




1. TAX MAP IDENTIFICATION NUMBER: SECTION 1, BLOCK 1, LOT 77 2 & 82
2. TOTAL AREA OF SUBJECT PARCEL: 5.069+ ACRES
3. RECORD OWNER(S):  
RONALD & MARJORIE NELSON  
26 MCBRIDE ROAD  
CHESTER, NY 10918
4. APPLICANT:  
RONALD NELSON, JR.  
600 STRATFORD LANE, APT# 138  
MIDDLETOWN, NY 10940
5. DEED REFERENCE:  
DEED LIBER 14634, PAGE 1118
6. MAP REFERENCES:  
A. MAP ENTITLED, "CLUSTER SUBDIVISION FOR CHESTERDALE ESTATES" BY KIRK ROTHER, P.E., DATED AUGUST 2004 AND FILED IN THE OFFICE OF THE ORANGE COUNTY CLERK ON MARCH 20, 2018 AS MAP NUMBER 648-18.  
B. MAP ENTITLED, "SUBDIVISION OF PROPERTY FOR WILLIAM DURMA" BY MATTHEW A. NORTON, P.E., DATED OCTOBER 2015 AND FILED IN THE OFFICE OF THE ORANGE COUNTY CLERK ON AUGUST 29, 2017 AS MAP NUMBER 234-17.
7. THIS SURVEY IS BASED ON NEW YORK STATE PLANE NAD 83 (2011), ZONE 3101 DATUM (USFT) DERIVED FROM GPS OBSERVATIONS.
8. THE TOPOGRAPHY SHOWN HEREON WAS COMPILED BY ENGINEERING & SURVEYING PROPERTIES PC, FROM USGS 1:60,000 HYDRO-DIGITAL ELEVATION MODELS (DEMS) AS DERIVED FROM 2014 SOURCE LIDAR. THE DEMS WERE PROVIDED BY NYS GIS GOV AND CORRESPOND TO ACTUAL SURVEY OBSERVATIONS TAKEN IN THE FIELD. CONTOURS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.
9. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT ABSTRACT QUANTIFICATION FROM A TITLE SEARCH AND IS THEREFORE SUBJECT TO WHATEVER STATEMENT OF FACTS THAT MAY BE REVEALED IN SUCH REPORTS.
10. SUBJECT TO ANY UNWRITTEN AND/OR WRITTEN LICENSES, EASEMENTS, RESTRICTIONS, AND/OR AGREEMENTS OF RECORD.
11. OFFSETS OR DIMENSIONS FROM THE PROPERTY LINES TO STRUCTURES OR IMPROVEMENTS ARE SHOWN FOR THE SPECIFIC PURPOSE OF INTERPRETATION OF COMPLIANCE WITH ZONING AND ARE NOT INTENDED TO MONUMENT THE PROPERTY LINES OR TO GUIDE THE ERECTION OF FENCES OR ANY OTHER IMPROVEMENTS TO THE LAND.
12. CERTIFICATIONS ON THIS BOUNDARY SURVEY MAP SIGNIFY THAT THE MAP WAS ACCURATELY PREPARED IN ACCORDANCE WITH THE CURRENT EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, INC. THE CERTIFICATION IS LIMITED TO THE PERSONS FOR WHOM THE BOUNDARY SURVEY MAP IS PREPARED, TO THE TITLE COMPANY TO THE GOVERNMENTAL AGENCY, AND TO THE LENDING INSTITUTION LISTED ON THIS BOUNDARY SURVEY MAP.
13. CERTIFICATIONS HEREON ARE NOT TRANSFERABLE.
14. ISSUING OF A NEW TITLE POLICY OR REDATING OF AN EXISTING POLICY REFERENCING THIS SURVEY WITHOUT THE BENEFIT OF AN UPDATE OF THIS SURVEY BY ENGINEERING & SURVEYING PROPERTIES, P.C. SHALL TERMINATE ANY LIABILITY EXPRESSED OR IMPLIED HEREON.
15. UNAUTHORIZED COPIES MAY CONTAIN FRAUDULENT, INCORRECT, ERRONEOUS, OR MISLEADING INFORMATION OR OMIT IMPORTANT AND RELEVANT INFORMATION, DO NOT RELY ON UNAUTHORIZED COPIES. THE SEAL, SIGNATURE, AND CERTIFICATION OF THE SURVEYOR REVEALED OTHERWISE VOID ON ALL UNAUTHORIZED COPIES. ALL ORIGINAL DOCUMENTS BEAR AN ORIGINAL IMPRESSION AND INK SIGNATURE.
16. ALL UNDERGROUND UTILITIES AND/OR IMPROVEMENTS OR THE ENCROACHMENT OF SUCH IMPROVEMENTS ARE NOT ALWAYS KNOWN AND OFTEN MUST BE ESTIMATED. IF THE ENCROACHMENT OF SUCH UNDERGROUND IMPROVEMENTS EXIST OR ARE KNOWN HEREON, THE ENCROACHMENTS OF SUCH UNDERGROUND UTILITIES AND/OR IMPROVEMENTS ARE NOT COVERED BY THIS CERTIFICATE.

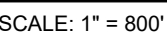
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DRAWING STATUS		ISSUE DATE:	
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		SHEET NUMBER	
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF	N/A
<input type="checkbox"/> PLANNING BOARD APPROVAL	N/A	OF	N/A
<input type="checkbox"/> OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
<input type="checkbox"/> OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A	OF	N/A
<input type="checkbox"/> NYSDOT APPROVAL	N/A	OF	N/A
<input checked="" type="checkbox"/> OTHER	1	OF	1
<input type="checkbox"/> FOR BID	N/A	OF	N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF	N/A
<p>THIS PLAN SET HAS BEEN ISSUED SPECIFICALLY FOR THE APPROVAL OR ACTION NOTED ABOVE AND SHALL NOT BE USED FOR ANY OTHER PURPOSE.</p> <p>THIS SHEET SHALL BE CONSIDERED INVALID UNLESS ACCOMPANIED BY ALL SHEETS OF THE DENOTED PLAN SET(S).</p>			

<p>A COPY OF THIS DOCUMENT WITHOUT A PROPER APPLICATION OF THE LICENSED PROFESSIONAL LAND SURVEYOR'S EMBOSSED SEAL SHOULD BE ASSUMED TO BE AN UNAUTHORIZED COPY.</p> <p>UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED PROFESSIONAL LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.</p>	<div style="text-align: center;">  </div> <div style="text-align: center; margin-top: 20px;"> <p><b>BRIAN D. BABCOCK, L.S.</b>  <b>NEW YORK STATE LICENSE # 050830</b></p> </div> <div style="text-align: center; margin-top: 20px;">  </div>
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 <p><b>ENGINEERING &amp; SURVEYING PROPERTIES, INC.</b></p> <p><i>Achieving Successful Results with Innovative Designs</i></p>	<p><b>MONTGOMERY OFFICE</b>          71 CLINTON STREET          MONTGOMERY, NY 12549          Ph: (845) 457-7277  <a href="http://WWW.EP-PC.COM">WWW.EP-PC.COM</a></p>
	<p><b>LOT LINE CHANGE &amp; TOPOGRAPHIC MAPPING PLAN</b></p>
	<p><b>RONALD J. NELSON &amp; MARJORIE NELSON</b>          26 MC BRIDE ROAD          TOWN OF CHESTER          ORANGE COUNTY, NEW YORK</p>











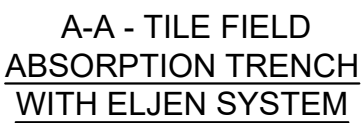
LOT #	STABILIZED PERC RATE (min)	DESIGN PERC RATE (min)	PROPOSED BEDROOMS	FLOW RATE (GPD)	APPLICATION RATE (GPD/Sq. ft.)	REQUIRED AREA (Sq. ft.)	REQUIRED ABSORPTION FIELD LENGTH (ft) (ELJEN)	PROPOSED ABSORPTION FIELD LENGTH (ft)
1	17	16-20	4	440	0.70	315	105	3 LATERALS @ 36 LF = 108 27 TOTAL ELJEN MATS

LOT #	PERC HOLE #	PERC HOLE DEPTH	PERC HOLE DIA	TIME	PERCOLATION TEST RUNS - STOPWATCH USED FOR ALL TESTS (TIME FOR 1" DROP IN WATER LEVEL)			STABILIZED RATE
				FINISH				
1	03/01/23 PT-01	24"	10"	START	STOPWATCH USED FOR TIMED INTERVALS			2 MIN
				TIME	00:01:01	00:01:00	00:01:20	
				FINISH				
1	03/01/23 PT-02	24"	10"	START	STOPWATCH USED FOR TIMED INTERVALS			17 MIN
				TIME	00:01:13	00:16:16	00:16:00	
				FINISH				

TEST HOLE #	DATE	DEPTH	DESCRIPTION
TP-07	03/01/23	0" - 12" 12" - 18" 18" - 60"	BLACK TOP SOIL TAN SANDY CLAY LOAM BROWN SAND
TP-08	03/01/23	0" - 12" 12" - 18" 18" - 60"	BLACK TOP SOIL TAN SANDY CLAY LOAM BROWN SAND



SCALE: N.T.S



SCALE: N.T.S.

1. SEPTIC TANK TO BE LOCATED A MINIMUM DISTANCE OF 10 FEET FROM THE HOUSE.
2. THERE SHALL BE NO REGRADING IN THE AREA OF THE ABSORPTION FIELDS.
3. WATER SOFTENERS, GARBAGE GRINDERS AND/OR JACOZZI TYPE SPA TUBS OVER 100 GALLONS ARE NOT PERMITTED WITHOUT THE SYSTEM BEING REDESIGNED AND REAPPROVED BY THE TOWN OF CHESTER AND THE ORANGE COUNTY DEPARTMENT OF HEALTH.
4. CELLAR DRAINS, ROOF DRAINS OR FOOTING DRAINS SHALL NOT BE DISCHARGED IN THE VICINITY OF THE TILE FIELDS OR WELLS.
5. SWIMMING POOLS, DRIVEWAYS AND/OR STRUCTURES THAT MAY COMPACT THE SOIL ARE NOT TO BE CONSTRUCTED OVER TILE FIELDS.
6. ASPHALTIC SEALS SHALL BE MAINTAINED BETWEEN THE SEPTIC TANK, AND ALL PIPES AND COVERS.
7. NO TRENCHES TO BE INSTALLED IN WET SOIL.
8. RAKE SIDES AND BOTTOM OF TRENCH PRIOR TO PLACING GRAVEL IN ABSORPTION TRENCH.
9. GROUT ALL PIPE PENETRATIONS INTO AND OUT OF ANY DISTRIBUTION OR DROP BOX.
10. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS AS SET FORTH IN THE PUBLICATION "INDIVIDUAL RESIDENTIAL WASTEWATER TREATMENT SYSTEMS, DESIGN HANDBOOK", LATEST EDITION, AND APPENDIX 75-A OF THE NEW YORK STATE DEPARTMENT OF HEALTH.
11. ABSORPTION TRENCH PIPE TO BE CAPPED AT END.
12. ABSORPTION SYSTEM TO BE LOCATED A MINIMUM DISTANCE OF 20 FEET FROM ANY DWELLING UNIT.
13. SEPTIC TANK JOINTS MUST BE SEALED AND TESTED FOR WATERTIGHTNESS.
14. PROVIDE 30' OF SOLID PIPE PRIOR TO START OF PERFORATED ABSORPTION PIPE, TO BE BACKFILLED WITH NATIVE MATERIAL.
15. THERE MUST BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC TANK (OR ANY PUMPING OR DOSING CHAMBER) TO THE DWELLING, ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT.
16. HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELDS EXCEPT DURING THE ACTUAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING, OR AFTER CONSTRUCTION. EXTREME CARE MUST BE TAKEN DURING THE ACTUAL CONSTRUCTION SO AS TO AVOID ANY UNDE COMPACTION THAT COULD RESULT IN A CHANGE OF ABSORPTION CAPACITY OF THE SOIL ON WHICH THE DESIGN WAS BASED.



## SCALE: N.T.S.



1. WELL IS TO BE Cased AND GROUTED FOR A MIN OF 50' IN LENGTH.
2. CASING SHALL EXCEED MINIMUM 20" INTO BEDROCK.
3. OVERSIZE DRILL HOLE (FOR GROUTING) TO BE 10" DIAMETER.
4. EXPECTED DEPTH OF LOAM AND SHALE OVERBURDEN IS ± 5 - 30 FEET
5. EXPECTED DEPTH OF WATER BEARING FORMATION IS 300 - 600 FEET
6. THE WELL CASING TO CONFORM TO AWWA STANDARD A100 (LATEST EDITION).
7. CEMENT GROUT SHALL BE MONITOR MODEL NO. 8P61U, 6 MG. BY THE BAKER MFG CO., EVANSVILLE, WIS., OR APPROVED EQUAL AND SHALL HAVE THE APPROVAL OF THE WATER SYSTEMS COUNSEL.
8. PITLESS ADAPTOR SHALL BE MONITOR MODEL NO. 8P61U, 6 MG. BY THE BAKER MFG CO., EVANSVILLE, WIS., OR APPROVED EQUAL AND SHALL HAVE THE APPROVAL OF THE WATER SYSTEMS COUNSEL.
9. DISCHARGE PIPE: 1" MIN OF TYPE "K" COPPER WATER LINE.
10. WATER SERVICE LINES UNDER PRESSURE SHALL NOT PASS CLOSER THAN 10' OF A SEPTIC TANK OR FIELD, OR 5' OF OTHER SUBSURFACE SYSTEM.
11. PVC PIPE WITH O-RING JOINTS ARE REQUIRED FOR SEWAGE LINES BETWEEN 25 AND 50 FEET OF ANY WELL.
12. WELL FLOW TO BE A MINIMUM OF 2 GAL PER MINUTE. ANY WELL PRODUCING BETWEEN 2-5 GPM REQUIRES 24 HOURS OF STORAGE WITHIN ONE DAY.
13. CEMENT GROUT SHALL BE A MIXTURE OF 1 BAG CEMENT (94 LBS) AND 5 1/2 GAL OF CLEAN WATER.
14. ELECTRICAL WORK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE.
15. CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS AS SET FORTH IN THE PUBLICATION "RURAL WATER SUPPLY", NYS DEPT OF ENVIRONMENTAL CONSERVATION, LATEST EDITION.
16. WELLS ARE TO BE INSTALLED IN THE LOCATIONS SHOWN ON THE PLAN TO ASSURE THE MINIMUM SEPARATION DISTANCES ARE MET.

## SCALE: N.T.S.



1. DROP BOX AS MANUFACTURED BY WOODARD'S CONCRETE PRODUCTS, INC. CATALOG NO. DB-6DB OR APPROVED EQUAL
2. MINIMUM CONCRETE STRENGTH 4,000 PSI AT 28 DAYS
3. CONCRETE TO BE FIBER REINFORCED PER MANUFACTURER'S SPECIFICATION
4. SEAL ALL JOINTS AT INLET/OUTLET PIPES ASPHALTIC MATERIAL OR EQUIVALENT
5. PROVIDE SPEED LEVELERS AT ALL DISTRIBUTION BOX OUTLETS
6. UNUSED OUTLETS TO REMAIN PLUGGED
7. DISTRIBUTION BOXES SHOULD BE INSPECTED PERIODICALLY TO ASSURE THAT THEY ARE LEVEL AND OPERATING

SCALE: N.T.S.

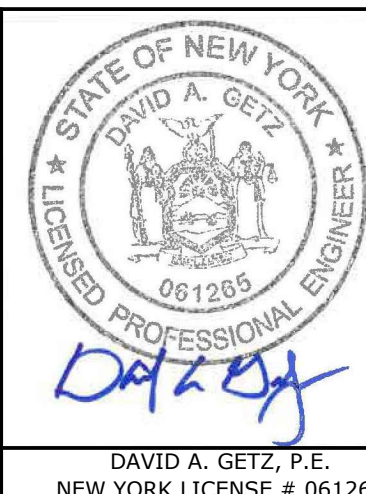
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DRAWING STATUS		ISSUE DATE: 04/18/23	
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		SHEET NUMBER	
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF	N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	N/A	OF	4
<input type="checkbox"/> OGDCH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
<input type="checkbox"/> OGDCH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A	OF	N/A
<input type="checkbox"/> NYSDOT APPROVAL	N/A	OF	N/A
<input type="checkbox"/> OTHER	N/A	OF	N/A
<input type="checkbox"/> FOR BID	N/A	OF	N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF	N/A

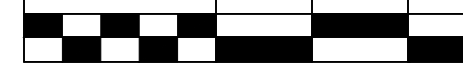
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COPIES OF THIS DOCUMENT  
WITHOUT AN ACTUAL OR  
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ENGINEER'S SIGNATURE  
AND AN ORIGINAL STAMP  
OR EMBOSSED SEAL SHALL  
BE CONSIDERED INVALID.

UNAUTHORIZED  
ALTERATIONS OR  
ADDITIONS TO THIS  
DOCUMENT BEARING THE  
SEAL OF A LICENSED  
PROFESSIONAL ENGINEER  
IS A VIOLATION OF  
SECTION 7209 SUBSECTION  
2 OF THE NEW YORK STATE  
EDUCATION LAW.



DAVID A. GETZ, P.E.  
NEW YORK LICENSE # 06126



ORIGINAL SCALE IN INCHES

1. SITE DISTURBANCE SHALL BE LIMITED TO THE MINIMUM NECESSARY GRADING AND VEGETATION REMOVAL REQUIRED FOR CONSTRUCTION.
2. TEMPORARY DISTURBED AREAS SHALL BE PROTECTED BY EROSION CONTROL MEASURES INCLUDING SILL FENCES AND/OR STRAW BALE DIKES. SEDIMENT BASIN, TEMPORARY DIVERSION SWALE DRAINAGE STRUCTURES, AND RIP-RAP DISTURBANCE SHALL BE INSTALLED PRIOR TO GROUND DISTURBANCE FOR GRADING AND CONSTRUCTION.
3. TEMPORARILY DISTURBED AREAS SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICAL FOLLOWING DISTURBANCE TO STABILIZE BARE SOIL AND PROMOTE THE PROMPT RE-ESTABLISHMENT OF VEGETATION:
  - 3.1. AN ADEQUATE SEEDED SHALL BE PREPARED BY SCARIFYING COMPACTED SOIL AND REMOVING SURFACE DEBRIS AND OBSTACLES.
  - 3.2. LIME SHALL BE APPLIED SUFFICIENTLY TO ATTAIN A SOIL ACIDITY PH OF 6.0 TO 7.0.
  - 3.3. FERTILIZER (30-10-10 OR EQUIVALENT) SHALL BE APPLIED PER SOIL TEST RESULTS OR AT A RATE OF 600 LBS. PER ACRE.
  - 3.4. DISTURBED AREAS WHICH WILL REMAIN TEMPORARILY FALLOW FOR PERIODS GREATER THAN 30 DAYS SHALL BE SEEDED AT THE FOLLOWING RATE TO PRODUCE TEMPORARY GROUND COVER:
 


100 LBS REGRASS PER ACRE	PER ACRE	DURING THE WINTER	USE 100 LBS
CERTIFIED "ARROSTOOK" WINTER RYE (CEREAL RYE)	PER ACRE		
  - 3.5. PERMANENT SEEDED SHALL BE APPLIED ON 4" MIN TOPSOIL AT THE FOLLOWING RATE:
 

2 LBS EMPIRE BROADCAST PEECOIL	PER ACRE	COMMON WHITE CLOVER	PER ACRE	PLUS
20 LBS LAL FESCUE	PER ACRE	PLUS		
2 LBS REDTOP OR 5 LBS REGRASS	PER PERMANENT PER ACRE			
- 3.6. ALL SEEDING SHALL BE PERFORMED USING THE BROADCAST METHOD OR HYDROSEEDING UNLESS OTHERWISE APPROVED.
4. ALL DISTURBED AREAS SHALL BE STABILIZED SUBSEQUENT TO SEEDING BY APPLYING 2 TONS OF STRAW MULCH PER ACRE. STRAW MULCH SHALL BE ANCHORED BY APPLYING 750 LBS OF WOOD CHIPS PER ACRE AND A PERMANENT AREA, IN WHICH THE MULCH SHALL BE ANCHORED BY DISCS OR OTHER MULCH ANCHORING TOOLS TO A DEPTH OF 3". MULCH ANCHORING TOOLS SHALL BE PULLED ACROSS SLOPES ALONG TOPOGRAPHIC CONTOURS.
- 4.1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DRAINAGE STRUCTURES SHALL BE INSPECTED FOLLOWING EVERY RAIN EVENT, AND MAINTENANCE AND REPAIRS SHALL BE PERFORMED PROMPTLY TO MAINTAIN PROPER FUNCTION. TRAPPED SEDIMENT SHALL BE REMOVED AND DISPOSED IN A PERMITTED AREA. IN A PERMANENT AREA, TRAPPED SEDIMENT SHALL BE INCORPORATED INTO TEMPORARY CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED AND GROUND COVER IS COMPLETELY REESTABLISHED. FOLLOWING STABILIZATION, TEMPORARY MEASURES SHALL BE REMOVED TO AVOID INTERFERENCE WITH DRAINAGE.
6. ALL SOIL TRENDS TO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION.
7. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN ACCORDANCE WITH CURRENT REGULATIONS.
8. MULCH NETTING SUCH AS PAPER, JUTE, EXCELSTOR, COTTON OR PLASTIC MAY BE USED. STAPLE IN PLACE UNDER HAY OR STRAW MULCH, USE A DEGRADABLE NETTING IN AREAS TO BE MAINTAINED. STAPLES SHALL BE REMOVED PRIOR TO THE END OF THE CONSTRUCTION TIME AND FERTILIZER AS SPECIFIED ABOVE AND SEEDING WITH THE FOLLOWING MIXTURE:
 

MATERIAL	LBS/ACRE
PERENNIAL RYE GRASS	30
CROWN VETCH	25
SPREADING FESCUE	12
10. OPTIMUM SEEDING PERIODS ARE 3/15-8/1 AND 9/1-10/15.
11. ALL UPSTREAM SITE WORK AND STABILIZATION SHALL OCCUR BEFORE CONNECTING UNDERGROUND DETENTION/FILTRATION FACILITY TO PREVENT ANY ERODED SEDIMENTS FROM ENTERING UNDERGROUND FACILITY.
12. IF ANY OF THE ABOVE HYSDSC SPDES GP 0-20-01, THERE SHALL BE NO MORE THAN 5 ACRES DISTURBED AT ANYONE TIME.

1. ALL WORK TO BE PERFORMED TO THE SPECIFICATIONS OF THE TOWN OF CHESTER.
2. ALL TOPSOIL, ROOTS, STUMPS AND OTHER DELETERIOUS MATERIAL SHALL BE REMOVED FROM ALL CONSTRUCTION AREAS.
3. ALL FILL FOR POND CONSTRUCTION, BELOW BUILDINGS AND PAVEMENT TO BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR COMPACTION TEST ASTM D1557.
4. 12" AND 18" ANCHORS SHALL BE INSTALLED IN ALL DISTURBED AREAS TO PREVENT OTHER FREE-FLOWING OUTLET AT A MINIMUM SLOPE OF 0.5%. FOOTING DRAIN SHALL BE INSTALLED BENEATH BOTTOM OF FOOTING.
5. CONSTRUCTION OF GRADING AND BASIN, BERMS AFTER OUTLET 15" SHALL REQUIRE MULCHING AND ANCHORING IN ACCORDANCE WITH NOTES ENTITLED "SEDIMENTATION EROSION CONTROL".
6. ALL SLOPES IN EXCESS OF 3H:1V SHALL BE CONSTRUCTED WITH LOCALLY AVAILABLE GLACIAL TILL. THE EMBANKMENT FILL SHALL BE PLACED IN SIX-INCH THICK LAYS. EACH LIFT SHALL BE PLACED AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR COMPACTION TEST ASTM D1557.
7. CONSTRUCT POND EMBANKMENT WITH LOCALLY AVAILABLE GLACIAL TILL WITH 3H:1V SIDE SLOPES OR AS NOTED ON PLAN. THE EMBANKMENT FILL SHALL BE PLACED IN A SIX-INCH THICK CONTINUOUS LAYER OVER THE EXISTING SUBSTRATE TO A MINIMUM OF 18" AND BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR COMPACTION TEST ASTM D1557.
8. STABILIZATION OF POND BERMS, AND ALL SLOPES IN EXCESS OF 3H:1V IN ACCORDANCE WITH "EROSION AND SEDIMENTATION CONTROL".
9. ALL POND OUTLETS SHALL HAVE SEEPAGE CONTROL COLLARS PLACED AT 1/3 AND 2/3 THE WIDTH OF THE EMBANKMENT.
10. SOIL RESTORATION SHALL BE APPLIED TO ALL DISTURBED AREAS THAT WILL REMAIN AS PVIOUS SURFACES. SOIL RESTORATION SHALL CONSIST OF THE FOLLOWING:
  - 10.A. APPLY 3 INCHES OF COMPOST OVER SUBSOIL
  - 10.B. DISSEMINATE SEEDS TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR MOUNTED DISC, OR TILLER, MIXING, AND CIRCULATING AIR AND COMPOST INTO SUB-SOIL.
  - 10.C. ROCK-PILE UNTIL UNPLANTED STONE/ROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEARED OFF SITE.
  - 10.D. APPLY TOPSOIL TO A DEPTH OF 6 INCHES.

1. PRE-CONSTRUCTION: NOTIFY APPROPRIATE MUNICIPAL AND UTILITY OFFICIALS 1-5 DAYS PRIOR TO START OF CONSTRUCTION.
2. CONSTRUCTION STAGING: STAKE OUT LIMIT OF DISTURBANCE, INSTALL SILENT FENCE, COMMENCEMENT OF PROJECT, CONSTRUCTION INSTALL EROSION CONTROL CONSTRUCTION FENCING ALONG THE LIMITS OF DISTURBANCE. INSTALL STABILIZED CONSTRUCTION ENTRANCE(S). INSTALL PERMANENT / TEMPORARY GRASSED STRIPS.
3. CLEARING AND REMOVING: REMOVE VEGETATION FROM AREA OF CONSTRUCTION. STRIP TOPSOIL AND STOCKPILE IN AREAS SHOWN ON THE PLAN. STAKE SEDIMENT CONTROL LOCATIONS AND ESTABLISH TEMPORARY VEGETATION ON TOPSOIL STOCKPILES.
4. ROUGH GRADING: CUT AND FILL SITE TO APPROXIMATE ELEVATIONS SHOWN ON THE PLAN. IMPLEMENT DUST CONTROL MEASURES AS NECESSARY. ESTABLISH REMAINING UNSTABILIZED AREAS THAT WILL BE GRADED AGAIN. ESTABLISH TEMPORARY STABILIZATION ON AREAS THAT WILL BE GRADED AGAIN MORE THAN 21 DAYS FROM LAST DISTURBANCE.
5. FINAL GRADING AND CONSTRUCTION: BEGIN FINAL INSTALLATION: FINAL GRADING AND CONSTRUCTION OF DRIVEWAYS, BUILDING EXCAVATION AND CONSTRUCTION. INSTALL UTILITIES. ENSURE ALL EROSION CONTROL MEASURES ARE IN WORKING ORDER.
6. FINAL GRADING AND LANDSCAPING: COMPLETE FINE GRADING OF SITE. SPREAD TOPSOIL AND PREPARE FOR PERMANENT SEEDING AND PLANTING. ESTABLISH PERMANENT VEGETATION IN ALL REMAINING UNSTABILIZED AREAS. INSTALL FINAL LANDSCAPING.
7. POST CONSTRUCTION: UPON STABILIZATION OF THE SITE AND ESTABLISHMENT OF ALL VEGETATION COVER, REMOVE ALL REMAINING TEMPORARY EROSION CONTROL MEASURES. REMOVE ALL CONSTRUCTION MATERIALS AND DEBRIS FROM THE SITE INCLUDING ROADWAYS, CATCH BASINS AND STORM DRAINS.



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& SURVEYING  
PROS, INC.**

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with Innovative Designs*

**GOSHEN OFFICE**  
 262 GREENWICH AVE. Ste 100  
 GOSHEN, NY 10924  
 Ph: (845) 457-7772  
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## DETAILS

### NELSON LOT LINE CHANGE 26 MCBRIDE ROAD TOWN OF CHESTER ORANGE COUNTY, NEW YORK

JOB #:	1993.01	DRAWN BY:	KW
DATE:	09/08/2022	SCALE:	AS SHOWN
REVISION:	3 - 04/18/23	TAX LOT:	1-1-77-2 & 1-1-82

C-301