AND BUILDINGS AND OUTDOOR STORAGE OF EQUIPMENT WITH ACCESSORY CARETAKER'S OR WATCHMAN'S DWELLING PER SECTION 98-9(J)

REFERENCE

SURVEY BY EDWARD T. GANNON, P.L.S. ENTITLED "SURVEY OF PROPERTY PREPARED FOR 191 LEHIGH AVENUE" DATED FEBRUARY 27, 2017.



LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.



22 Mulberry St., Suite 2A, Middletown, NY 10940 t 845-343-1481 fx 845-343-4986

g Safely. New York

181 Church St., Suite 100, Poughkeepsie, NY 12601 t 845-454-9704 fx 855-320-8735

LEHIGH AVENUE SITE PLAN CHESTER, NY SITE PLAN

SAR

191 LEHIGH AVENUE

SAR ACL C-101 03/21/2018 AS SHOWN 18-055 PAGE 1 OF 4



LEGEND & SCHEDULE OF SITE LIGHTING FIXTURES								
SYMBOL	MANUFACTURER	MODEL#	DESCRIPTION					
A €	E-CONOLIGHT	E-HL8F15N2Z	LED FLOOD LIGHT, WALL MOUNTED 14' A.F.G., 13,200 LUMENS					
В ∢	E-CONOLIGHT	E-WFT04A-N40Z	LED WALL—PACK, 4,600 LUMENS, MOUNTED 12' A.F.G.					
c €	E-CONOLIGHT	E-GL5MFL07N2Z	LED DUAL FIXTURE SPOT FLOOD LIGHT, 10'A.F.G., 7,600 LUMENS (PER FIXTURE).					
D €	E-CONOLIGHT	E-FFA26A-TW40Z	(4)LED AREA LIGHT, WALL MOUNTED 19' A.F.G., 26,500 LUMENS					



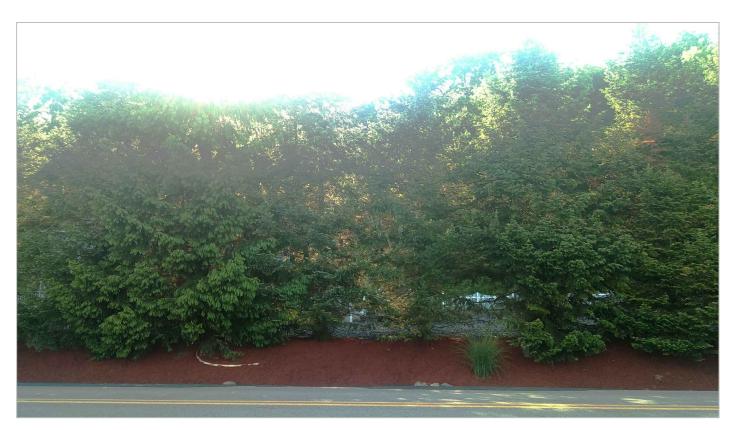
VIEW "A"- LOOKING FROM PROPERTY TOWARDS LEHIGH AVE.



VIEW "C"- LOOKING FROM LEHIGH AVE. TOWARDS PROPERTY

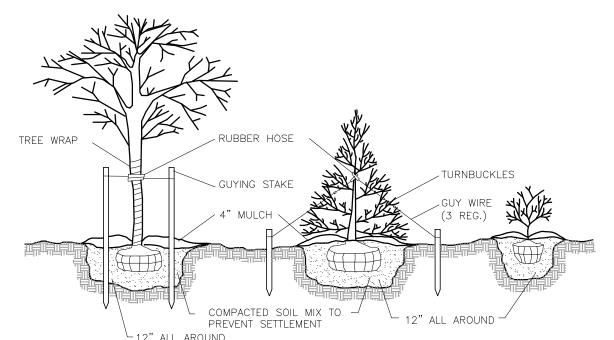


VIEW "B"- LOOKING FROM PROPERTY TOWARDS LEHIGH AVE.



VIEW "D"- LOOKING FROM LEHIGH AVE. TOWARDS PROPERTY

PLANT SCHEDULE									
SYMBOL	TYPE	QTY.	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE	SPACING			
**	EVERGREEN	11	Picea Abies	Norway Spruce	7' – 8' HEIGHT	8' O.C.			
	EVERGREEN	13	Tsuga canadensis 'Pendula'	Weeping Canadian Hemlock	36" spread	AS SHOWN ON PLAN			
	DECIDUOUS SHRUB	14	Forsythia x Intermedia	Spring Glory Forsythia	36-48" HEIGHT	5' O.C.			

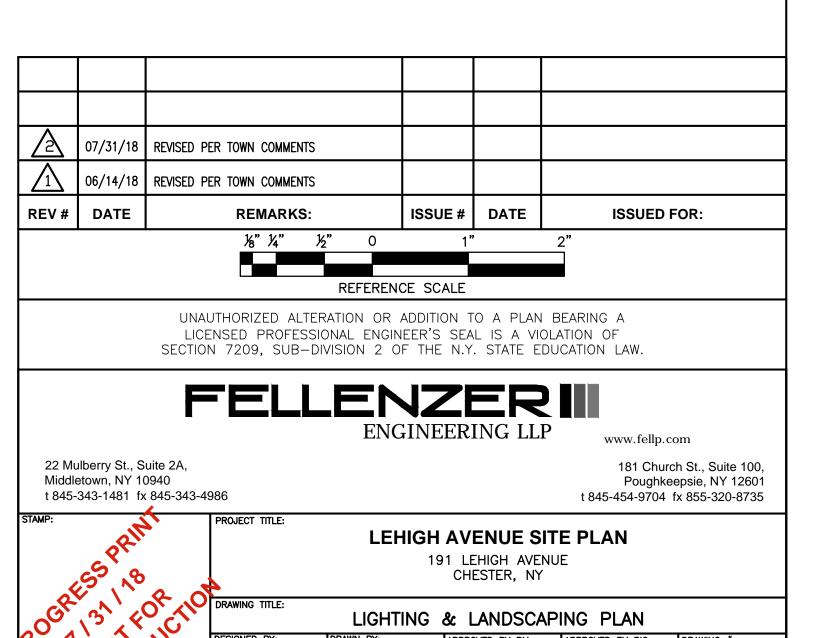


DECIDUOUS TREES SHRUBS **EVERGREEN TREES** PLANTING & GUYING DETAIL

N.T.S.

GENERAL PLANTING NOTES:

- 1. PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER FINAL ACCEPTANCE OF PROJECT PLANTING. DEAD, DYING, UNHEALTHY AND/OR PLANTS IN POOR CONDITION SHALL BE REPLACED IN THE SAME PLANTING SEASON THAT THE LANDSCAPE ARCHITECT HAS DEEMED THE PLANT UNACCEPTABLE. PLANTINGS THAT REQUIRE REPLACEMENT SHALL BE REMOVED AND REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- 2. EXISTING VEGETATION AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE TOPSOILED AND SEEDED UPON COMPLETION OF WORK.
- 3. NEW PLANTING ROOT BALLS REMOVED FROM CANS SHALL BE SCARIFIED PRIOR TO BACKFILLING THE PLANT.
- 4. ALL PLANTINGS SHOWN ON APPROVED SITE DEVELOPMENT PLAN OR SPECIAL PERMIT PLAN SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF USE AND PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT IMMEDIATELY FOLLOWING GROWING SEASON.
- 5. FOR PLANTING OPERATION, STANDARDS AND MATERIALS SEE SPECIFICATIONS.
- 6. CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LIMITS OF WORK AND EXISTING CONDITIONS AND VERIFY ALL INFORMATION. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN (7) CALENDAR DAYS OF NOTICE TO PROCEED.
- 7. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES AND OBTAIN AS—BUILT INFORMATION. DRAWINGS WERE PREPARED ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN (7) CALENDAR DAYS OF NOTICE TO PROCEED OF ANY DISCREPANCIES.
- 8. CONTRACTOR SHALL NOTIFY ALL NECESSARY UTILITY COMPANIES 48 HOURS MINIMUM PRIOR TO DIGGING FOR VERIFICATION OF ALL UNDERGROUND UTILITIES AND OTHER OBSTRUCTIONS AND COORDINATE WITH OWNER'S REPRESENTATIVE IN WRITING PRIOR TO INITIATING OPERATIONS.
- 9. TYPICALLY, SHRUB AND GROUNDCOVER PLANTINGS ARE SHOWN AS MASS PLANTING BEDS. PLANTS SHALL BE PLACED ON A TRIANGULAR SPACING CONFIGURATION (STAGGERED SPACING). PLANT CENTER TO CENTER DIMENSIONS (O.C.) ARE LISTED ON THE PLANT LIST.
- 10. CONTRACTOR SHALL FIELD STAKE THE LOCATIONS OF ALL PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.
- 11. CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO ALL EXISTING UNDERGROUND UTILITIES AND/OR EXISTING ABOVE GROUND ELEMENTS. ALL CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE
- 12. ALL TREES PLANTED IN LAWN AREA SHALL RECEIVE A 4' DIAMETER MULCH RING AT A DEPTH OF 4" AS PER THE SPECIFICATIONS.
- 13. PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE. IN THE EVENT OF QUANTITY DISCREPANCIES, THE DRAWING SHALL TAKE PRECEDENCE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- 14. CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANT LIST, GENERAL NOTES AND SPECIFICATIONS FOR FURTHER AND COMPLETE INSTRUCTIONS.



SAR

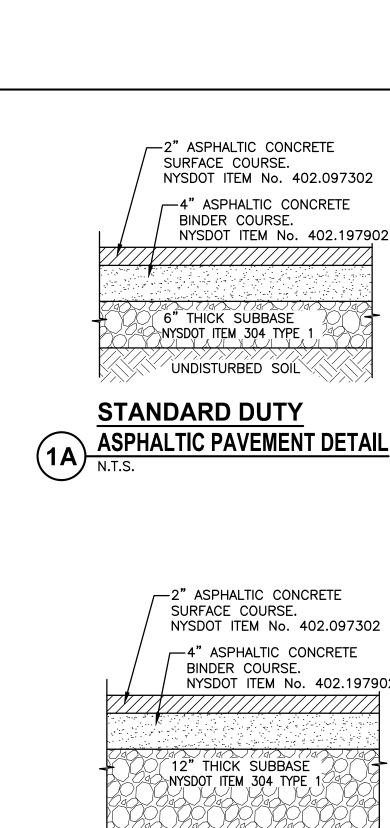
AS SHOWN

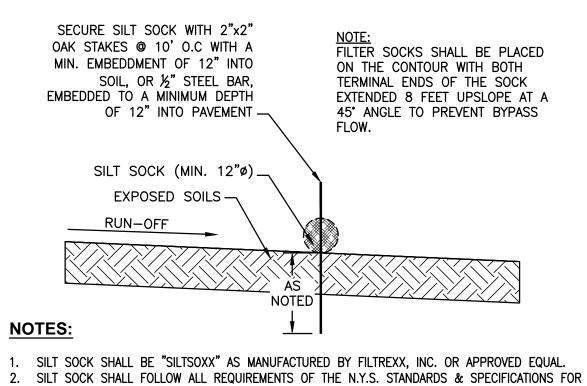
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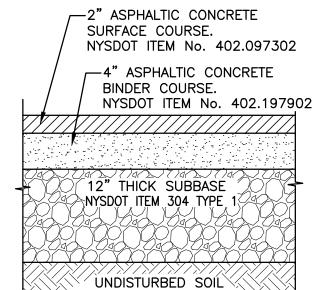
EROSION AND SEDIMENT CONTROL, JULY 2016, PAGES 5.7 - 5.9 INCLUSIVE.

SILT SOCK DETAIL

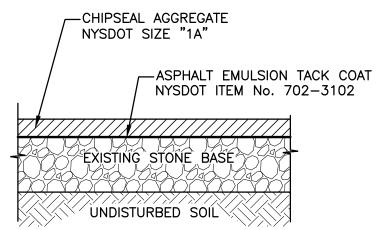
----PAVEMENT VINYL SIDED DUMPSTER -PIPE SIZE AS REQUIRED ENCLOSURE & GATE. SEE VINYL FENCE DETAIL FOR FURTHER INFORMATION. RUN SAND & GRAVEL OR OTHER SUITABLE MATERIAL. -15"ø R.C.P. WITH 4000 PSI CONCRETE WITH -MINIMUM OF 6" R.O.B. GRAVEL BELOW PIPE 6x6 W2.9xW2.9 WIRE MESH NOTE: PIPE SLOPE SHALL BE 2% MINIMUM ACROSS DRIVEWAY.

VINYL FENCE & GATE DUMPSTER ENCLOSURE

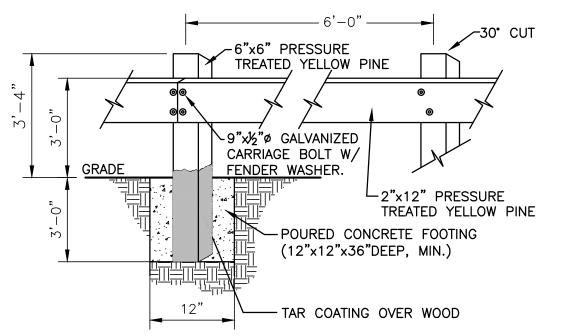
CULVERT INSTALLATION DETAIL



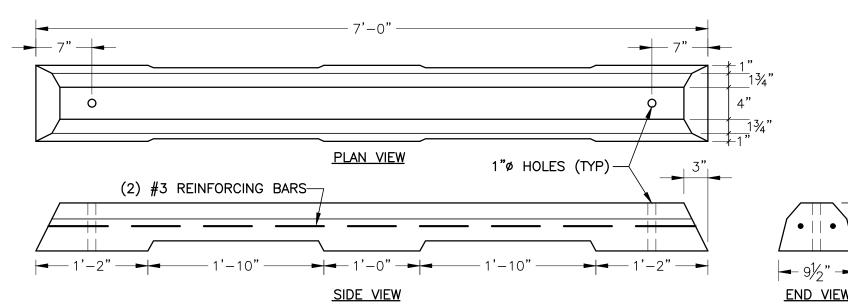
DRIVEWAY APRON **ASPHALTIC PAVEMENT DETAIL**



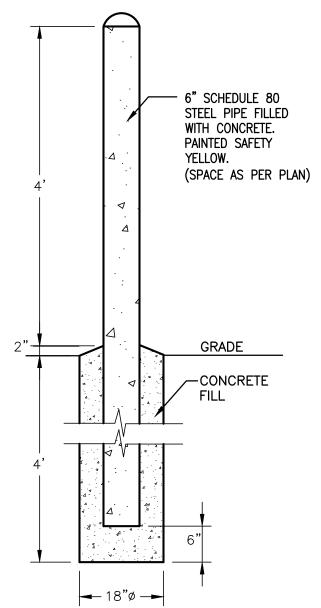
CHIPSEAL PARKING LOT ASPHALTIC TREATMENT DETAIL N.T.S.

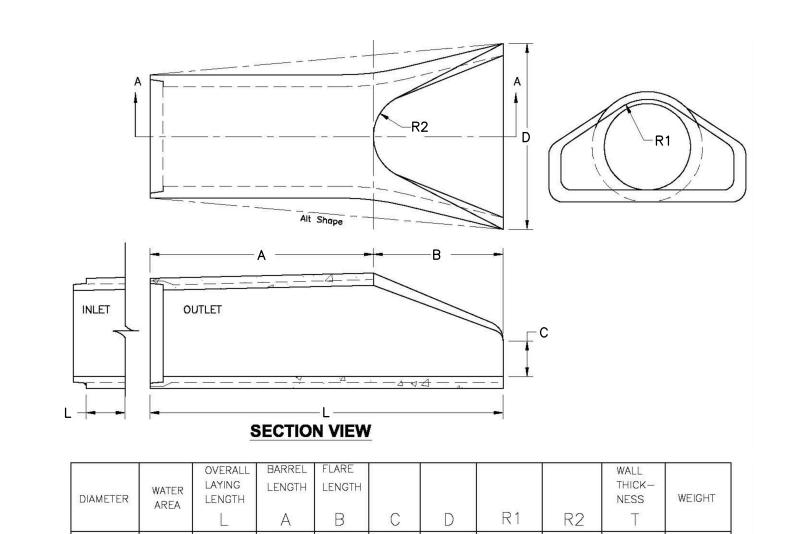


TIMBER GUIDE RAIL DETAIL



CONCRETE BUMPER BLOCK DETAIL





inch

inch

inch

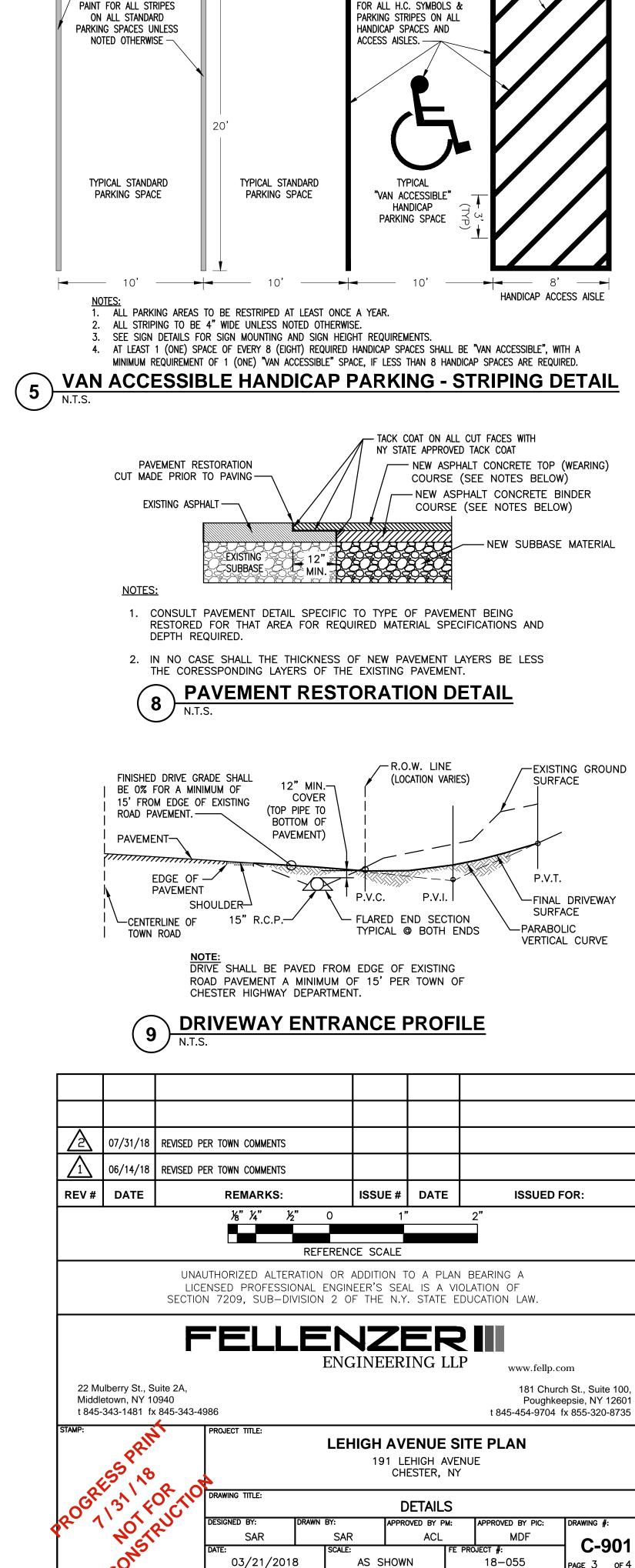
2.1/4

inch



ft-in

ft-in



"NO PARKING ANY TIME"-

UTILIZE BLUE STRIPING PAINT

"HANDICAPPED PARKING ONLY"

EDGE OF PAVEMENT/CURB LINE

