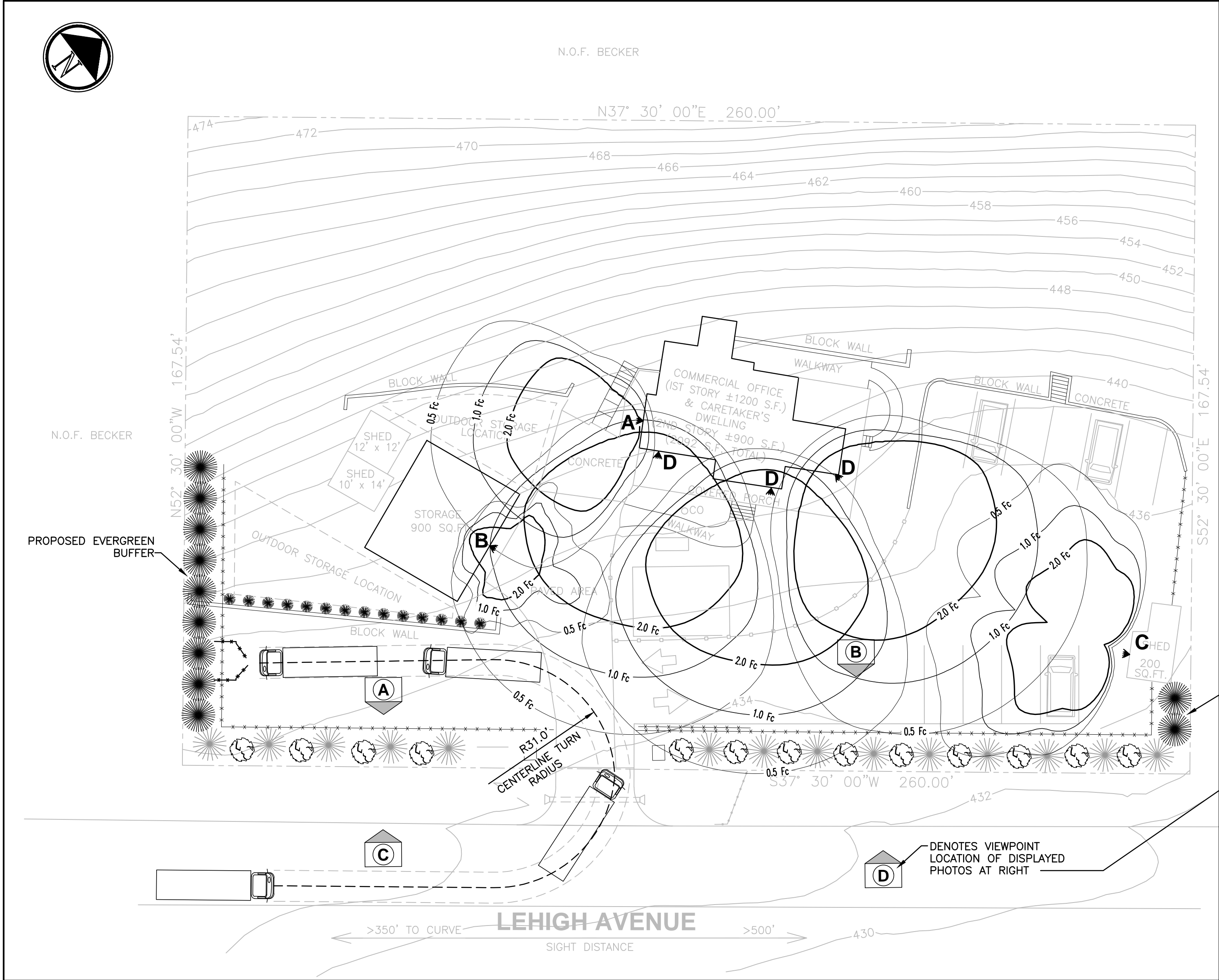


File Name: F:\2018\18-055 Werberger Site Plan\DWG\C-601.dwg
Date: Tue, Jul 31, 2018 - 5:52 AM (Name: sar)



1 SITE LIGHTING & LANDSCAPING PLAN
1" = 20'

LEGEND & SCHEDULE OF SITE LIGHTING FIXTURES			
SYMBOL	MANUFACTURER	MODEL#	DESCRIPTION
A	E-CONOLIGHT	E-HL8F15N2Z	LED FLOOD LIGHT, WALL MOUNTED 14' A.F.G., 13,200 LUMENS
B	E-CONOLIGHT	E-WFT04A-N40Z	LED WALL-PACK, 4,600 LUMENS, MOUNTED 12' A.F.G.
C	E-CONOLIGHT	E-GL5MFL07N2Z	LED DUAL FIXTURE SPOT FLOOD LIGHT, 10'A.F.G., 7,600 LUMENS (PER FIXTURE).
D	E-CONOLIGHT	E-FFA26A-TW40Z	(4)LED AREA LIGHT, WALL MOUNTED 19' A.F.G., 26,500 LUMENS

GENERAL PLANTING NOTES:

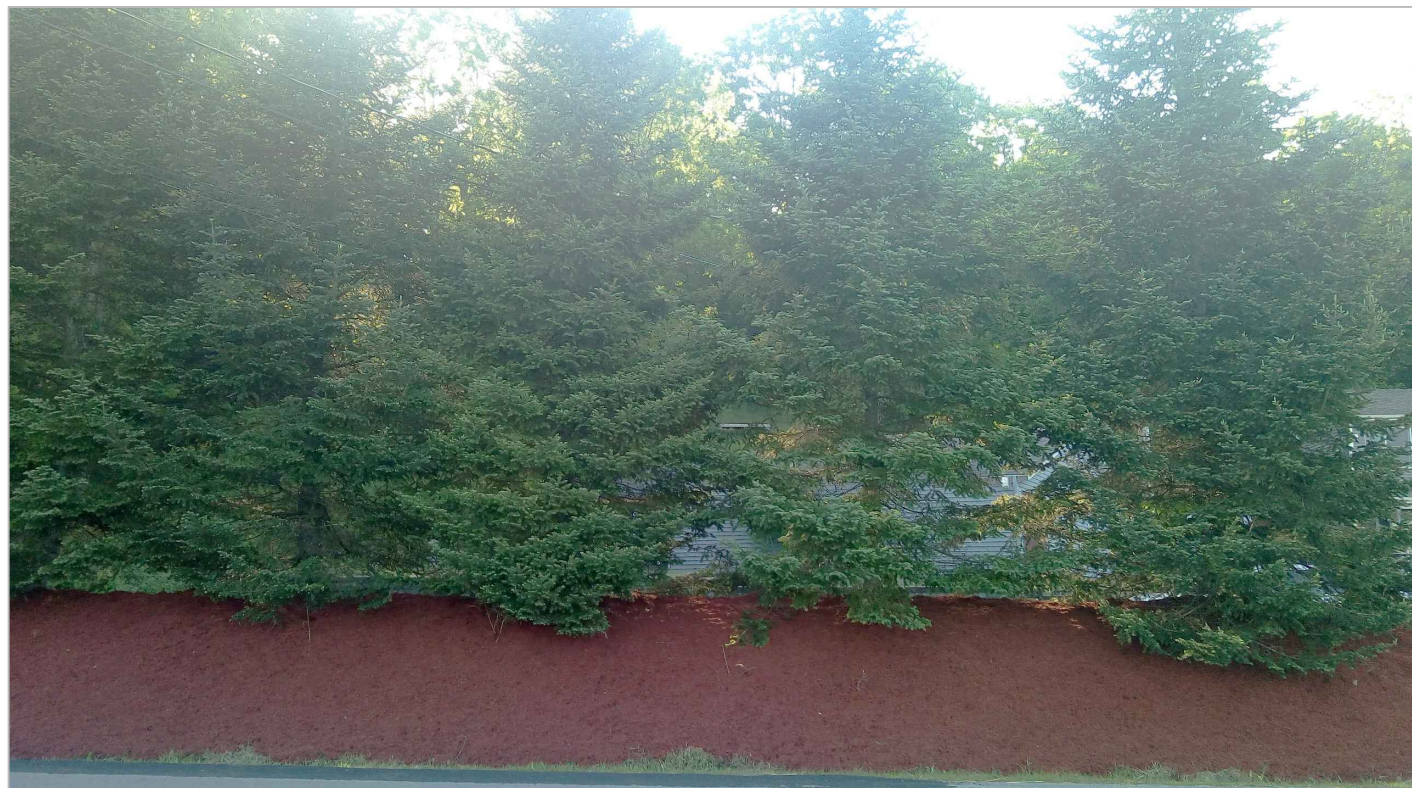
- PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER FINAL ACCEPTANCE OF PROJECT PLANTING. DEAD, DYING, UNHEALTHY AND/OR PLANTS IN POOR CONDITION SHALL BE REPLACED IN THE SAME PLANTING SEASON THAT THE LANDSCAPE ARCHITECT HAS DEEMED THE PLANT UNACCEPTABLE. PLANTINGS THAT REQUIRE REPLACEMENT SHALL BE REMOVED AND REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- EXISTING VEGETATION AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE TOPSOILED AND SEEDED UPON COMPLETION OF WORK.
- NEW PLANTING ROOT BALLS REMOVED FROM CANS SHALL BE SCARIFIED PRIOR TO BACKFILLING THE PLANT.
- ALL PLANTINGS SHOWN ON APPROVED SITE DEVELOPMENT PLAN OR SPECIAL PERMIT PLAN SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF USE AND PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT IMMEDIATELY FOLLOWING GROWING SEASON.
- FOR PLANTING OPERATION, STANDARDS AND MATERIALS SEE SPECIFICATIONS.
- CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LIMITS OF WORK AND EXISTING CONDITIONS AND VERIFY ALL INFORMATION. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN (7) CALENDAR DAYS OF NOTICE TO PROCEED.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES AND OBTAIN AS-BUILT INFORMATION. DRAWINGS WERE PREPARED ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN (7) CALENDAR DAYS OF NOTICE TO PROCEED OF ANY DISCREPANCIES.
- CONTRACTOR SHALL NOTIFY ALL NECESSARY UTILITY COMPANIES 48 HOURS MINIMUM PRIOR TO DIGGING FOR VERIFICATION OF ALL UNDERGROUND UTILITIES AND OTHER OBSTRUCTIONS AND COORDINATE WITH OWNER'S REPRESENTATIVE IN WRITING PRIOR TO INITIATING OPERATIONS.
- TYPICALLY, SHRUB AND GROUNDCOVER PLANTINGS ARE SHOWN AS MASS PLANTING BEDS. PLANTS SHALL BE PLACED ON A TRIANGULAR SPACING CONFIGURATION (STAGGERED SPACING). PLANT CENTER TO CENTER DIMENSIONS (O.C.) ARE LISTED ON THE PLANT LIST.
- CONTRACTOR SHALL FIELD STAKE THE LOCATIONS OF ALL PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO ALL EXISTING UNDERGROUND UTILITIES AND/OR EXISTING ABOVE GROUND ELEMENTS. ALL CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
- ALL TREES PLANTED IN LAWN AREA SHALL RECEIVE A 4' DIAMETER MULCH RING AT A DEPTH OF 4" AS PER THE SPECIFICATIONS.
- PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE. IN THE EVENT OF QUANTITY DISCREPANCIES, THE DRAWING SHALL TAKE PRECEDENCE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANT LIST, GENERAL NOTES AND SPECIFICATIONS FOR FURTHER AND COMPLETE INSTRUCTIONS.



VIEW "A"- LOOKING FROM PROPERTY TOWARDS LEHIGH AVE.



VIEW "B"- LOOKING FROM PROPERTY TOWARDS LEHIGH AVE.

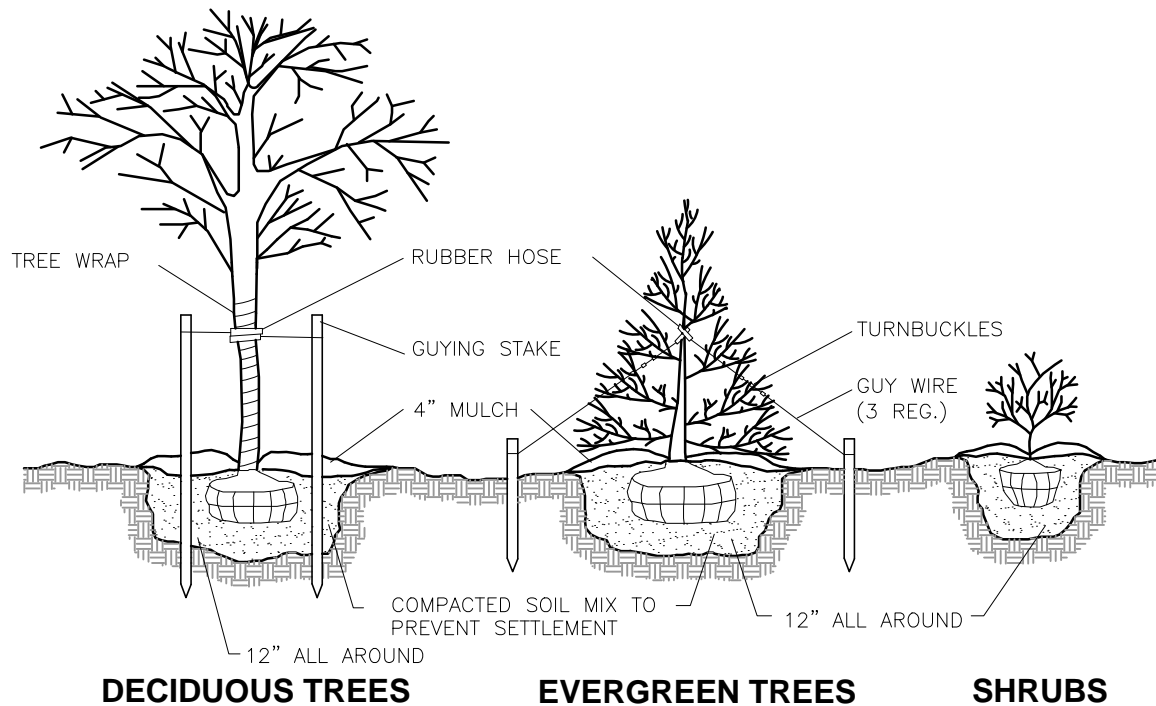


VIEW "C"- LOOKING FROM LEHIGH AVE. TOWARDS PROPERTY



VIEW "D"- LOOKING FROM LEHIGH AVE. TOWARDS PROPERTY

PLANT SCHEDULE						
SYMBOL	TYPE	QTY.	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE	SPACING
	EVERGREEN	11	Picea Abies	Norway Spruce	7' - 8' HEIGHT	8' O.C.
	EVERGREEN	13	Tsuga canadensis 'Pendula'	Weeping Canadian Hemlock	36" spread	AS SHOWN ON PLAN
	DECIDUOUS SHRUB	14	Forsythia x Intermedia	Spring Glory Forsythia	36-48" HEIGHT	5' O.C.



2 PLANTING & GUYING DETAIL
N.T.S.

REV #	DATE	REMARKS:	ISSUE #	DATE	ISSUED FOR:
1	07/31/18	REVISED PER TOWN COMMENTS			
2	06/14/18	REVISED PER TOWN COMMENTS			

1/8" 1/4" 1/2" 0 1" 2"

REFERENCE SCALE

UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.

FELLENZER
ENGINEERING LLP

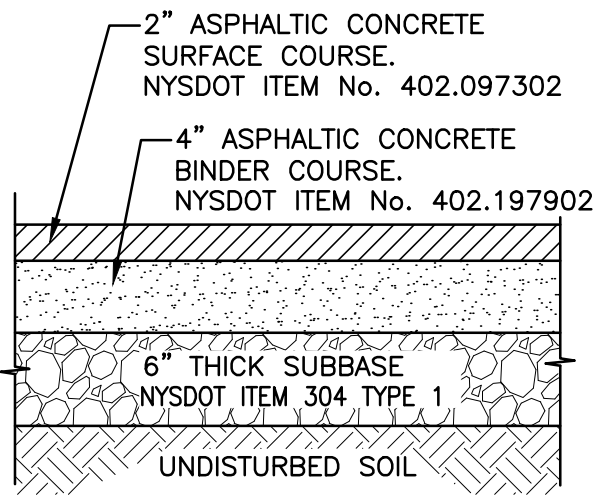
22 Mulberry St., Suite 2A,
Middletown, NY 10940
t 845-343-1481 fx 845-343-4986

181 Church St., Suite 100,
Poughkeepsie, NY 12601
t 845-454-9704 fx 855-320-8735

STAMP: PROJECT TITLE: LEHIGH AVENUE SITE PLAN
191 LEHIGH AVENUE
CHESTER, NY
DRAWING TITLE: LIGHTING & LANDSCAPING PLAN
DESIGNED BY: SAR DRAWN BY: SAR APPROVED BY PM: ACL APPROVED BY PIC: MDF DRAWING #: C-601
DATE: 03/21/2018 SCALE: AS SHOWN FE PROJECT #: 18-055 PAGE 2 OF 4

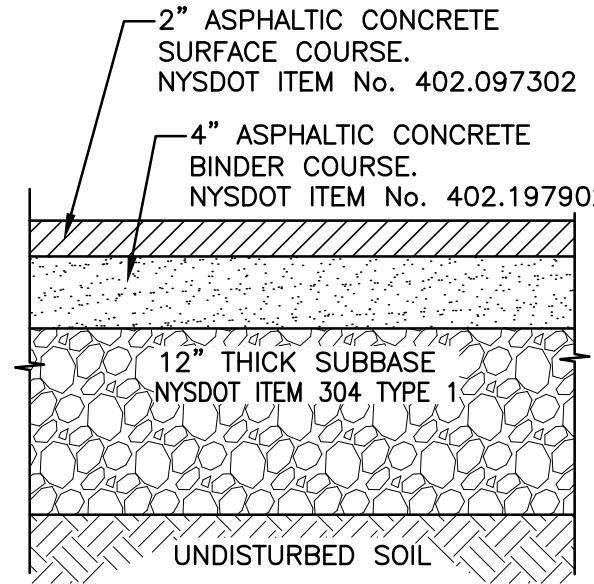


PROGRESS REPORT
7/31/18
NOT FOR CONSTRUCTION



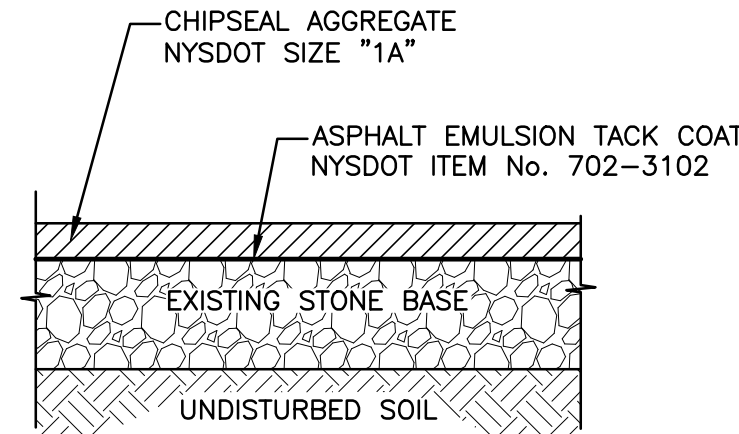
STANDARD DUTY ASPHALTIC PAVEMENT DETAIL

1A
N.T.S.



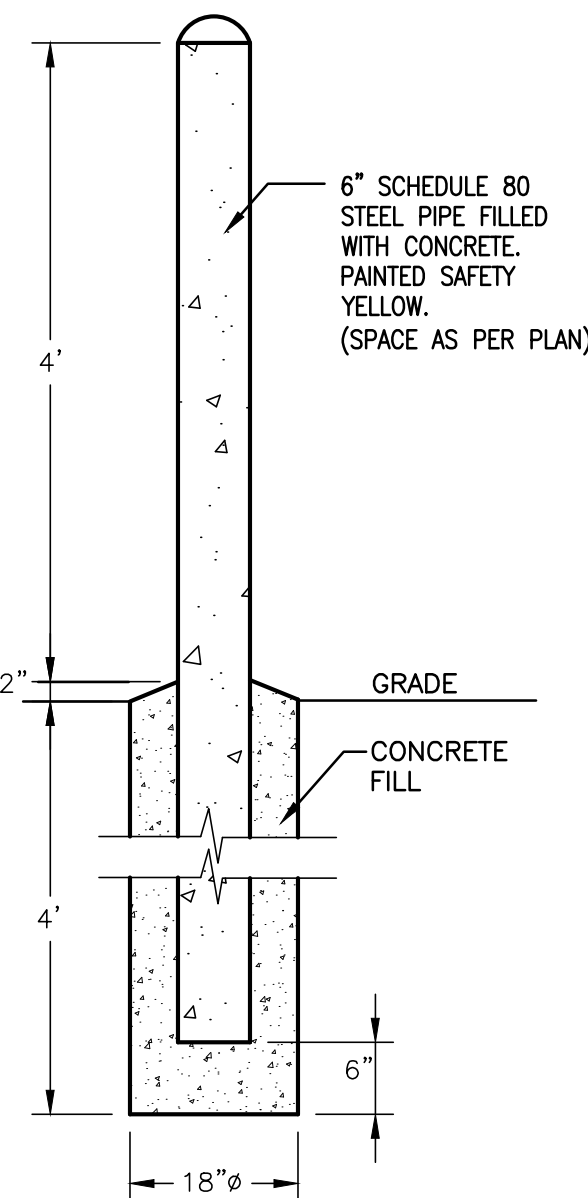
DRIVEWAY APRON ASPHALTIC PAVEMENT DETAIL

1B
N.T.S.



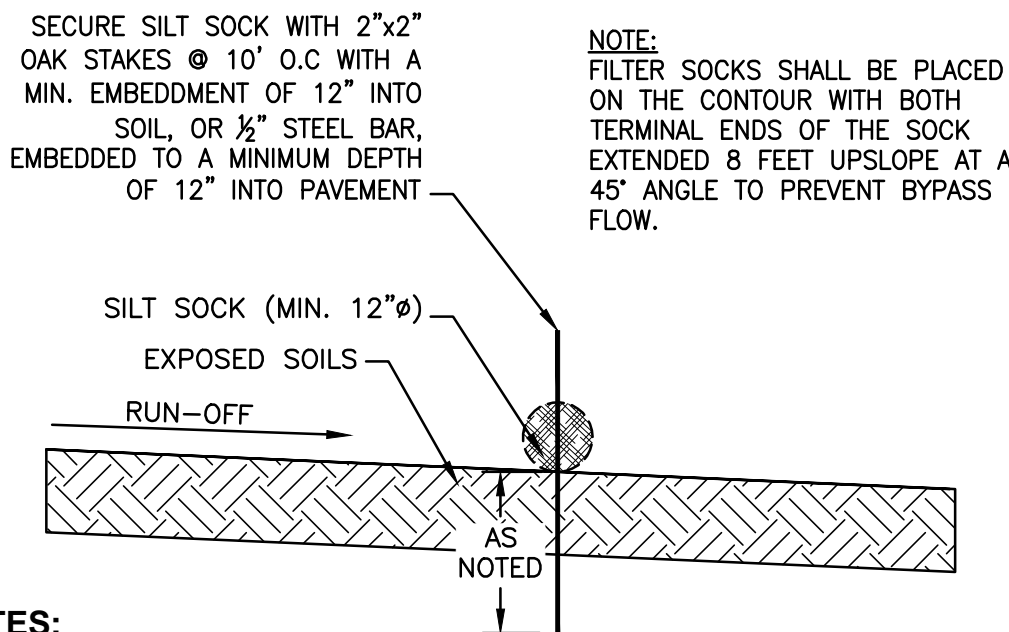
CHIPSEAL PARKING LOT ASPHALTIC TREATMENT DETAIL

1C
N.T.S.



BOLLARD POST DETAIL

N.T.S.

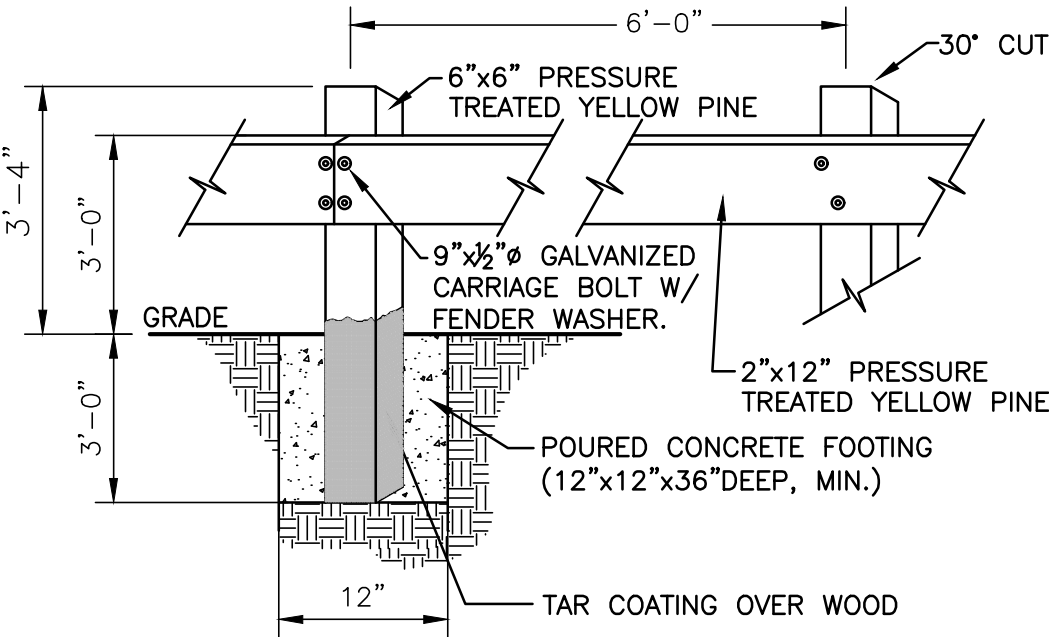


NOTES:

- SILT SOCK SHALL BE "SILT SOCK" AS MANUFACTURED BY FILTREXX, INC. OR APPROVED EQUAL.
- SILT SOCK SHALL FOLLOW ALL REQUIREMENTS OF THE N.Y.S. STANDARDS & SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, JULY 2016, PAGES 5.7 - 5.9 INCLUSIVE.

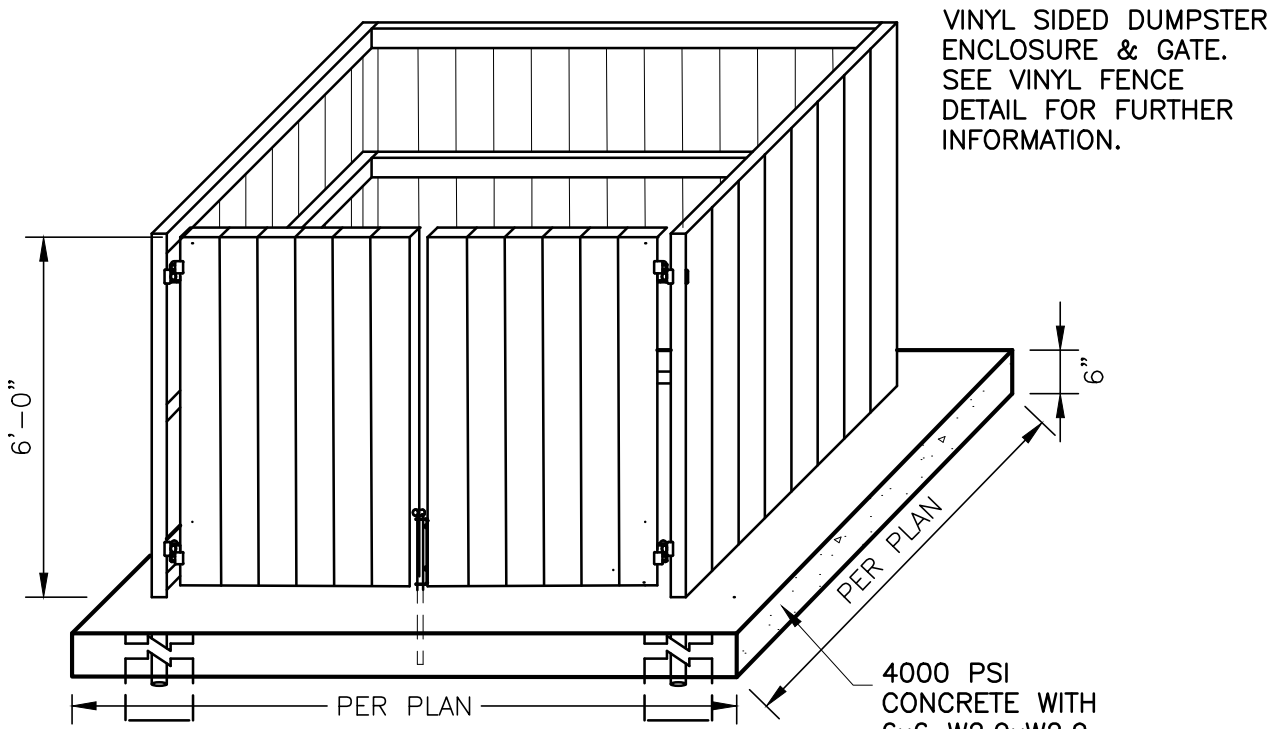
SILT SOCK DETAIL

N.T.S.



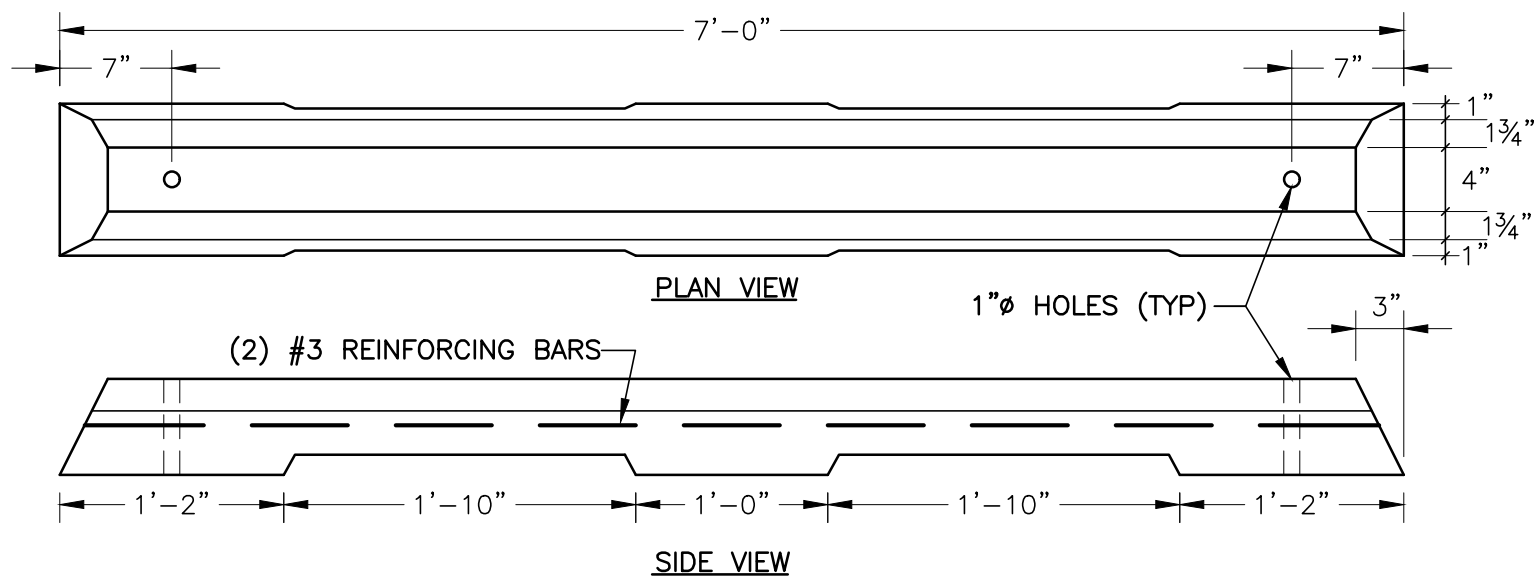
TIMBER GUIDE RAIL DETAIL

N.T.S.



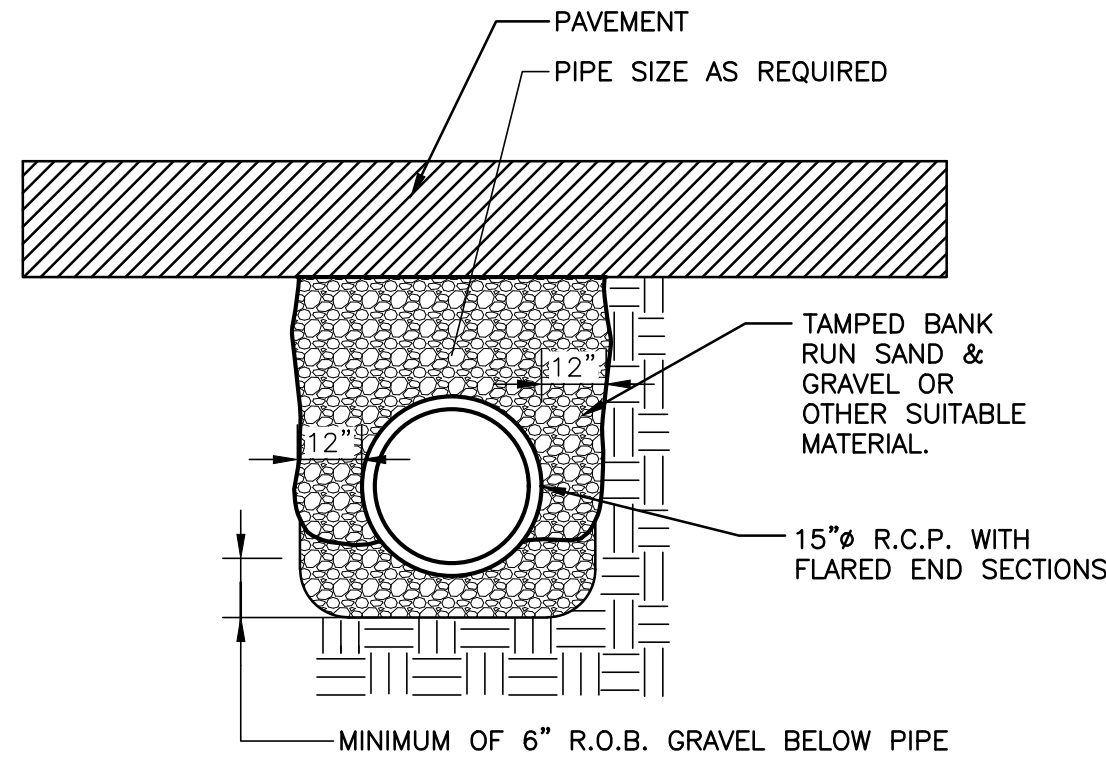
VINYL FENCE & GATE DUMPSTER ENCLOSURE

N.T.S.



CONCRETE BUMPER BLOCK DETAIL

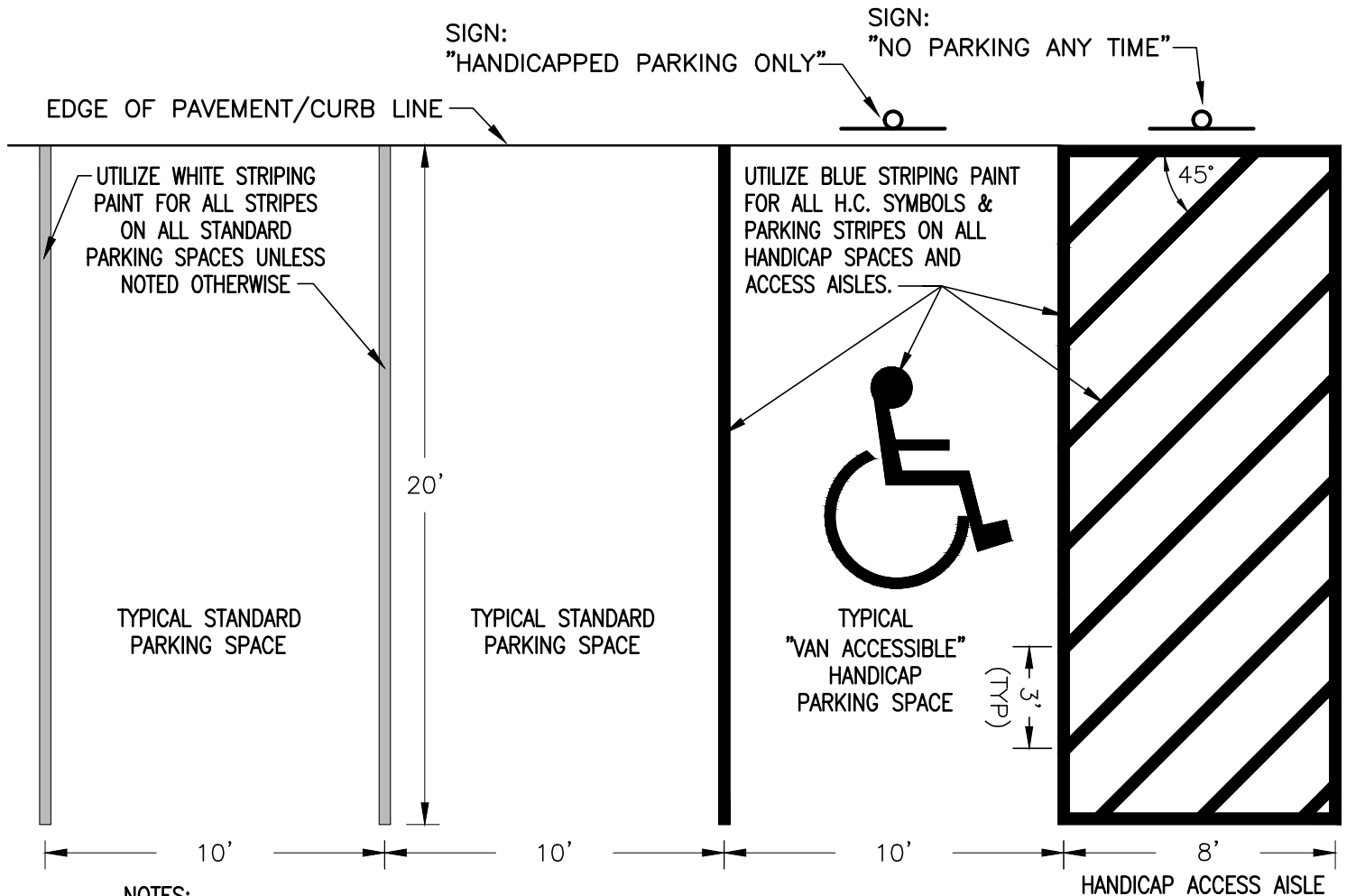
N.T.S.



NOTE: PIPE SLOPE SHALL BE 2% MINIMUM ACROSS DRIVEWAY.

CULVERT INSTALLATION DETAIL

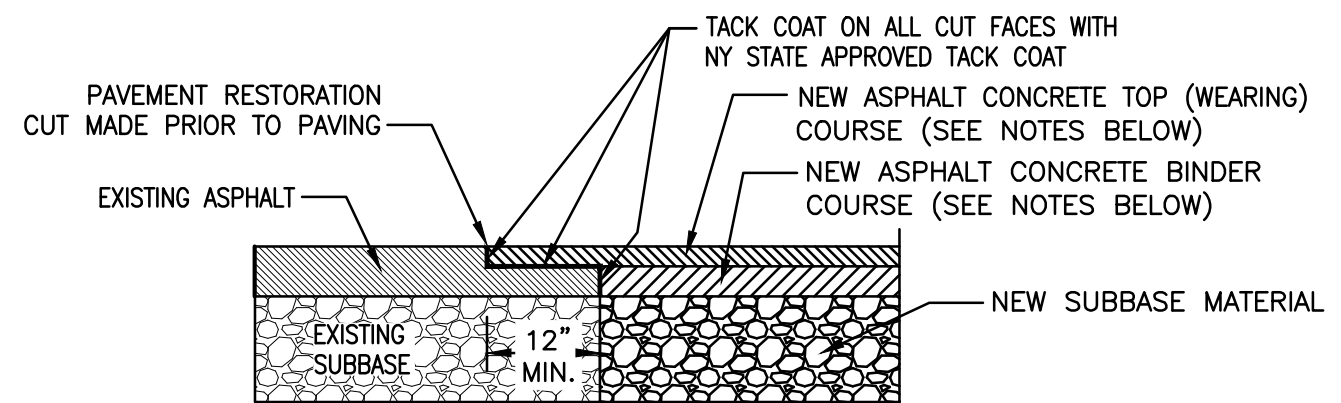
N.T.S.



- NOTES:
- ALL PARKING AREAS TO BE RESTRIPTED AT LEAST ONCE A YEAR.
 - ALL STRIPING TO BE 4" WIDE UNLESS NOTED OTHERWISE.
 - SEE SIGN DETAILS FOR SIGN MOUNTING AND SIGN HEIGHT REQUIREMENTS.
 - AT LEAST 1 (ONE) SPACE OF EVERY 8 (EIGHT) REQUIRED HANDICAP SPACES SHALL BE "VAN ACCESSIBLE", WITH A MINIMUM REQUIREMENT OF 1 (ONE) "VAN ACCESSIBLE" SPACE, IF LESS THAN 8 HANDICAP SPACES ARE REQUIRED.

VAN ACCESSIBLE HANDICAP PARKING - STRIPING DETAIL

N.T.S.

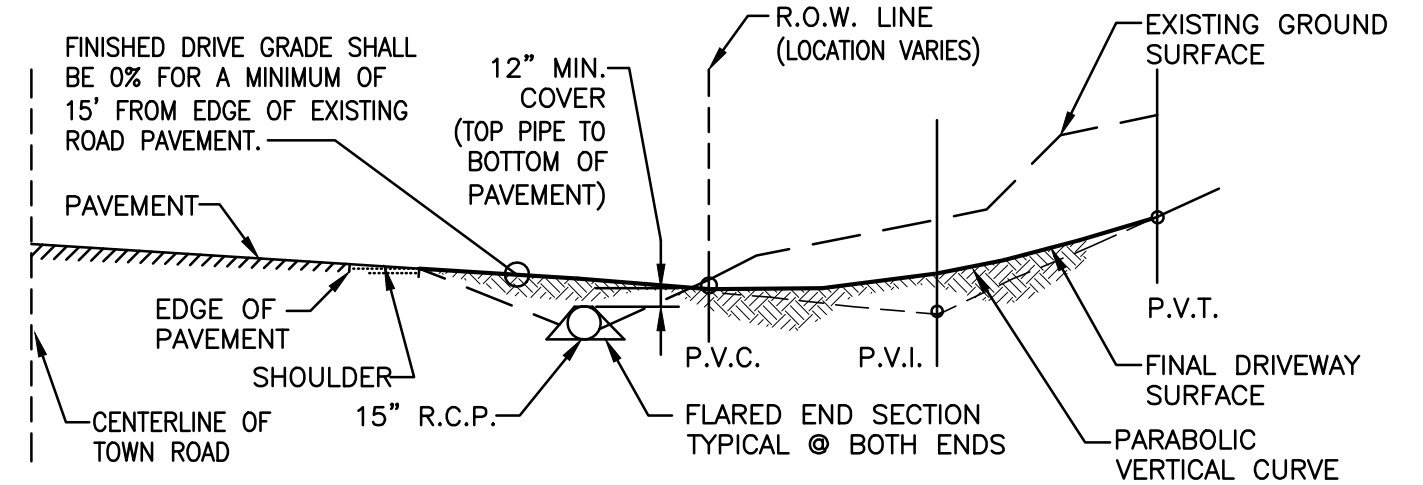


NOTES:

- CONSULT PAVEMENT DETAIL SPECIFIC TO TYPE OF PAVEMENT BEING RESTORED FOR THAT AREA FOR REQUIRED MATERIAL SPECIFICATIONS AND DEPTH REQUIRED.
- IN NO CASE SHALL THE THICKNESS OF NEW PAVEMENT LAYERS BE LESS THE CORRESPONDING LAYERS OF THE EXISTING PAVEMENT.

PAVEMENT RESTORATION DETAIL

N.T.S.



NOTE: DRIVE SHALL BE PAVED FROM EDGE OF EXISTING ROAD PAVEMENT A MINIMUM OF 15' PER TOWN OF CHESTER HIGHWAY DEPARTMENT.

DRIVEWAY ENTRANCE PROFILE

N.T.S.

REV #	DATE	REMARKS:	ISSUE #	DATE	ISSUED FOR:
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2	06/14/18	REVISED PER TOWN COMMENTS			

1/8" 1/4" 1/2" 0 1" 2"

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FELLENZER ENGINEERING LLP

22 Mulberry St., Suite 2A, Middletown, NY 10940 t 845-343-1481 fx 845-343-4986

181 Church St., Suite 100, Poughkeepsie, NY 12601 t 845-454-9704 fx 855-320-8735

STAMP: PROJECT TITLE: LEHIGH AVENUE SITE PLAN 191 LEHIGH AVENUE CHESTER, NY

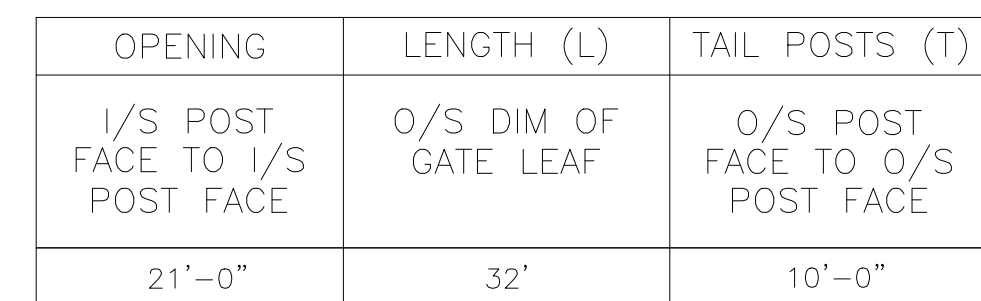
DRAWING TITLE: DETAILS

DESIGNED BY: SAR DRAWN BY: SAR APPROVED BY PM: ACL APPROVED BY PIC: MDF

DATE: 03/21/2018 SCALE: AS SHOWN FE PROJECT #: 18-055

C-901

Page 3 of 4



(FABRIC NOT SHOWN IN TAIL)
 TAIL
 4" OD POST (TYP OF 3)
 2" SQ ALUM UPRIGHT — INT UPRIGHT
 TRUCK ASS'Y (TYP OF 2)
 ALUM TRACK/RAIL
 2" SQ ALUM UPRIGHT
 2" SQ ALUM UPRIGHT
 POST TOP
 1½"x1½" SQ. ALUM. DIAGONAL (TYP)
 ALUM TRACK/RAIL
 SQ ALUM 2" UPRIGHT
 LATCH
 4" NOMINAL CLEARANCE
 GUIDE ROLLER ASS'Y
 ¼"x4"x4" GUSSET PLATE (TYP)
 2" SQ ALUM UPRIGHT (TYPICAL)
 1½"x1½" SQ ALUM ANGLE HORIZONTAL (TYP)
 ALUM BOTTOM RAIL
 2" X 4"
 ¾" SCHEDULE 40 PIPE FENCE POST (4.0" O.D.) EMBEDDED IN 3500 PSI CONCRETE. DEPTH AND DIAMETER OF FOOTING AS PER MANUFACTURER REQUIREMENTS.

ONE PIECE EXTRUDED ALUMINUM TOP TRACK/FRAME MEMBER 4.6 LBS/FT.

VINYL FENCE PLANKS TO MATCH PERIMETER VINYL FENCING

$1\frac{1}{2}$ "x $1\frac{1}{2}$ " ALUM. ANGLE HORIZONTAL BRACE

$1\frac{1}{2}$ "x $1\frac{1}{2}$ " SQ. ALUM. DIAGONAL

2" SQ ALUM UPRIGHT .125" WALL - 1.126 LBS/FT

$\frac{1}{4}$ "x4"x4" ALUM PLATE GUSSET

$\frac{1}{4}$ "x $1\frac{1}{2}$ " ALUM. PLATE NAILER

2"X4" ALUM RAIL

.125" WALL - 1.724 LBS/FT

T-40 STAINLESS STEEL TORX SCREW (TYP) (2) FASTENER AT EACH PLANK END (1) AT EACH PLANK CENTER (5) TOTAL PER PLANK.

[illegible]

1 20' WIDE SLIDING GATE FOR 8' HIGH CHAINLINK FENCE DETAIL
N.T.S.



2	07/31/18	REVISED PER TOWN COMMENTS				
1	06/14/18	REVISED PER TOWN COMMENTS				
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