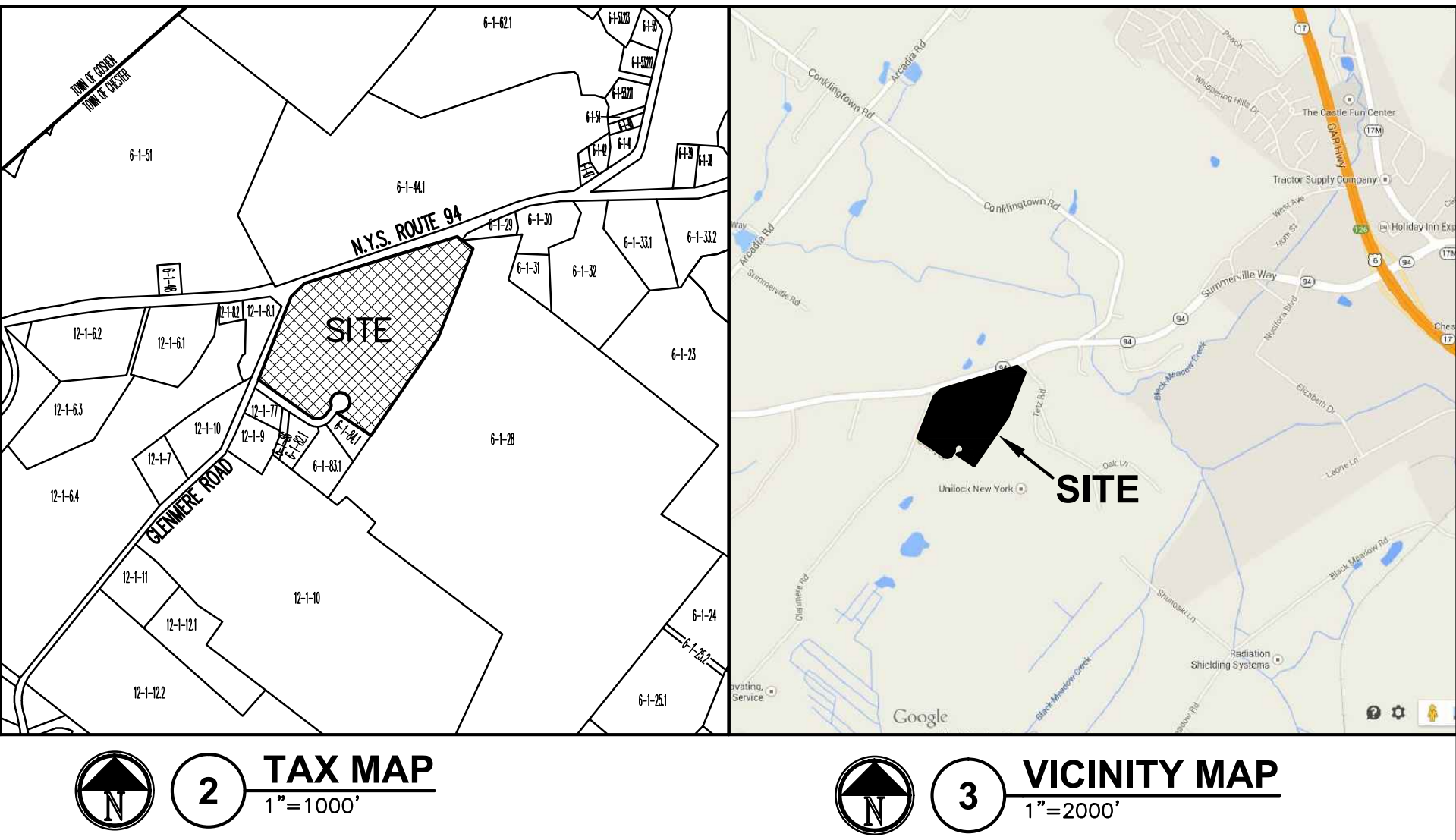


PRIMO SPORTS SITE PLAN

N.Y.S. ROUTE 94 & GLENMERE ROAD
TOWN OF CHESTER, 10918
COUNTY OF ORANGE
STATE OF NEW YORK



***ZONING VARIANCE:**
§98-39 SCHEDULE OF REGULATIONS
BULK TABLE #2 SR-1 DISTRICT (SUBURBAN RESIDENTIAL)
USES REQUIRING SITE PLAN APPROVAL:
(B.) ANNUAL MEMBERSHIP CLUBS PROVIDING OUTDOOR RECREATIONAL FACILITIES PER §98-29.
- AREA VARIANCE FOR 24.2 ACRES
(50 ACRE LOT MINIMUM REQUIRED, 25.8 ACRES PROVIDED)
*VARIANCE GRANTED AT 10/16/2014 ZBA MEETING
(SEE "RESOLUTIONS OF THE CHESTER ZONING BOARD OF APPEALS", SHEET C-000)

BULK REQUIREMENTS TOWN OF CHESTER SR-1 DISTRICT : SUBURBAN RESIDENTIAL BULK TABLE REQUIREMENTS			
BULK ITEM	REQUIRED	PROVIDED	VARIANCE
LOT AREA (AC)	50	25.8	24.2*
LOT WIDTH (FT)	500	1300±	-
LOT DEPTH (FT)	-	1100±	-
FRONT SETBACK (FT)	100	171.7	-
REAR SETBACK (FT)	150	470.1	-
ONE SIDE (FT)	150	N/A	-
BOTH SIDES (FT)	300	N/A	-
FLOOR AREA (FT)	-	60,000	-

TAX MAP
TOWN OF CHESTER
NYS ROUTE 94 & GLENMERE RD.
SECTION 6, BLOCK 1, LOT 85.2
1,122,345 S.F., 25.77 ACRES
EXISTING USE
VACANT
PROPOSED USE
§98-29(A) -
ANNUAL MEMBERSHIP CLUBS PROVIDING
OUTDOOR RECREATIONAL FACILITIES

OWNER
CHILL FACTOR COOLING LLC
145 BIG ISLAND ROAD
WARWICK, NY 10990

APPLICANT/DEVELOPER
ROUTE 94 NORTH LLC
PO BOX 242
FLORIDA, NY 10921

REFERENCE
SURVEY MAP, BEING LOT #4, FILED MAP
#10076, DATED AUGUST 19, 2008, FIELD
REVISED SEPTEMBER 12, 2014.
BY DANIEL J. O'BRIEN,
N.Y.S. LICENSE #049820-1

SCHEDULE OF DRAWINGS:

SHEET NO.	DRAWING NO.	TITLE
1	TS	TITLE SHEET
2	C-000	LEGENDS & NOTES
3	C-001	EXISTING CONDITIONS SURVEY
4	C-002	EROSION & SEDIMENT CONTROL/DEMOLITION PLAN
5	C-101	SITE PLAN
6	C-301	GRADING PLAN
7	C-401	STORM WATER - DRAINAGE BASINS MAP
8	C-402	STORM WATER - DRAINAGE & DETENTION PLAN
9	C-501	SEPTIC PLAN
10	C-502	SEPTIC TEST DATA / DETAILS
11	C-601	SITE LIGHTING PLAN
12	C-602	ATHLETIC FIELD LIGHTING DETAILS
13	C-701	LANDSCAPING PLAN
14	C-901	DETAILS
15	C-902	DETAILS
16	C-903	DETAILS



TO PLANNING BOARD

TO PLANNING BOARD

TO PLANNING BOARD

TO PLANNING BOARD

TO PLANNING BOARD

TO ZBA

TO ZBA

TO ZBA FOR VARIANCE

REV #	DATE	REMARKS:	ISSUE #	DATE	ISSUED FOR:
<div><div>1/8" 1/4" 1/2" 0 1" 2"</div><div>REFERENCE SCALE</div></div>					

22 Mulberry St., Suite 2A,
Middletown, NY 10940
t 845-343-1481 fx 845-343-4986

181 Church St., Suite 100,
Poughkeepsie, NY 12601
t 845-454-9704 fx 855-320-8735

MARK D. FELLENER, P.E.

PROJECT TITLE:
**PRIMO SPORTS COMPLEX
PRELIMINARY SITE PLAN**
STATE ROUTE 94 CHESTER, NY 10918

DRAWING TITLE:
TITLE SHEET

DESIGNED BY: RDF	DRAWN BY: SAR	APPROVED BY P.E.: ACL	APPROVED BY P.G.: MDF
---------------------	------------------	--------------------------	--------------------------

DATE:
5/27/2014

SCALE:
AS SHOWN

FE PROJECT #:
14-159

NY PROFESSIONAL ENGINEER
NO. 064946-1

TS
PAGE 1 OF 16

File Name: C:\Users\jgarcia\Documents\Projects\PrimoSports\PrimoSports.dwg (Layout: TS-1)
Date: Thu May 14, 2015 1:51 PM (User: jgarcia)

$N20^{\circ}37'25''W$	BEARING
----	PROPERTY LINE
----	ZONE LINE
----	ADJOINER
-----	SETBACK LINE
+100.00	SPOT ELEVATION
—100—	CONTOUR (MAJOR)
—101—	CONTOUR (MINOR)
=====	PAVEMENT
—EX. ST—	STORM LINE
	CATCH BASIN
—G—	GAS LINE
—OHE—	OVERHEAD WIRES
	UTILITY POLE
	CHAINLINK FENCE
	TREELINE OR WOODED AREA
	TREE, DECIDUOUS
	TREE, EVERGREEN
	SOIL TYPE LABEL SOIL BOUNDARY
-----	DRAINAGE SUBBASIN

	SPOT ELEVATION
	FINISHED CONTOUR
	18' HIGH NETTING
	CHAIN LINK FENCE
	SILT SOCK
	CONCRETE FILLED BOLLARD
	STREET SIGN
	CONCRETE CURB
	CONCRETE SIDEWALK
	STORM WATER DRAIN
	WATER LINE
	SANITARY SEWER LINE
	UNDERGROUND ELECTRIC
	GUIDE
	YARD BASIN
	CURB BASIN
	PARKING AREA LIGHT POLE
	SPORTS FIELD LIGHT POLE
	TREE, DECIDUOUS
	TREE, EVERGREEN
	LANDSCAPE GROUPING

 BENCHMARK
 DEMOLITION LINE
 KEYNOTE INDICATOR

TOWN OF CHESTER
ZONING BOARD OF APPEALS
RESOLUTION

TOWN OF CHESTER
ZONING BOARD OF APPEALS
RESOLUTION

TOWN
CHES-
TER

Application of Prince Street, seeking an interpretation of Section 98-29(A)(1) of the Zoning Ordinance of the Town of Chester, as it pertains to the applicant's property bounded by Route 34, Glenmere Road and Green Drive, Chester, New York, also known as Section 6, Block 1, Lot 85.2 on the Tax Map of the Town of Chester, New York, that the proposed use qualifies as an annual membership club providing outdoor recreational facilities in an SR-1 District.

Application of Prince Street, seeking an increase of variance of 24.2 acres to allow development of 22.80 acre site in an SR-1 district, when a minimum of 50 acres is required by the Zoning Ordinance of the Town of Chester, as it pertains to the property bounded by Route 34, Glenmere Road and Green Drive, Chester, New York, also known as Section 6, Block 1, Lot 85.2 on the Tax Map of the Town of Chester, New York.

Members Present:

Donna Lamboe, Chairman
Julie Ball
Ernie Dumont
Vincent Filasta
Walter Popello

Others:

J. David Alkman, Esq.,
ZBA Attorney
Dot Wierzbicki, ZBA Secretary

Members Present:

Donna Lamboe, Chairman
Julie Ball
Ernie Dumont
Vincent Filasta
Walter Popello

Others:

J. David Alkman, Esq.,
ZBA Attorney
Dot Wierzbicki, ZBA Secretary

Whereas, the application concerns a Town of Chester Zoning Board of Appeals application item, a Site plan of the property (hereby), a letter from the Town of Chester Planning Board dated July 17, 2014, a letter from the Orange County Department of Planning dated July 18, 2014, letters from Barbara Utter dated July 24, 2014, Tim Miller Associates, Inc. dated October 6, 2014, John Sarnackich of Worldview Soccer Club dated October 15, 2014, Peter Annunzio of Chester Soccer Club undated and Peter S. DeMasi of Warwick Soccer Club dated October 7, 2014; and

Whereas, the application concerns of a Town of Chester Zoning Board of Appeals application item, a Site Plan of the property, a letter from the Town of Chester Planning Board dated July 17, 2014, a letter from the Orange County Department of Planning dated July 18, 2014 and letters from Barbara Utter dated July 24, 2014, Tim Miller Associates, Inc. dated October 6, 2014, John Sarnackich of Worldview Soccer Club dated October 15, 2014, Peter Annunzio of Chester Soccer Club, undated, and Peter S. DeMasi of Warwick Soccer Club dated October 7, 2014; and

MOTION made to grant the interpretation made by: DIMITRIOS LAMBOES

MOTION made to grant the interpretation made by: DIMITRIOS LAMBOES

Second made by: **VINCENT FILASTA**

Second made by: **VINCENT FILASTA**

The roll for the vote was as follows:

Whereas, the Board voted 4 to 1, with Julie Ball voting in the affirmative, that the applicant could not achieve his objectives via another reasonable alternative which does not involve the incovenient of an use variance; and

Members votine to grant the variance:

Members votine to deny the variance:

Donna Lamboe
Julie Ball
Ernie Dumont
Vincent Filasta
Walter Popello

None

Whereas, the variance sought by the applicant is substantial in nature and

Whereas, the variance will not have an adverse impact on physical or environmental conditions in the neighborhood; and

Whereas, the hardship is self-created.

[The Chairman declared the resolution PASSED by a vote of 5 to 0 and directed the Clerk to file this resolution.]

MOTION made to grant the interpretation made by: DIMITRIOS LAMBOES
Second made by: **VINCENT FILASTA**

NOW THEREFORE BE IT RESOLVED, that the Zoning Board of Appeals of the Town of Chester, New York, APPROVES the application for an interpretation of Section 98-29(A)(1) of the Zoning Ordinance of the Town of Chester, as it pertains to the property bounded by Route 34, Glenmere Road and Green Drive, Chester, New York, also known as Section 6, Block 1, Lot 85.2 on the Tax Map of the Town of Chester, New York, that the proposed use qualifies as an annual membership club providing outdoor recreational facilities in an SR-1 District.

The roll for the vote was as follows:

Members votine to grant the variance:

Members votine to deny the variance:

Donna Lamboe
Julie Ball
Ernie Dumont
Vincent Filasta
Walter Popello

None

DATED: October 22, 2014
Chester, New York


Dimitrios Lamboe, Chairman Date 10/22/14

[The Chairman declared the resolution PASSED by a vote of 5 to 0 and directed the Clerk to file this resolution.]

NOW THEREFORE BE IT RESOLVED, that the Zoning Board of Appeals of the Town of Chester, New York, APPROVES the use of variance of 24.2 acres to allow development of a 23.80 acre site in an SR-1 district, when a minimum of 50 acres is required by the Zoning Ordinance of the Town of Chester, as it pertains to the property bounded by Route 34, Glenmere Road and Green Drive, Chester, New York, also known as Section 6, Block 1, Lot 85.2 on the Tax Map of the Town of Chester, New York.



DATED: October 22, 2014
Chester, New York

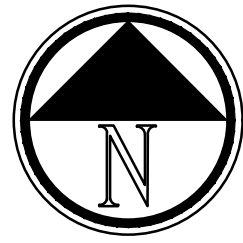

Donna Lamboe, Chairman Date 10/22/14

1. THE CONTRACTOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE TOWN OF CHESTER, AND IS BEING MAINTAINED AND ENFORCED THROUGHOUT THE PROJECT AND/OR ROCK SPOIL AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS.
2. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.
3. THE E&S CONTROL PLAN MAPPING MUST DISPLAY A NY ONE CALL SYSTEM INCORPORATED SYMBOL INCLUDING THE SITE IDENTIFICATION NUMBER. (THIS IS A NUMBERED SYMBOL NOT A NOTE.)
4. THE CONTRACTOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.
5. EROSION AND SEDIMENT BMPs (BEST MANAGEMENT PRACTICES) MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs.
6. UNTIL THE SITE ACHIEVES FINAL STABILIZATION, THE CONTRACTOR SHALL ASSURE THAT THE BEST MANAGEMENT PRACTICES ARE IMPLEMENTED, MAINTAINED, AND MONITORED. DURING ANY AREAS DISTURBED BY THE ACTIVITIES, THE CONTRACTOR SHALL INCLUDE INSPECTIONS OF ALL BEST MANAGEMENT PRACTICE FACILITIES. THE OPERATOR WILL MAINTAIN AND MAKE AVAILABLE TO ALL AGENCIES AND AGENCIES HAVING JURISDICTION TO COMPLETE REPAIR AND INSPECTION NOTICES OF ALL THOSE INSPECTIONS. ALL MAINTENANCE WORK, INCLUDING CLEANING, REPAIR, REPLACEMENT, RE-GRADING, AND RE-STABILIZATION SHALL BE PERFORMED IMMEDIATELY.
7. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE CONTRACTOR SHALL INITIATE THE MOST APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
8. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE CONTRACTOR SHALL STABILIZE WITH TEMPORARY SEEDING (SEE TEMPORARY SEEDING SPECIFICATIONS). DURING ANY AREAS DISTURBED BY THE ACTIVITIES, DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE OR WHICH ARE NOT BEING RECLAIMED SHALL BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINISHED GRADE OR WHICH ARE NOT BEING RECLAIMED SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
9. BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS THAT MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE CONTRACTOR MUST OBTAIN APPROVAL OF THE REVISIONS FROM THE TOWN OF CHESTER PLANNING BOARD.
10. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEANING, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING, MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPAIR OR REPLACE BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
11. SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.
12. THE CONTRACTOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS. NO CONSTRUCTION MATERIALS, WASTES, OR ROCKS, OR RUMPS, OR DISCHARGE ANY BUILDING MATERIAL, OR WASTES AT THE SITE.
13. CONSTRUCTION VEHICLES AND EQUIPMENT ENTERING AND EXITING THE SITE MUST USE THE STABILIZED CONSTRUCTION ENTRANCE LOCATION(S) ONLY. MEASURES MUST BE TAKEN TO PREVENT SOIL AND SEDIMENT FROM A VEHICLE TIRES FROM BEING TRANSPORTED OFF SITE. ROCKS, RUMPS, ROADWAY SHALL BE CLEANED DAILY, OR MORE OFTEN TO INSURE SAFE ROADING.

1. WITHIN FOURTEEN (14) DAYS OF DISTURBANCE, WHEN FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMPs MUST BE STABILIZED IMMEDIATELY.
2. WHEN AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.

- CONTRACTOR, AT THEIR OWN EXPENSE, SHALL ABIDE BY THE LATEST EDITIONS OF ALL OSHA REGULATIONS AND REQUIREMENTS.
2. THERE SHALL BE NO CLAIMS AGAINST THE OWNER FOR WORK STOPPAGES DUE TO ACTS OF GOD, WEATHER CONDITIONS, STOP WORK ORDERS (VERBAL AND/OR WRITTEN), UNDERESTIMATION OF WORK, ESTIMATED QUANTITIES, MATERIALS, SUPPLIES, TOOLS, CORRECTION OF SAFETY PROBLEMS, OR ANY OTHER REASON.
3. ALL QUANTITIES SHOWN ON THE DRAWING ARE ESTIMATED QUANTITIES ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY AND ASCERTAIN ALL EXISTING CONDITIONS, DIMENSIONS AND QUANTITIES.
4. ALL WORK SHALL BE PERFORMED BY THOSE WHO ARE SKILLED IN THEIR TRADE, JOURNEMEN MECHANICS, TO PRODUCE A FIRST CLASS JOB. THE CONTRACTOR IS ADVISED THAT WORK DEEMED UNSUITABLE, UNACCEPTABLE, SECOND CLASS IN ANY MANNER BY THE OWNER OR DESIGN ENGINEER SHALL BE DEEMED NON-ACCEPTABLE AND THE CONTRACTOR SHALL REMOVE, REPLACE, RE-DO, TO THE SATISFACTION OF THE ENGINEER, THE UNACCEPTABLE WORK AT NO ADDITIONAL COST TO THE OWNER. THERE SHALL BE NO ADDITIONAL CLAIMS AGAINST THE OWNER FOR THE ABOVE.
5. CONTRACTOR SHALL USE DIG SAFELY NY "DIAL 811".
6. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY AND ASCERTAIN IN THE FIELD, LOCATION OF UTILITIES, DIMENSIONS OF FIELD MEASUREMENTS, DIMENSIONS, AND QUANTITIES RELATED TO THE PROJECT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY AND ASCERTAIN THE LOCATION, DEPTH, DIRECTION, AND SIZE OF ANY AND ALL UTILITIES EXISTING IN THE GENERAL VICINITY OF THE WORK AREA.
8. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ANY UTILITY DISRUPTED, BROKEN OR OTHERWISE RENDERED NON-FUNCTIONAL DUE TO THE WORK PERFORMED AT NO ADDITIONAL COST TO THE OWNER DURING THIS COURSE OF WORK.
9. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY SUPPORT ANY UTILITY ENCOUNTERED IN THE COURSE OF THIS WORK.
10. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION OF THIS PROJECT AT THE CONTRACTOR'S EXPENSE.
11. THE CONTRACTOR SHALL SECURE ALL EXTERIOR WORK AND STAGING AREAS WITH ACCEPTABLE FENCING.
12. THE CONTRACTOR SHALL NOT LEAVE ANY EXCAVATED WORK AREA UNATTENDED FOR ANY REASON, UNLESS SAFETY PARTITIONS, SAFETY FENCING AND COVERING FOR ALL OPEN EXCAVATIONS ARE INSTALLED AND SECURED.
13. THE CONTRACTOR SHALL LEAVE THE WORK SITE CLEAN AND SECURED AT THE END OF EACH WORKING DAY. THE WORK SITE SHALL NOT BE LEFT UNATTENDED AT ANY TIME BY THE CONTRACTOR UNLESS THE WORK AREA IS PROPERLY SECURED BY THE CONTRACTOR.
14. THE CONTRACTOR IS ADVISED THAT THEY ARE SOLELY RESPONSIBLE FOR THE SAFETY OF THE WORK SITE AND SHALL TAKE ALL ACTIONS TO ELIMINATE ANY SAFETY HAZARDS THAT MAY EXIST AND AVOID ANY THREAT OF HARM TO EMPLOYEES OR REPRESENTATIVES OF THE OWNER, EMPLOYEES OF THE CONTRACTOR OR OTHER(S). IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO TAKE IMMEDIATE ACTION TO ALLEVATE ANY SAFETY HAZARD THAT MAY EXIST WITHOUT DIRECTOR FROM THE TOWN, OWNER, ENGINEER OR OTHERS.
15. CONTRACTOR SHALL SAW CUT WITH PROPER BLADE ANY ROADS, CURBS AND SIDEWALKS ENCOUNTERED IN THE COURSE OF THIS WORK.
16. ALL HOLES SHALL BE CORE-DRILLED WITH DIAMOND CORE BITS.
17. CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ANY AND ALL DEBRIS FROM THE SITE REGULARLY AND DISPOSE OF SAME OFF SITE IN ACCORDANCE WITH ALL LOCAL AND STATE REGULATIONS.
18. THE CONTRACTOR SHALL MAINTAIN THE WORK SITE IN A NEAT AND CLEAN CONDITION. THE WORK SITE SHALL BE CLEANED DAILY OF CONSTRUCTION DEBRIS
19. GRADE AND RE-SEED AREAS DAMAGED BY TRENCHING AND CONSTRUCTION VEHICLES
20. GRADING AND RE-SEEDING TO INCLUDE: TOP SOIL, FERTILIZER, SEEDS AND PROTECTIVE BEDDING.
21. SUB-GRADE FILL TO BE COMPACTED TO 85% STANDARD PROCTOR RELATIVE DENSITY AND PAVEMENT AREAS SHALL HAVE SUB-GRADE COMPACTED TO 95% MODIFIED RELATIVE DENSITY PER AASHTO REQUIREMENTS.
22. PROVIDE PROTECTIVE MEASURES FOR ALL TREES, BUSHES AND DECORATIVE SHRUBBERY THAT IS TO REMAIN. CONTRACTOR TO REPLACE ALL VEGETATION DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
23. ALL CONSTRUCTION VEHICLES WILL HAVE A FUNCTIONING BACKUP ALARM.

				5	02/12/15	TO PLANNING BOARD
9	05/11/15	TO PLANNING BOARD		4	10/29/14	TO PLANNING BOARD
8	04/01/15	TO PLANNING BOARD		3	10/07/14	TO ZBA
7	03/13/15	TO ORANGE COUNTY PLANNING		2	7/10/14	TO PLANNING BOARD
6	03/09/15	TO NYSDOT, NYSDCE,		1	5/27/14	TO ZBA FOR VARIANCE
REV #	DATE	REMARKS:		ISSUE #	DATE	ISSUED FOR:
<div style="text-align: center;"> $\frac{1}{8}$ $\frac{1}{4}$ $\frac{1}{2}$ 0 1" 2" </div>  <div style="text-align: center;">REFERENCE SCALE</div>						
<p>UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.</p>						
						
22 Mulberry St., Suite 2A, Middletown, NY 10940 t 845-343-1481 fx 845-343-0986			181 Church St., Suite 100, Poughkeepsie, NY 12601 t 845-544-9704 fx 855-320-8735			
MARK D. FELLEZENR, P.E.			<div style="text-align: center;"> PRIMO SPORTS COMPLEX PRELIMINARY SITE PLAN STATE ROUTE 94 CHESTER, NY 10918 </div>			
LEGENDS & NOTES						
DESIGNED BY: PDF		DRAWN BY: SAR		APPROVED BY P.E. ACL		APPROVED BY P.C. MDF
DATE: 5/27/2014		SCALE: AS SHOWN		SHEET PROJECT #: 14-159		C-0001 PAGE 2 OF 16



EXISTING
2 STORY
RESIDENCE

NEW YORK STATE ROUTE # 94
(VARIABLE R.O.W.)

TETZ LANE
RIGHT-OF-WAY LINE

A-3 ZONE

A-3 ZONE
SR-1 ZONE

CUMMERS ROAD
(VARIABLE R.O.W.)

EXISTING DRAINAGE
POND
E=504.80±

FEDERAL WETLANDS
DEMINATED BY ECOLOGICAL SOLUTIONS, INC.,
AUGUST 18, 2014

LANDS N/F FITZPATRICK
DL#4983 PG.140
TAX MAP 6-1-82

LANDS N/F SHINKAR
DL#4225 PG.207
TAX MAP 6-1-83

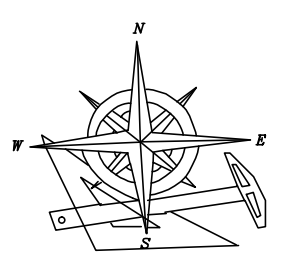
LANDS N/F MIHOK
DL#12465 PG.99
TAX MAP 6-1-84.1

LANDS N/F TETZ
DL#1227 PG.1906
TAX MAP 6-1-28.24
FM LOT #28
FM #627-05

LAND N/F UNILOCK NETWORK
INC. DL#11953 PG.1449 TAX MAP
6-1-28.22 FM
LOT #6
FM #627-05

LANDS N/F CONCRETE PROPERTIES
DL#2366 PG.76
TAX MAP 6-1-28.23
FM LOT#7 FM #627-05

1 EXISTING CONDITIONS SURVEY
1"=100'

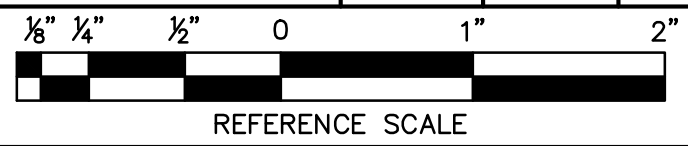


DANIEL J. O'BRIEN
PROFESSIONAL LAND SURVEYOR
239 MILLSBURG ROAD
MIDDLETOWN, N.Y. 10940

DANIEL J. O'BRIEN N.Y.S. LIC. #049820-1



TOWN OF CHESTER PLANNING BOARD APPROVAL



UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A
LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF
SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.

FELLENZER
ENGINEERING LLP

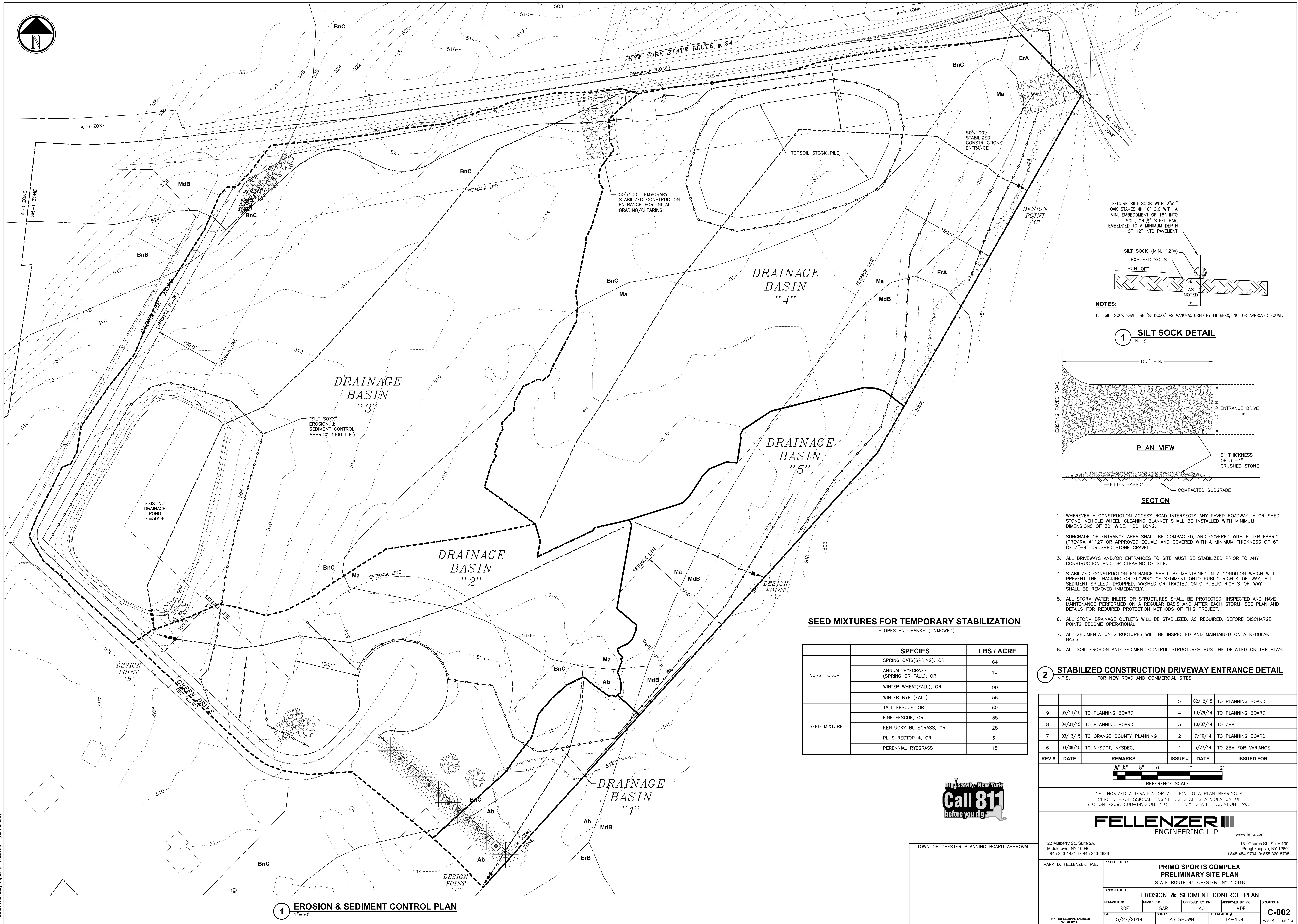
22 Mulberry St., Suite 2A,
Middletown, NY 10940
1 845-343-1481 fx 845-343-4986

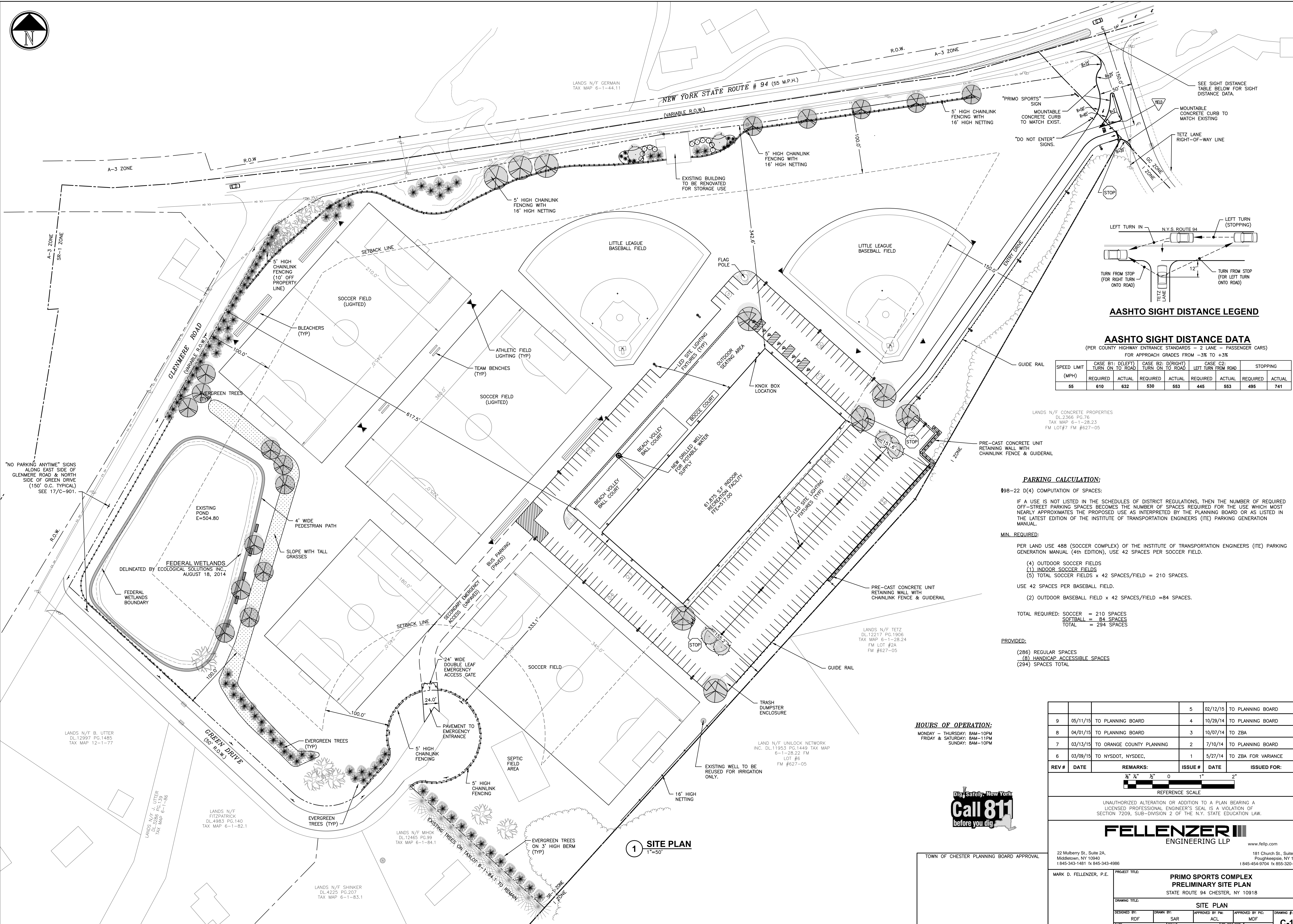
181 Church St., Suite 100,
Poughkeepsie, NY 12601
1 845-454-9704 fx 855-320-8735

MARK D. FELLENZER, P.E.	PROJECT TITLE: PRIMO SPORTS COMPLEX PRELIMINARY SITE PLAN STATE ROUTE 94 CHESTER, NY 10918
DRAWING TITLE: EXISTING CONDITIONS SURVEY	DRAWING #: C-001
DESIGNED BY: RDF	DRAWN BY: SAR
APPROVED BY P.E.: ACL	APPROVED BY P.E.: MDF
DATE: 5/27/2014	SCALE: AS SHOWN
NY PROFESSIONAL ENGINEER NO. 064946-1	FE PROJECT #: 14-159
	PAGE 3 OF 16

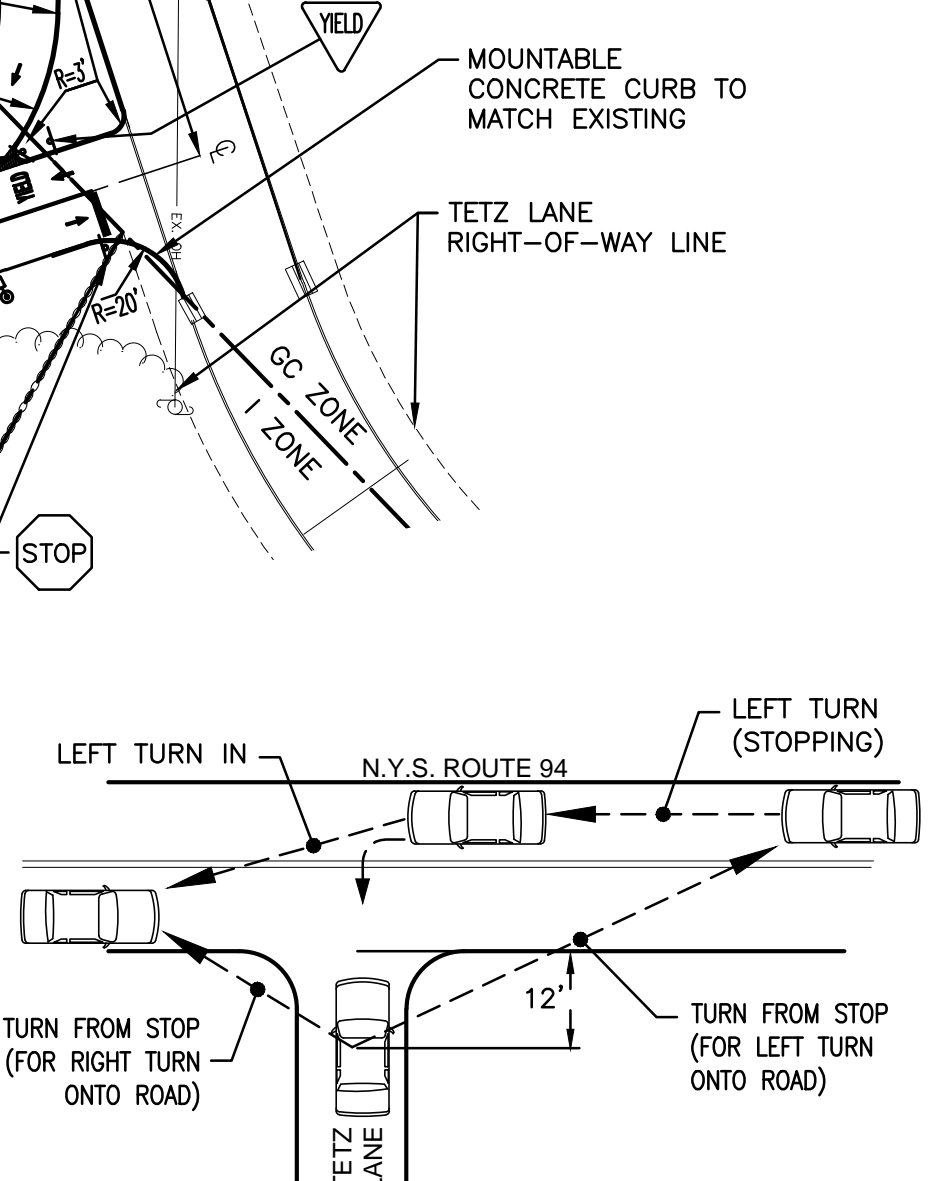
VERTICAL DATUM
ORANGE COUNTY WATER AUTHORITY
TOPOGRAPHICAL DATA

File Name: E:\2014\14-159 Chester Sports Complex\DWG\C-001.dwg (Layout: C-001)
Date: Thu May 14, 2015 7:56 AM (Name: sar)





SEE SIGHT DISTANCE TABLE BELOW FOR SIGHT DISTANCE DATA.



AASHTO SIGHT DISTANCE LEGEND

AASHTO SIGHT DISTANCE DATA
(PER COUNTY HIGHWAY ENTRANCE STANDARDS - 2 LANE - PASSENGER CARS)
FOR APPROACH GRADES FROM -3% TO +3%

SPEED LIMIT (MPH)	CASE B1: D(LEFT) TURN ON TO ROAD		CASE B2: D(RIGHT) TURN ON TO ROAD		CASE C2: LEFT TURN FROM ROAD		STOPPING
	REQUIRED	ACTUAL	REQUIRED	ACTUAL	REQUIRED	ACTUAL	
55	610	632	530	553	445	553	495
							741

LANDS N/F CONCRETE PROPERTIES
DL 2366 PG.76
TAX MAP 6-1-28.23
FM LOT#7 FM #627-05

PRE-CAST CONCRETE UNIT
RETAINING WALL WITH
CHAINLINK FENCE & GUIDERAIL

PARKING CALCULATION:

§98-22 D(4) COMPUTATION OF SPACES:
IF A USE IS NOT LISTED IN THE SCHEDULES OF DISTRICT REGULATIONS, THEN THE NUMBER OF REQUIRED OFF-STREET PARKING SPACES BECOMES THE NUMBER OF SPACES REQUIRED FOR THE USE WHICH MOST NEARLY APPROXIMATES THE PROPOSED USE AS INTERPRETED BY THE PLANNING BOARD OR AS LISTED IN THE LATEST EDITION OF THE INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) PARKING GENERATION MANUAL.

MIN. REQUIRED:

PER LAND USE 488 (SOCCER COMPLEX) OF THE INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) PARKING GENERATION MANUAL (4th EDITION), USE 42 SPACES PER SOCCER FIELD.

- (4) OUTDOOR SOCCER FIELDS
- (1) INDOOR SOCCER FIELDS
- (5) TOTAL SOCCER FIELDS x 42 SPACES/FIELD = 210 SPACES.

USE 42 SPACES PER BASEBALL FIELD.

- (2) OUTDOOR BASEBALL FIELD x 42 SPACES/FIELD = 84 SPACES.

TOTAL REQUIRED: SOCCER = 210 SPACES
SOFTBALL = 84 SPACES
TOTAL = 294 SPACES

PROVIDED:

- (286) REGULAR SPACES
- (8) HANDICAP ACCESSIBLE SPACES
- (294) SPACES TOTAL

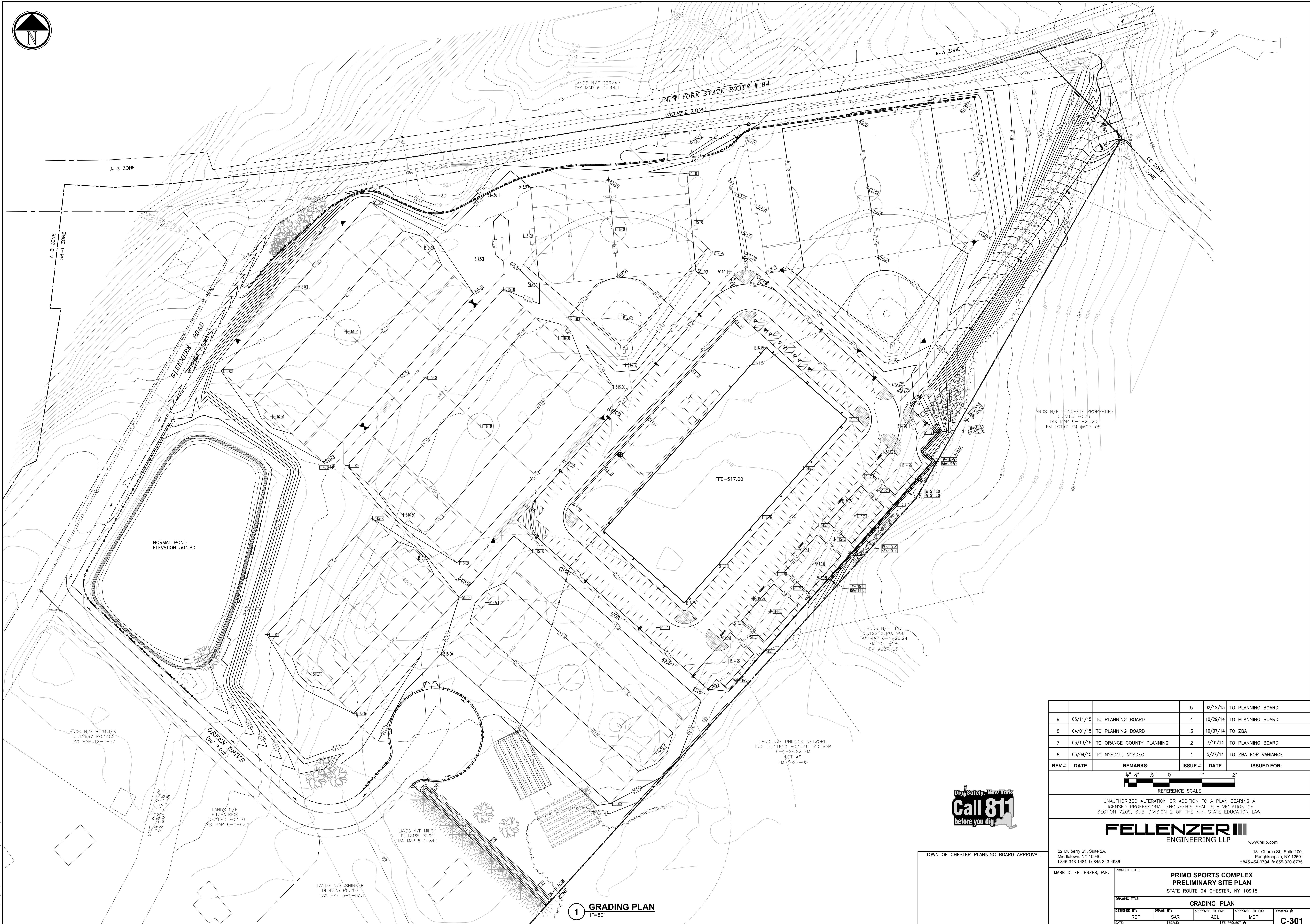
HOURS OF OPERATION:

MONDAY - THURSDAY: 8AM-10PM
FRIDAY & SATURDAY: 8AM-11PM
SUNDAY: 8AM-10PM



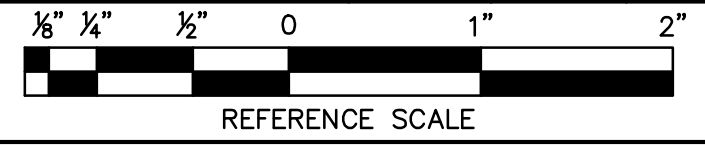
TOWN OF CHESTER PLANNING BOARD APPROVAL

			5	02/12/15	TO PLANNING BOARD
9	05/11/15	TO PLANNING BOARD	4	10/29/14	TO PLANNING BOARD
8	04/01/15	TO PLANNING BOARD	3	10/07/14	TO ZBA
7	03/13/15	TO ORANGE COUNTY PLANNING	2	7/10/14	TO PLANNING BOARD
6	03/09/15	TO NYSOT, NYDEC,	1	5/27/14	TO ZBA FOR VARIANCE
REV #	DATE	REMARKS	ISSUE #	DATE	ISSUED FOR:
<div><div><div>1/8" 1/4" 1/2" 0 1" 2"</div><div>REFERENCE SCALE</div></div></div>					
UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.					
<div><div><div>FELLENZER III ENGINEERING LLP</div><div>22 Mulberry St., Suite 2A, Middletown, NY 10940 t 845-343-1481 fx 845-343-4986</div><div>181 Church St., Suite 100, Poughkeepsie, NY 12601 t 845-454-9704 fx 855-320-8735</div></div><div>MARK D. FELLENZER, P.E.</div><div>PROJECT TITLE: PRIMO SPORTS COMPLEX PRELIMINARY SITE PLAN STATE ROUTE 94 CHESTER, NY 10918</div></div>					
DRAWING TITLE: SITE PLAN					
DESIGNED BY: RDF	DRAWN BY: SAR	APPROVED BY P.E.: ACL	APPROVED BY P.G.: MDF	DRAWING #: C-101	
DATE: 5/27/2014	SCALE: AS SHOWN	FE PROJECT #: 14-159	PAGE 5 OF 18		



TOWN OF CHESTER PLANNING BOARD APPROVAL

			5	02/12/15	TO PLANNING BOARD
9	05/11/15	TO PLANNING BOARD	4	10/29/14	TO PLANNING BOARD
8	04/01/15	TO PLANNING BOARD	3	10/07/14	TO ZBA
7	03/13/15	TO ORANGE COUNTY PLANNING	2	7/10/14	TO PLANNING BOARD
6	03/09/15	TO NYSDOT, NYSDC,	1	5/27/14	TO ZBA FOR VARIANCE
REV #	DATE	REMARKS:	ISSUE #	DATE	ISSUED FOR:



UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.

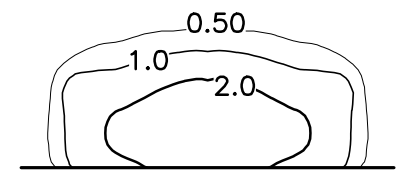
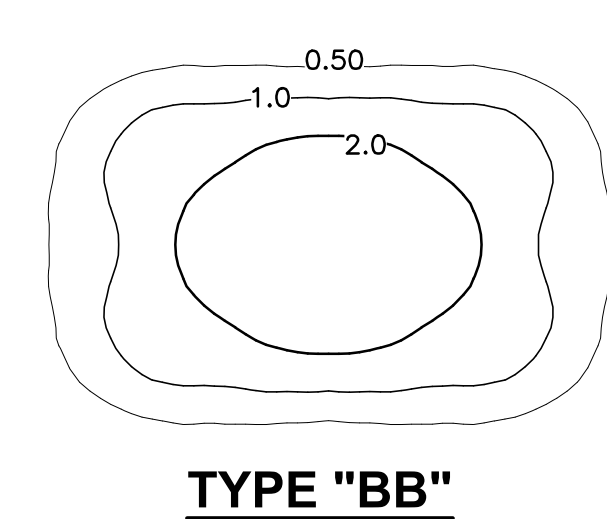
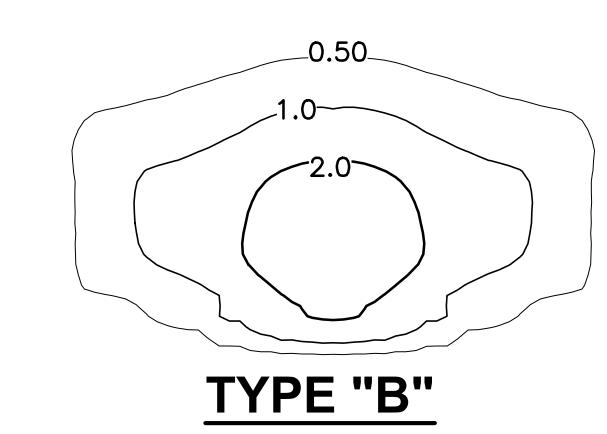
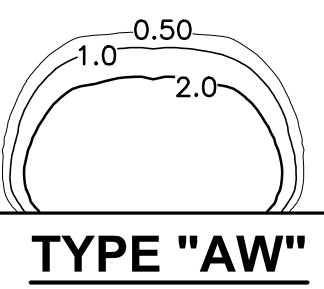
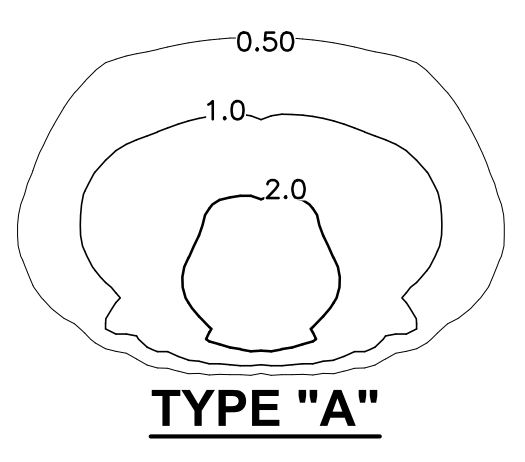
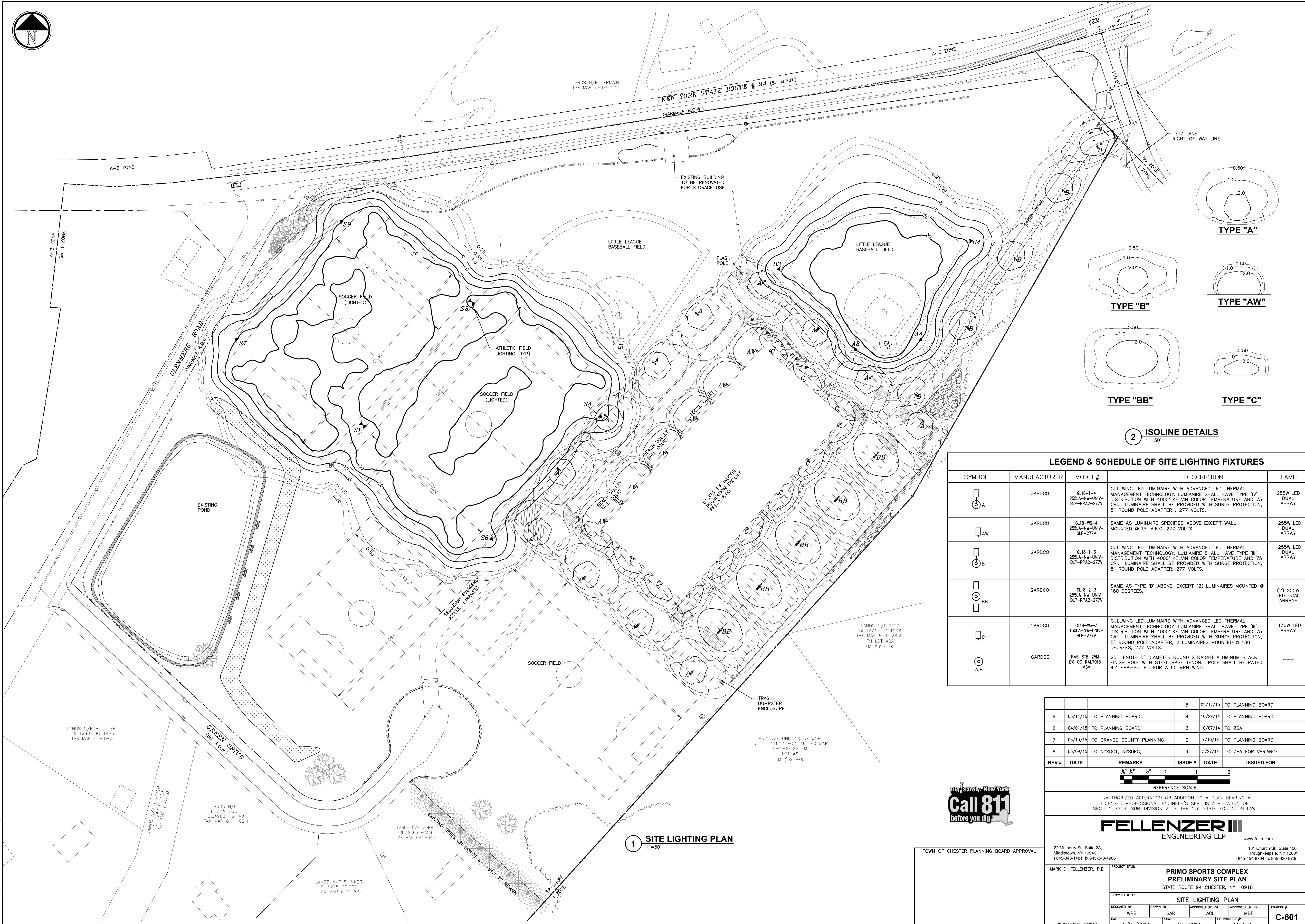
FELLENZER ENGINEERING LLP

22 Mulberry St., Suite 2A, Middletown, NY 10940
1 845-343-1481 fx 845-343-4986
181 Church St., Suite 100, Poughkeepsie, NY 12601
1 845-454-9704 fx 855-320-8735

MARK D. FELLENZER, P.E.	PROJECT TITLE:							
	PRIMO SPORTS COMPLEX PRELIMINARY SITE PLAN STATE ROUTE 94 CHESTER, NY 10918							
	DRAWING TITLE:							
GRADING PLAN								
DESIGNED BY:	RDF	DRAWN BY:	SAR	APPROVED BY PM:	ACL	APPROVED BY PG:	MDF	DRAWING #:
DATE:	5/27/2014	SCALE:	AS SHOWN	FE PROJECT #:	14-159	C-301		
NY PROFESSIONAL ENGINEER NO. 006866-1	PAGE 6 OF 16							



File Name: E:\2014\14-109 Chester Sports Complex\DWG\C-001.dwg (Layout: C-001)
Date: Thu, May 14, 2015 5:08 PM (Name: sar)



2 ISOLINE DETAILS
1"=50'

LEGEND & SCHEDULE OF SITE LIGHTING FIXTURES

SYMBOL	MANUFACTURER	MODEL#	DESCRIPTION	LAMP
	GARDCO	GL18-1-4 255LA-NW-UNIV- BLP-RPA2-277V	GULLWING LED LUMINAIRE WITH ADVANCED LED THERMAL MANAGEMENT TECHNOLOGY. LUMINAIRE SHALL HAVE TYPE 'IV' DISTRIBUTION WITH 4000° KELVIN COLOR TEMPERATURE AND 75 CRI. LUMINAIRE SHALL BE PROVIDED WITH SURGE PROTECTION, 5" ROUND POLE ADAPTER, 277 VOLTS.	255W LED DUAL ARRAY
	GARDCO	GL18-WS-4 255LA-NW-UNIV- BLP-277V	SAME AS LUMINAIRE SPECIFIED ABOVE EXCEPT WALL MOUNTED @ 15' A.F.G. 277 VOLTS.	255W LED DUAL ARRAY
	GARDCO	GL18-1-3 255LA-NW-UNIV- BLP-RPA2-277V	GULLWING LED LUMINAIRE WITH ADVANCED LED THERMAL MANAGEMENT TECHNOLOGY. LUMINAIRE SHALL HAVE TYPE 'III' DISTRIBUTION WITH 4000° KELVIN COLOR TEMPERATURE AND 75 CRI. LUMINAIRE SHALL BE PROVIDED WITH SURGE PROTECTION, 5" ROUND POLE ADAPTER, 277 VOLTS.	255W LED DUAL ARRAY
	GARDCO	GL18-2-3 255LA-NW-UNIV- BLP-RPA2-277V	SAME AS TYPE 'B' ABOVE, EXCEPT (2) LUMINAIRES MOUNTED @ 180 DEGREES.	(2) 255W LED DUAL ARRAYS
	GARDCO	GL18-WS-3 130LA-NW-UNIV- BLP-277V	GULLWING LED LUMINAIRE WITH ADVANCED LED THERMAL MANAGEMENT TECHNOLOGY. LUMINAIRE SHALL HAVE TYPE 'III' DISTRIBUTION WITH 4000° KELVIN COLOR TEMPERATURE AND 75 CRI. LUMINAIRE SHALL BE PROVIDED WITH SURGE PROTECTION, 5" ROUND POLE ADAPTER, 2 LUMINAIRES MOUNTED @ 180 DEGREES, 277 VOLTS.	130W LED ARRAY
	GARDCO	RA5-STB-25M- DX-OC-RAL7015- MSM	25' LENGTH 5" DIAMETER ROUND STRAIGHT ALUMINUM BLACK FINISH POLE WITH STEEL BASE TENON. POLE SHALL BE RATED 4.4 EPA-SQ. FT. FOR A 90 MPH WIND.	---



			5	02/12/15	TO PLANNING BOARD
9	05/11/15	TO PLANNING BOARD	4	10/29/14	TO PLANNING BOARD
8	04/01/15	TO PLANNING BOARD	3	10/07/14	TO ZBA
7	03/13/15	TO ORANGE COUNTY PLANNING	2	7/10/14	TO PLANNING BOARD
6	03/09/15	TO NYSOT, NYDEC,	1	5/27/14	TO ZBA FOR VARIANCE
REV #	DATE	REMARKS	ISSUE #	DATE	ISSUED FOR:

1"=50'

REFERENCE SCALE

UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.

FELLENZER III
ENGINEERING LLP
www.fellp.com

22 Mulberry St., Suite 2A,
Middletown, NY 10940
1 845-343-1481 fx 845-343-4986

181 Church St., Suite 100,
Poughkeepsie, NY 12601
1 845-454-9704 fx 855-320-8735

MARK D. FELLENZER, P.E.

PROJECT TITLE:
**PRIMO SPORTS COMPLEX
PRELIMINARY SITE PLAN**
STATE ROUTE 94 CHESTER, NY 10918

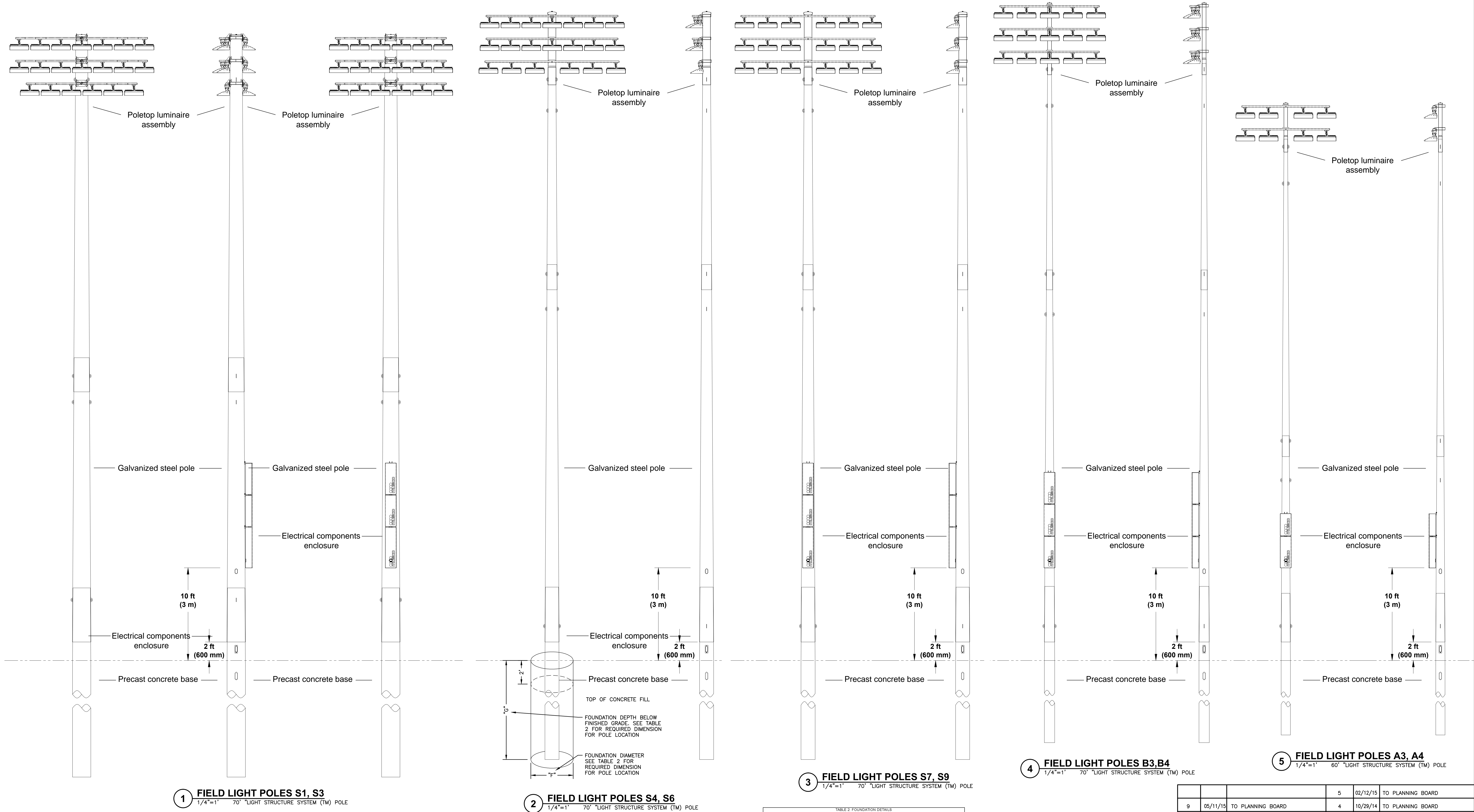
DRAWING TITLE:
SITE LIGHTING PLAN

DESIGNED BY: WPB	DRAWN BY: SAR	APPROVED BY PM: ACL	APPROVED BY PG: MDF
---------------------	------------------	------------------------	------------------------

DATE: 5/27/2014 SCALE: AS SHOWN FE PROJECT #: 14-159

NY PROFESSIONAL ENGINEER
NO. 064946-1

C-001
PAGE 11 OF 16



1 FIELD LIGHT POLES S1, S3
1/4"=1' 70" LIGHT STRUCTURE SYSTEM (TM) POLE

2 FIELD LIGHT POLES S4, S6
1/4"=1' 70" LIGHT STRUCTURE SYSTEM (TM) POLE

3 FIELD LIGHT POLES S7, S9
1/4"=1' 70" LIGHT STRUCTURE SYSTEM (TM) POLE

4 FIELD LIGHT POLES B3, B4
1/4"=1' 70" LIGHT STRUCTURE SYSTEM (TM) POLE

5 FIELD LIGHT POLES A3, A4
1/4"=1' 60" LIGHT STRUCTURE SYSTEM (TM) POLE

TABLE 1		
POLE ID	MOULDED HEIGHT (ft)	ASSEMBLED POLE WEIGHT (lb)
A1	60 (18.3)	1767 (802)
A2	60 (18.3)	1890 (860)
B1	70 (21.3)	3740 (1699)
B2	70 (21.3)	3740 (1699)
S1	70 (21.3)	4016 (1822)
S2	70 (21.3)	4016 (1822)
S3	70 (21.3)	7600 (3447)
S4	70 (21.3)	7600 (3447)
S5	70 (21.3)	4198 (1903)
S6	70 (21.3)	4198 (1903)

POLE ASSEMBLY NOTES:

- STEEL POLE SHOULD OVERLAP CONCRETE BASE AND BE SEATED TIGHT WITH 1 1/2 TON COME-ALONGS (CONTRACTOR PROVIDED).
- ALIGN WELDMARKS ON STEEL SECTIONS BEFORE ASSEMBLING.
- ASSEMBLED POLE WEIGHT INCLUDES STEEL SECTIONS, CROSSARMS, LUMINAIRES, AND ELECTRICAL COMPONENTS ENCLOSURES.
- THIS DOCUMENT IS NOT INTENDED FOR USE AS AN ASSEMBLY INSTRUCTION. SEE INSTALLATION INSTRUCTIONS: LIGHT-STRUCTURE GREEN LIGHTING SYSTEM™ FOR COMPLETE ASSEMBLY PROCEDURE.

NOTE:

ALL LUMINAIRES SHALL BE AS MANUFACTURED BY MUSCO SPORTS LIGHTING, MODEL LED-96-SD-SM-480V, 394 WATT 96 LED ARRAY USING ADVANCED OPTIC CONTROL WITH 5700° KELVIN COLOR TEMPERATURE AND SURGE PROTECTION.

TABLE 2: FOUNDATION DETAILS					
POLE ID	CONCRETE BASE WEIGHT (lb)	BURIAL INFORMATION 14		CUT BASE	LIGHTNING GROUNDING SUPPLEMENTAL TYPE
		F	G		
A1	2710 (1226)	30 (762)	12 (3.7)	1.5 (1.1)	NO
A2	2820 (1276)	30 (762)	12 (3.7)	1.5 (1.1)	NO
B1	5250 (2381)	30 (762)	16 (4.9)	1.6 (1.2)	NO
B2	5250 (2381)	30 (762)	16 (4.9)	1.6 (1.2)	NO
S1	5250 (2381)	30 (762)	16 (4.9)	1.6 (1.2)	NO
S2	5250 (2381)	30 (762)	16 (4.9)	1.6 (1.2)	NO
S3	11060 (5017)	42 (1067)	20 (6.1)	4.4 (3.3)	NO
S4	11060 (5017)	42 (1067)	20 (6.1)	4.4 (3.3)	NO
S5	5250 (2381)	30 (762)	16 (4.9)	1.6 (1.2)	NO
S6	5250 (2381)	30 (762)	16 (4.9)	1.6 (1.2)	NO

FOUNDATION NOTES:

- CONCRETE BACKFILL IS CALCULATED TO 2 FT (0.6M) BELOW GRADE (NO OVERAGE INCLUDED). TOP 2 FT (0.6M) TO BE CLASS 5 SOIL COMPACTED TO 95% DENSITY OF SURROUNDING UNDISTURBED SOIL UNLESS OTHERWISE SPECIFIED IN STAMPED STRUCTURAL DESIGN.
- CONCRETE BACKFILL REQUIRED 3000 LB/IN² (20 MPA) MINIMUM UNLESS OTHERWISE SPECIFIED IN STAMPED STRUCTURAL DESIGN.
- FOUNDATION DESIGN PER 2009 IBC, 110 MPH EXPOSURE CATEGORY C, VARIATION STD.
- ASSUMES IBC CLASS 5 SOILS.
- STANDARD BASES INCLUDE INTEGRATED LIGHTNING PROTECTION. IF BASES ARE CUT, SUPPLEMENTAL LIGHTNING PROTECTION IS REQUIRED.
- CONTACT MUSCO FOR MATERIALS AND INSTRUCTION.
- LIGHTNING PROTECTION IS A MANUFACTURER INSTALLED CONCRETE ENCASED ELECTRODE AND CONNECTOR. GROUND CONNECTION IS MADE WHEN CONCRETE BASE IS INSTALLED AND FOOTING IS POURED. NO ADDITIONAL STEPS REQUIRED.



TOWN OF CHESTER PLANNING BOARD APPROVAL

			5	02/12/15	TO PLANNING BOARD
9	05/11/15	TO PLANNING BOARD	4	10/29/14	TO PLANNING BOARD
8	04/01/15	TO PLANNING BOARD	3	10/07/14	TO ZBA
7	03/13/15	TO ORANGE COUNTY PLANNING	2	7/10/14	TO PLANNING BOARD
6	03/09/15	TO NYSOT, NYSDEC,	1	5/27/14	TO ZBA FOR VARIANCE
REV #	DATE	REMARKS:	ISSUE #	DATE	ISSUED FOR:
<div><div><div>1/4"=1'</div><div>1/2"</div><div>0</div><div>1"</div><div>2"</div></div><div>REFERENCE SCALE</div></div>					
UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.					
<div><div><div>FELLENZER</div><div>ENGINEERING LLP</div><div>www.fellp.com</div></div><div>22 Mulberry St., Suite 2A, Middletown, NY 10940 t 845-343-1481 fx 845-343-4986</div><div>181 Church St., Suite 100, Poughkeepsie, NY 12601 t 845-454-9704 fx 855-320-8735</div></div>					
MARK D. FELLENZER, P.E.		PROJECT TITLE: PRIMO SPORTS COMPLEX PRELIMINARY SITE PLAN STATE ROUTE 94 CHESTER, NY 10918			
DRAWING TITLE: ALTHETIC FIELD LIGHTING DETAILS					
DESIGNED BY: RDF	DRAWN BY: SAR	APPROVED BY P.E.: ACL	APPROVED BY P.E.: MDF	C-602	
DATE: 5/27/2014	SCALE: AS SHOWN	FE PROJECT #: 14-159	PAGE 12 OF 16		



PLANTING SCHEDULE

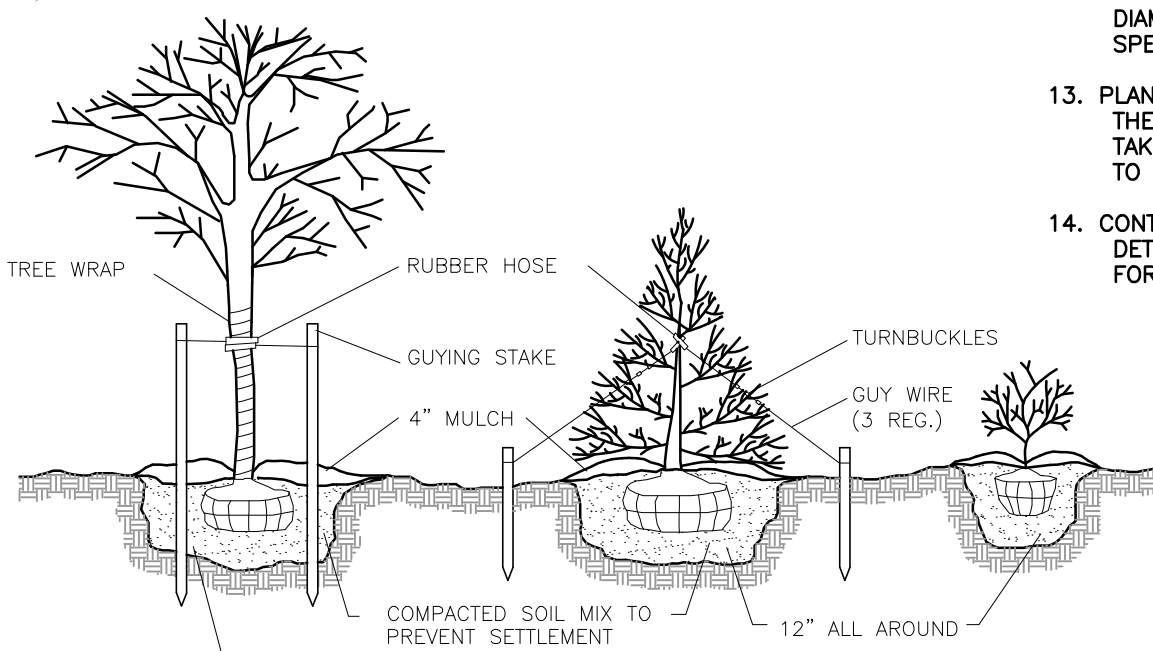
TREES & SHRUBS	SPRING PLANTING	FALL PLANTING
EVERGREEN	APRIL 1 - JUNE 30	SEPT. 1 - OCT. 15
DECIDUOUS	MARCH 1 - JUNE 30	OCT. 1 - DEC. 1

PERMANENT SEEDING SCHEDULE

- TOPSOIL SHALL BE SPREAD TO A COMPACTED UNIFORM THICKNESS OF 4".
- TOPSOIL SURFACE SHALL BE FINELY GRADED AND LOOSENED BY MECHANICAL RAKES TO ENSURE SEED ACCEPTANCE AND SEED TO SOIL CONTACT.
- FERTILIZER SHALL BE APPLIED AT 6 LBS. OF 5-10-10 COMMERCIAL FERTILIZER/1000 SQ. FT.
- SEEDING SHALL BE INSTALLED AT 5 LBS./1000 SQ. FT. OF:
60% KENTUCKY BLUE GRASS
20% CHEWINGS FESCUE
20% PERENNIAL RYE

GENERAL PLANTING NOTES:

- PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER FINAL ACCEPTANCE OF PROJECT PLANTING. DEAD, DYING, UNHEALTHY AND/OR PLANTS IN POOR CONDITION SHALL BE REPLACED IN THE SAME PLANTING SEASON THAT THE LANDSCAPE ARCHITECT HAS DEEMED THE PLANT UNACCEPTABLE. PLANTINGS THAT REQUIRE REPLACEMENT SHALL BE REMOVED AND REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- EXISTING VEGETATION AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE TOPSOILED AND SEEDED UPON COMPLETION OF WORK.
- NEW PLANTING ROOT BALLS REMOVED FROM CANS SHALL BE SCARIFIED PRIOR TO BACKFILLING THE PLANT.
- ALL PLANTINGS SHOWN ON APPROVED SITE DEVELOPMENT PLAN OR SPECIAL PERMIT PLAN SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF USE AND PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT IMMEDIATELY FOLLOWING GROWING SEASON.
- FOR PLANTING OPERATION, STANDARDS AND MATERIALS SEE SPECIFICATIONS.
- CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LIMITS OF WORK AND EXISTING CONDITIONS AND VERIFY ALL INFORMATION. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN (7) CALENDAR DAYS OF NOTICE TO PROCEED.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES AND OBTAIN AS-BUILT INFORMATION. DRAWINGS WERE PREPARED ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN (7) CALENDAR DAYS OF NOTICE TO PROCEED OF ANY DISCREPANCIES.
- CONTRACTOR SHALL NOTIFY ALL NECESSARY UTILITY COMPANIES 48 HOURS MINIMUM PRIOR TO DIGGING FOR VERIFICATION OF ALL UNDERGROUND UTILITIES AND OTHER OBSTRUCTIONS AND COORDINATE WITH OWNER'S REPRESENTATIVE IN WRITING PRIOR TO INITIATING OPERATIONS.
- TYPICALLY, SHRUB AND GROUNDCOVER PLANTINGS ARE SHOWN AS MASS PLANTING BEDS. PLANTS SHALL BE PLACED ON A TRIANGULAR SPACING CONFIGURATION (STAGGERED SPACING). PLANT CENTER TO CENTER DIMENSIONS (O.C.) ARE LISTED ON THE PLANT LIST.
- CONTRACTOR SHALL FIELD STAKE THE LOCATIONS OF ALL PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO ALL EXISTING UNDERGROUND UTILITIES AND/OR EXISTING ABOVE GROUND ELEMENTS. ALL CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
- ALL TREES PLANTED IN LAWN AREA SHALL RECEIVE A 4" DIAMETER MULCH RING AT A DEPTH OF 4" AS PER THE SPECIFICATIONS.
- PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE. IN THE EVENT OF QUANTITY DISCREPANCIES, THE DRAWING SHALL TAKE PRECEDENCE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANT LIST, GENERAL NOTES AND SPECIFICATIONS FOR FURTHER AND COMPLETE INSTRUCTIONS.



DECIDUOUS TREES EVERGREEN TREES SHRUBS

2 PLANTING & GUYING DETAIL

N.T.S.

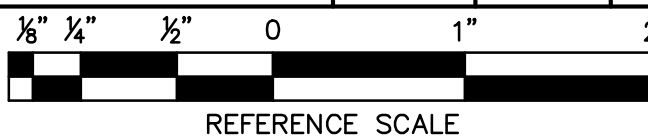
PLANTS LIST

TYPE	KEY	QTY.	BOTANICAL NAME	COMMON NAME	MIN. SIZE	REMARKS
DECIDUOUS TREES	Ck	2	Cornus Kousa	Kousa Dogwood	12'-14' hgt	B&B
	Pc	4	Pyrus Calleryana "Whitehouse"	Whitehouse Callery Pear	2"-2-1/2" c	B&B
	Qp	16	Quercus Palustris	Pin Oak	3"-3-1/2" c	B&B
	Tc	6	Tilia Cordata	Little Leaf Linden	3"-3-1/2" c	B&B
	Tl	3	Tilia Tomentosa "Sterling Silver"	Silver Linden	3"-3-1/2" c	B&B
EVERGREEN TREES	Ns	34	Picea Abies	Norway Spruce	7' - 8' hgt	B&B
	Pg	53	Picea Glauca	White Spruce	7' - 8' hgt	B&B
EVERGREEN SHRUBS	Vr	10	Viburnum Rhytidophyllum	Leatherleaf Viburnum	34"-36"	B&B
DECIDUOUS SHRUBS	Fi	11	Forsythia x Intermedia	Spring Glory Forsythia	34"-36"	B&B

PROPOSED DECIDUOUS SHADE TREES SHALL BE STREET TREE PRUNED. PIN OAKS AND LINDENS PROPOSED ALONG ROUTE 94 ADJACENT TO NETTING MAY NEED TO BE PRUNED IN THE FIELD TO MINIMIZE INTERFERENCE OR DAMAGE TO THE PROPOSED NETTING.

REVISED 05-08-2015 - PER COMMENTS OF KAREN ARENT REVIEW MEMORANDUM DATED 4-15-2015

			5	02/12/15	TO PLANNING BOARD
9	05/11/15	TO PLANNING BOARD	4	10/29/14	TO PLANNING BOARD
8	04/01/15	TO PLANNING BOARD	3	10/07/14	TO ZBA
7	03/13/15	TO ORANGE COUNTY PLANNING	2	7/10/14	TO PLANNING BOARD
6	03/09/15	TO NYSOT, NYSDEC,	1	5/27/14	TO ZBA FOR VARIANCE
REV #	DATE	REMARKS	ISSUE #	DATE	ISSUED FOR:



UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.

FELLENZER III
ENGINEERING LLP

www.fellp.com

22 Mulberry St., Suite 2A,
Middletown, NY 10940
t 845-343-1481 fx 845-343-4986

181 Church St., Suite 100,
Poughkeepsie, NY 12601
t 845-454-9704 fx 855-320-8735

PROJECT TITLE:

PRIMO SPORTS COMPLEX
PRELIMINARY SITE PLAN
STATE ROUTE 94 CHESTER, NY 10918

DRAWING TITLE:

LANDSCAPE PLAN

DESIGNED BY:	DRAWN BY:	APPROVED BY PM:	APPROVED BY PG:
EAA	SAR	ACL	MDF
DATE:	SCALE:	FE PROJECT #:	
5/27/2014	AS SHOWN	14-159	

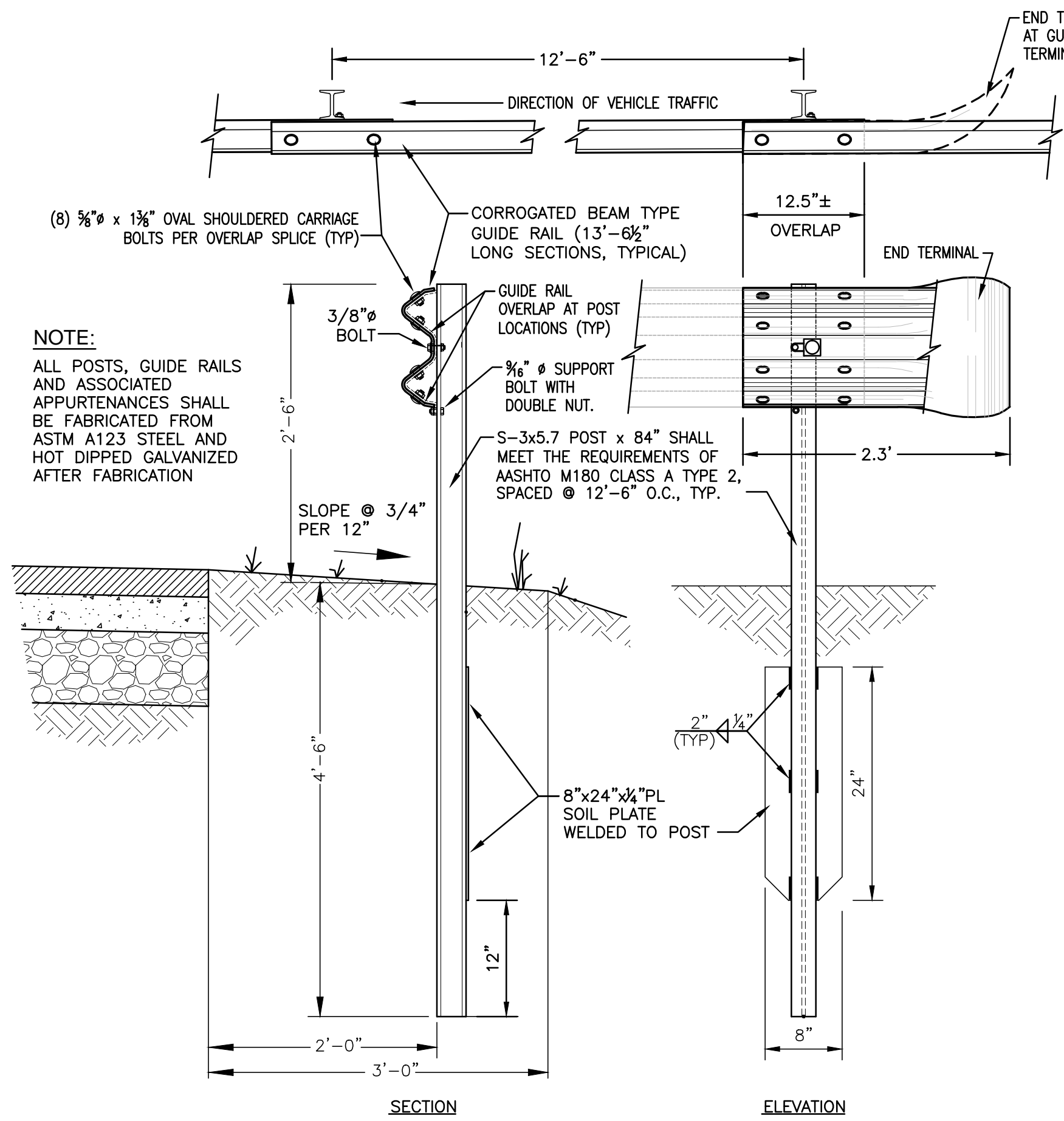
C-701
PAGE 13 OF 18

ESPOSITO & ASSOCIATES

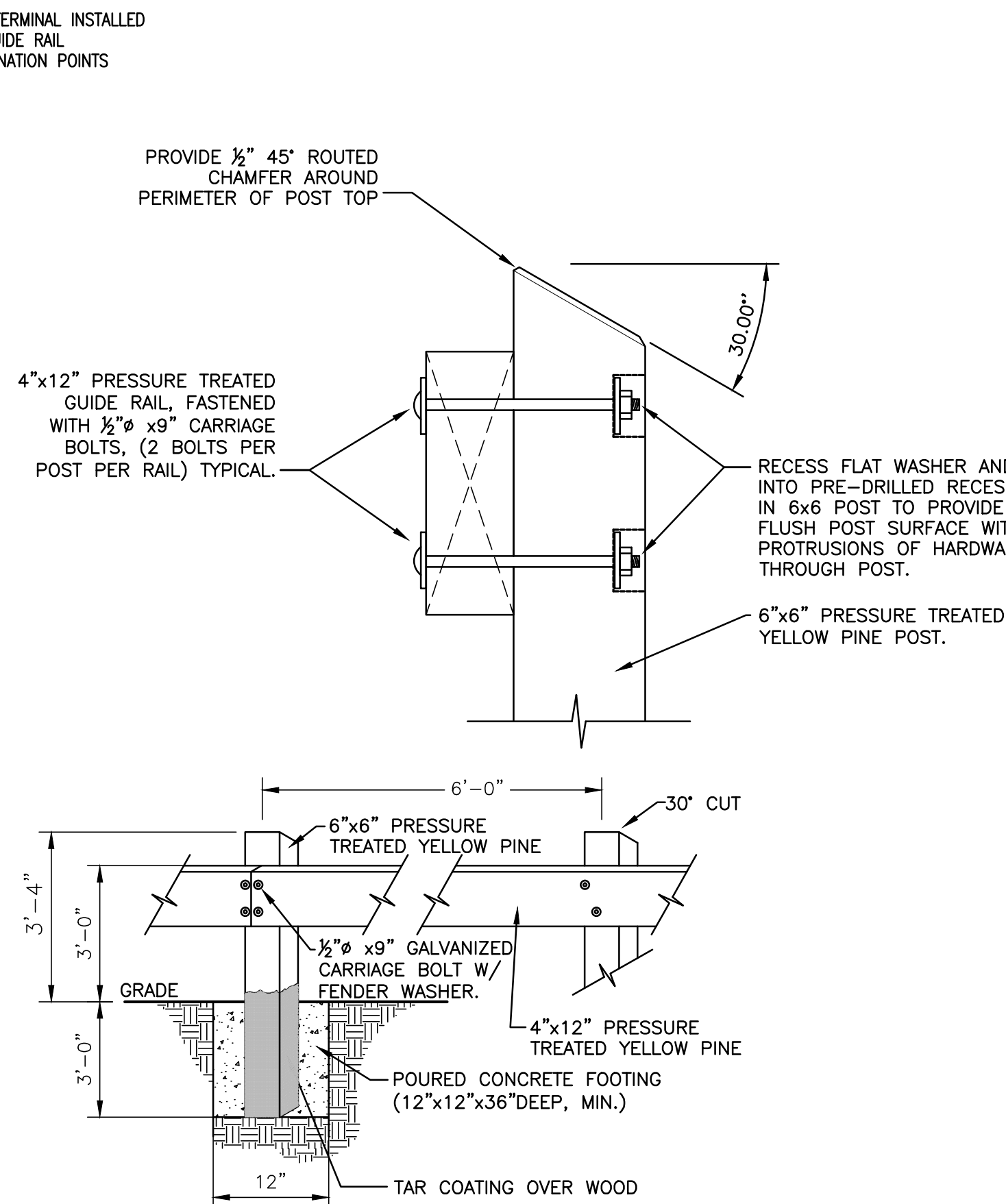
262 GREENWICH AVENUE
GOSHEN NY, 10924
845.244.0550 Fax 845.244.0580

1 LANDSCAPE PLAN

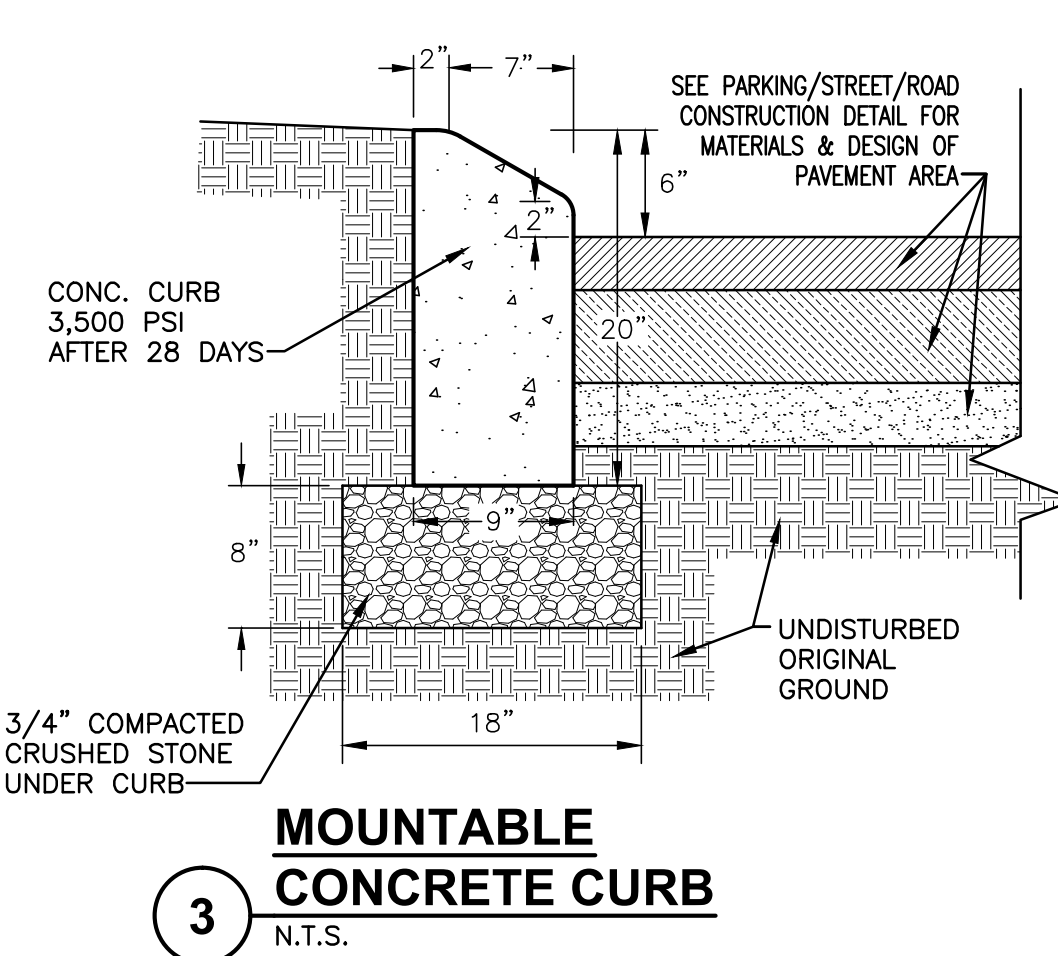
1"=50'



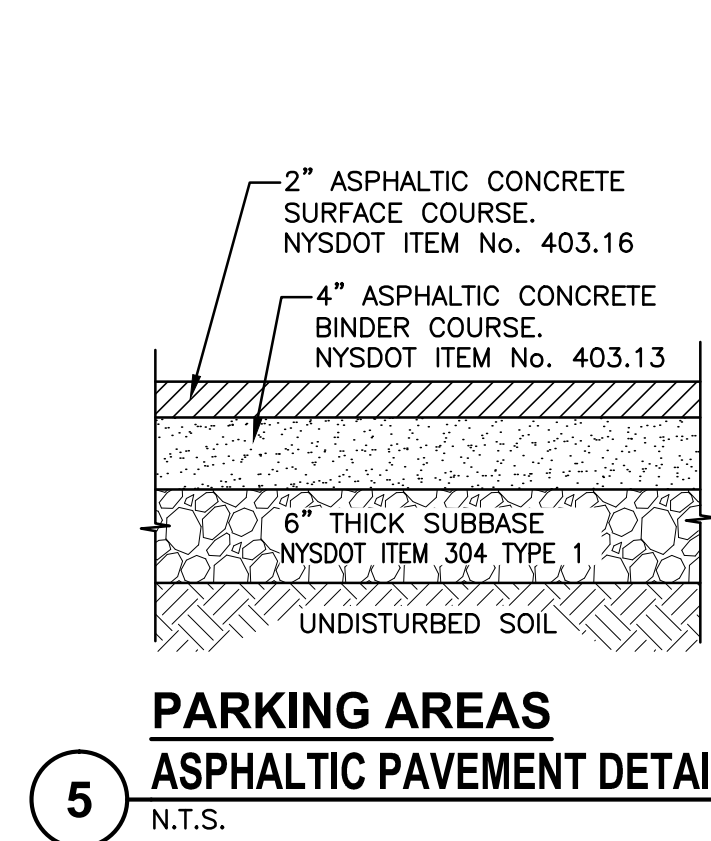
1 CORRUGATED TYPE GUIDE RAIL DETAIL
N.T.S. (ENTRY ROAD & RETAINING WALL LOCATIONS)



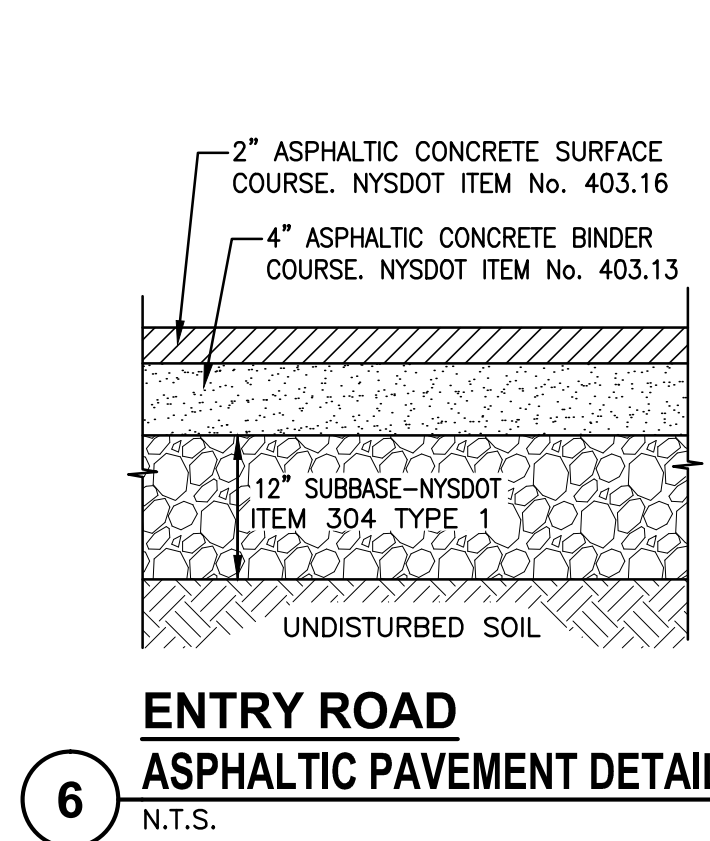
2 HEAVY TIMBER GUIDE RAIL DETAIL
N.T.S. (PATIO & SAND COURT LOCATIONS ONLY)



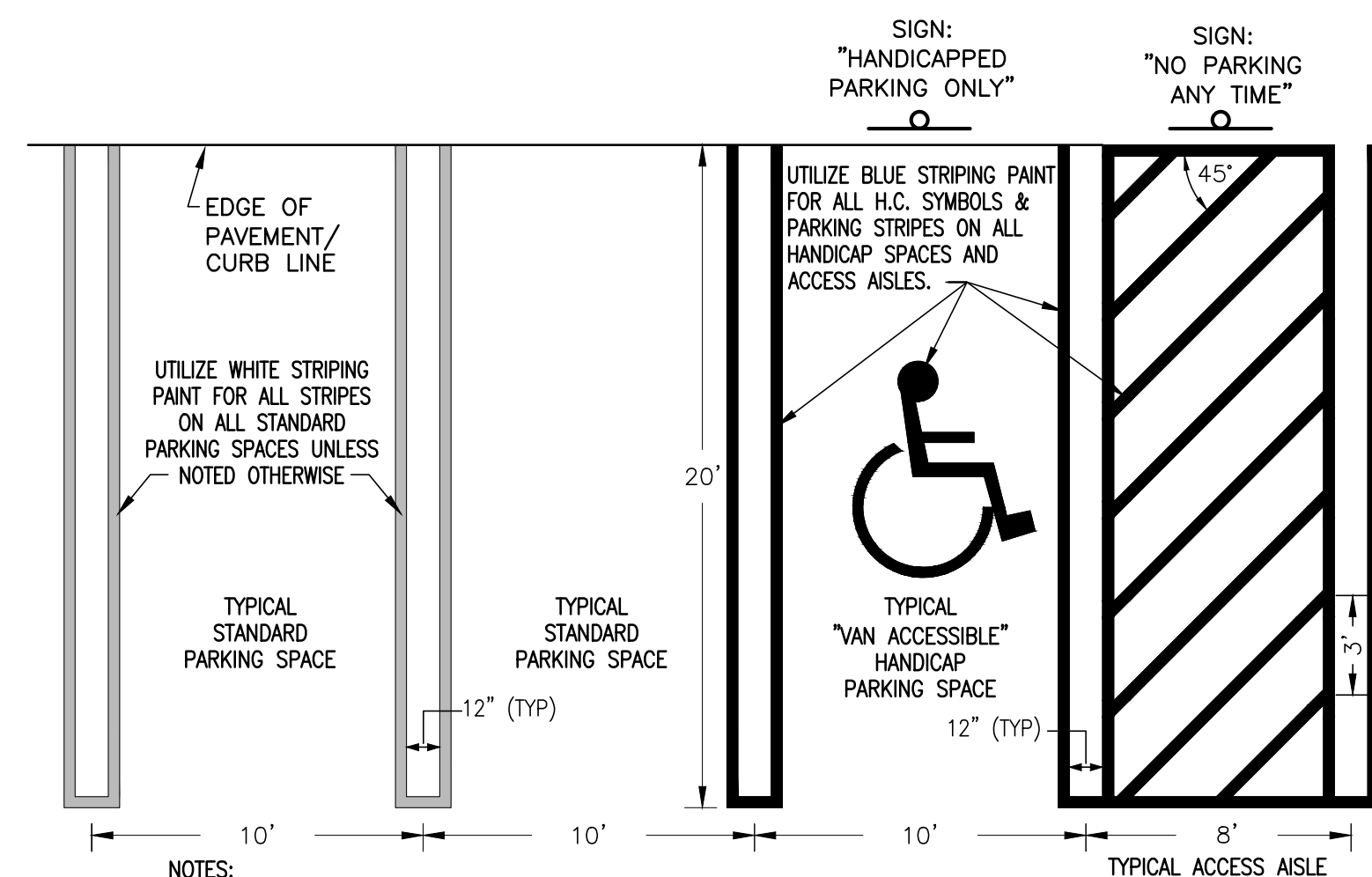
3 MOUNTABLE CONCRETE CURB
N.T.S.



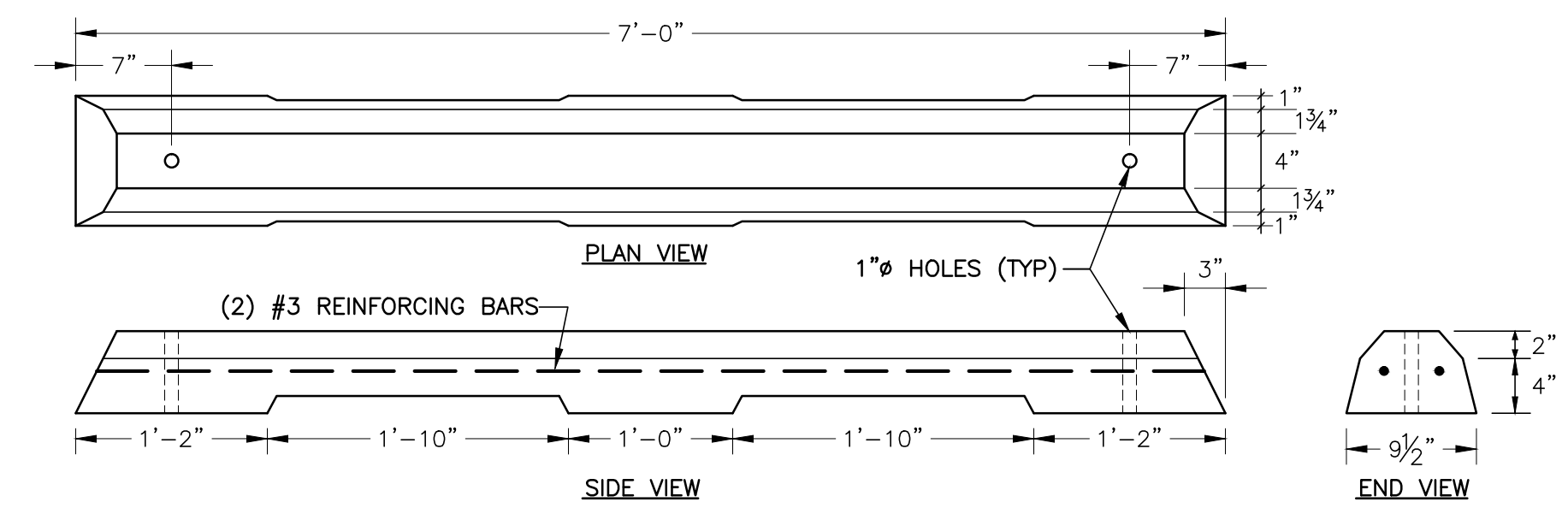
5 PARKING AREAS ASPHALTIC PAVEMENT DETAIL
N.T.S.



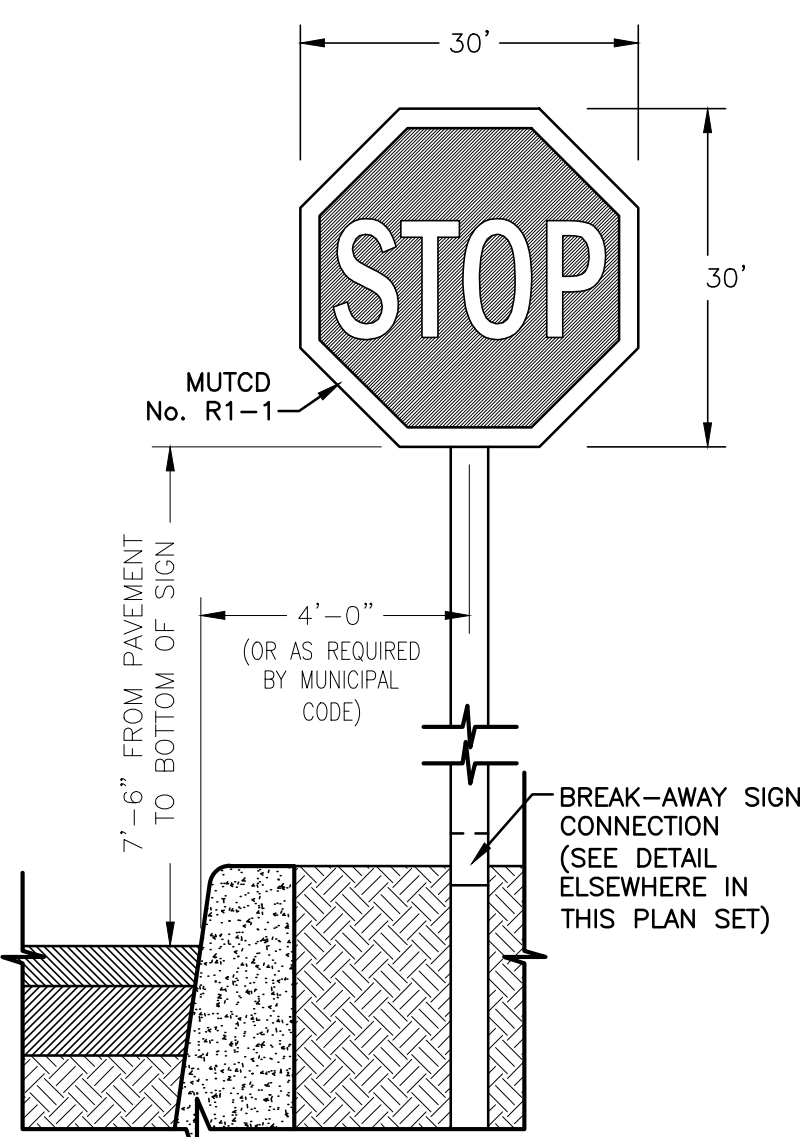
6 ENTRY ROAD ASPHALTIC PAVEMENT DETAIL
N.T.S.



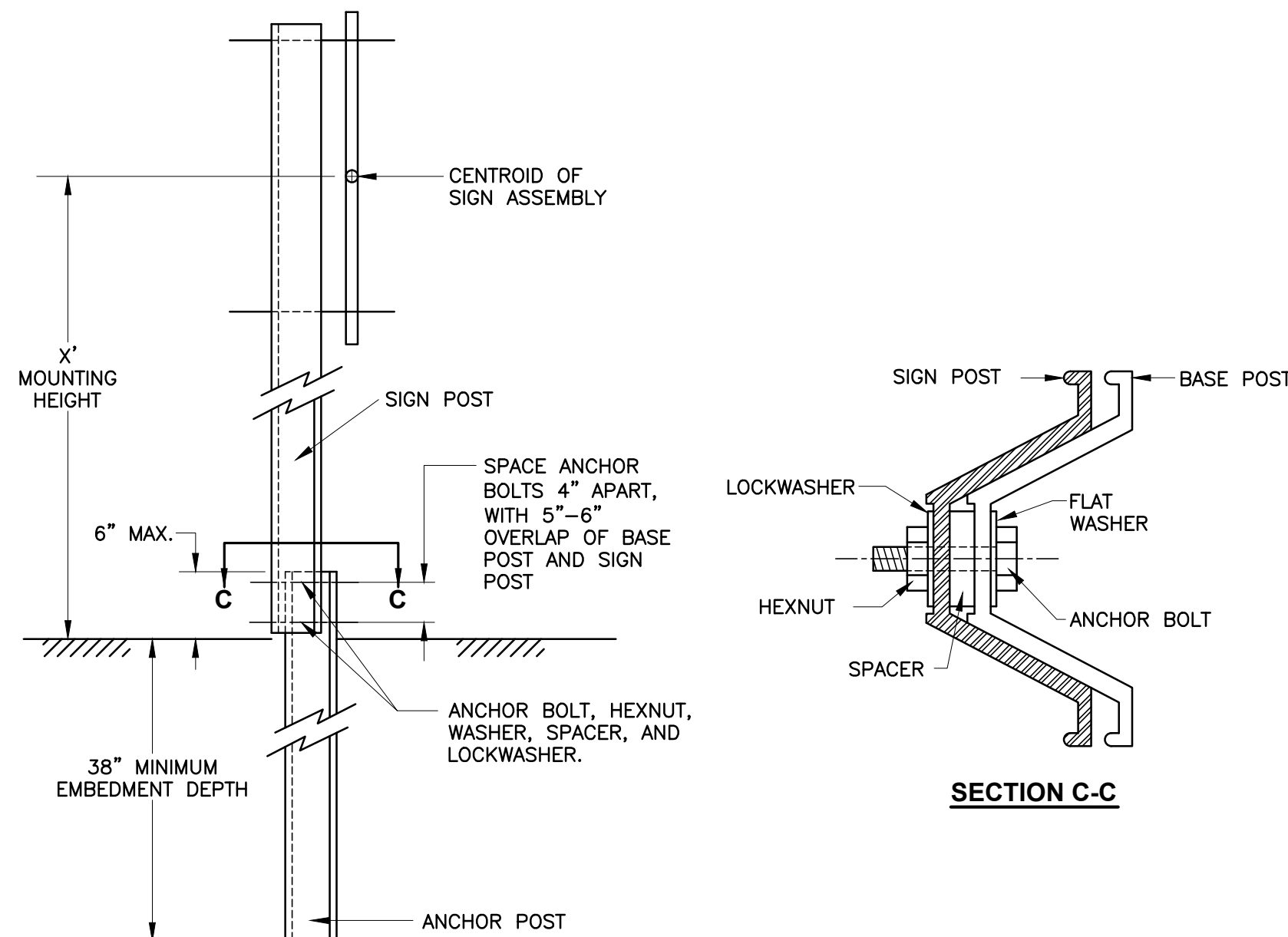
4 VAN ACCESSIBLE HANDICAP PARKING - STRIPING DETAIL
N.T.S.



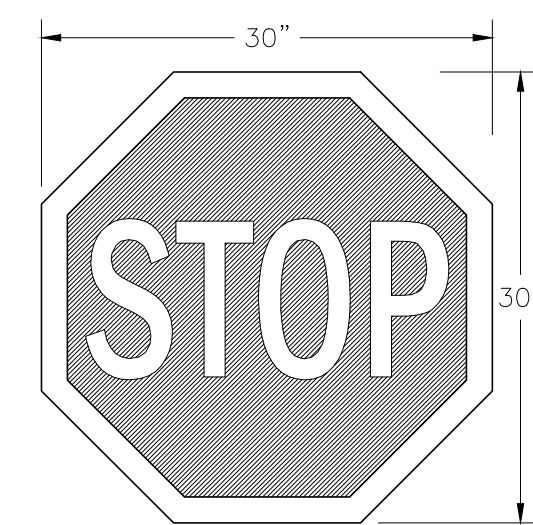
7 CONCRETE BUMPER BLOCK DETAIL
N.T.S.



8 STOP SIGN PARKING LOT INSTALLATION DETAIL
N.T.S.



9 BREAKAWAY STYLE SIGN POST DETAIL
N.T.S.



13 STOP SIGN
N.T.S. (MUTCD No. R1-1)



14 LEFT TURN ONLY LANE CONTROL SIGN
N.T.S. (MUTCD No. R3-5)



15 RIGHT TURN ONLY LANE CONTROL SIGN
N.T.S. (MUTCD No. R3-5)



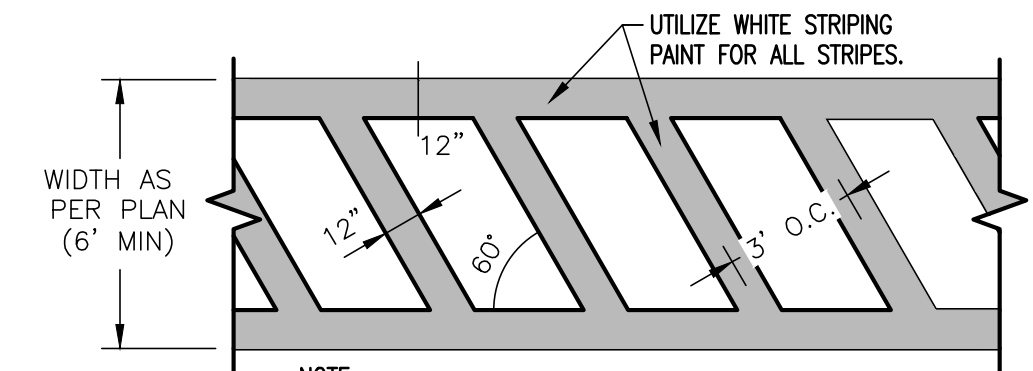
16 SPEED LIMIT SIGN
N.T.S. (MUTCD No. R2-1)



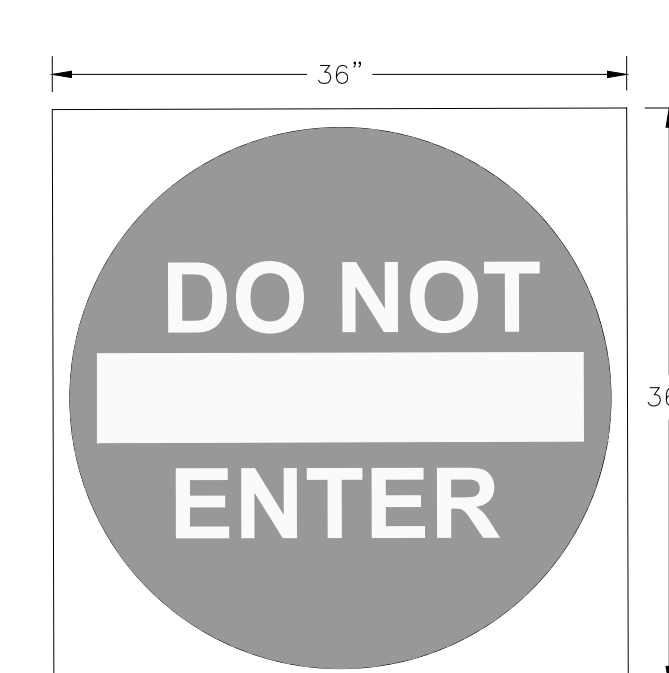
17 NO PARKING ANYTIME SIGN (WITH ARROWS)
N.T.S.



18 HANDICAP RESERVED PARKING SIGN
N.T.S.



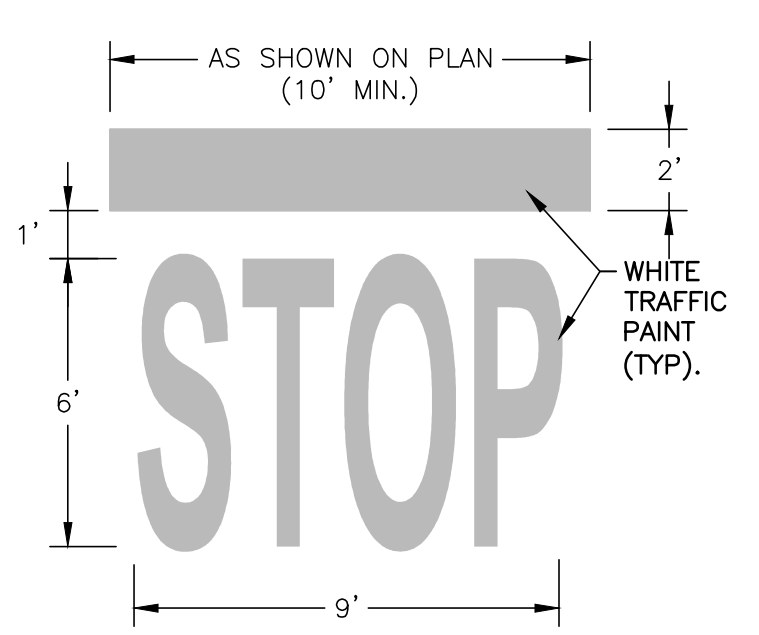
19 CROSSWALK STRIPING DETAIL
N.T.S.



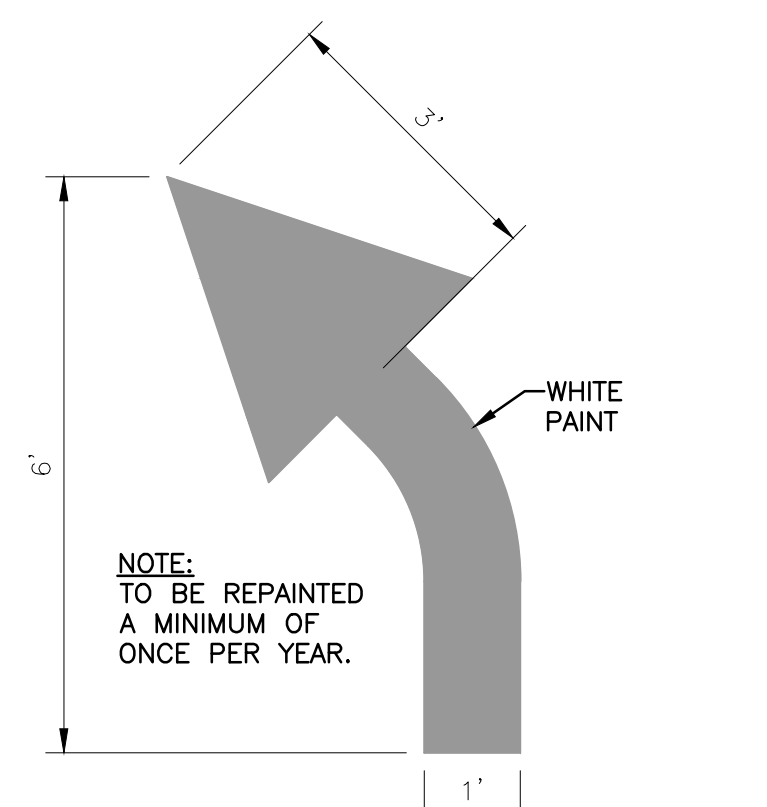
20 DO NOT ENTER
N.T.S. (MUTCD No. R3-15)



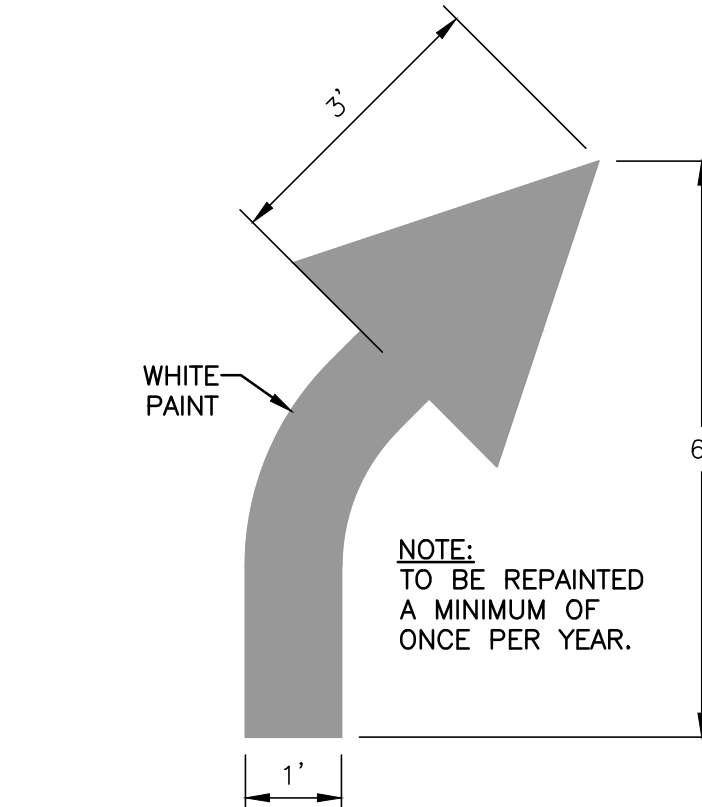
17 NO PARKING ANYTIME SIGN
N.T.S.



10 'STOP' PAVEMENT MARKING DETAIL
N.T.S.



11 LEFT DIRECTIONAL ARROW PAVEMENT MARKING DETAIL
N.T.S.

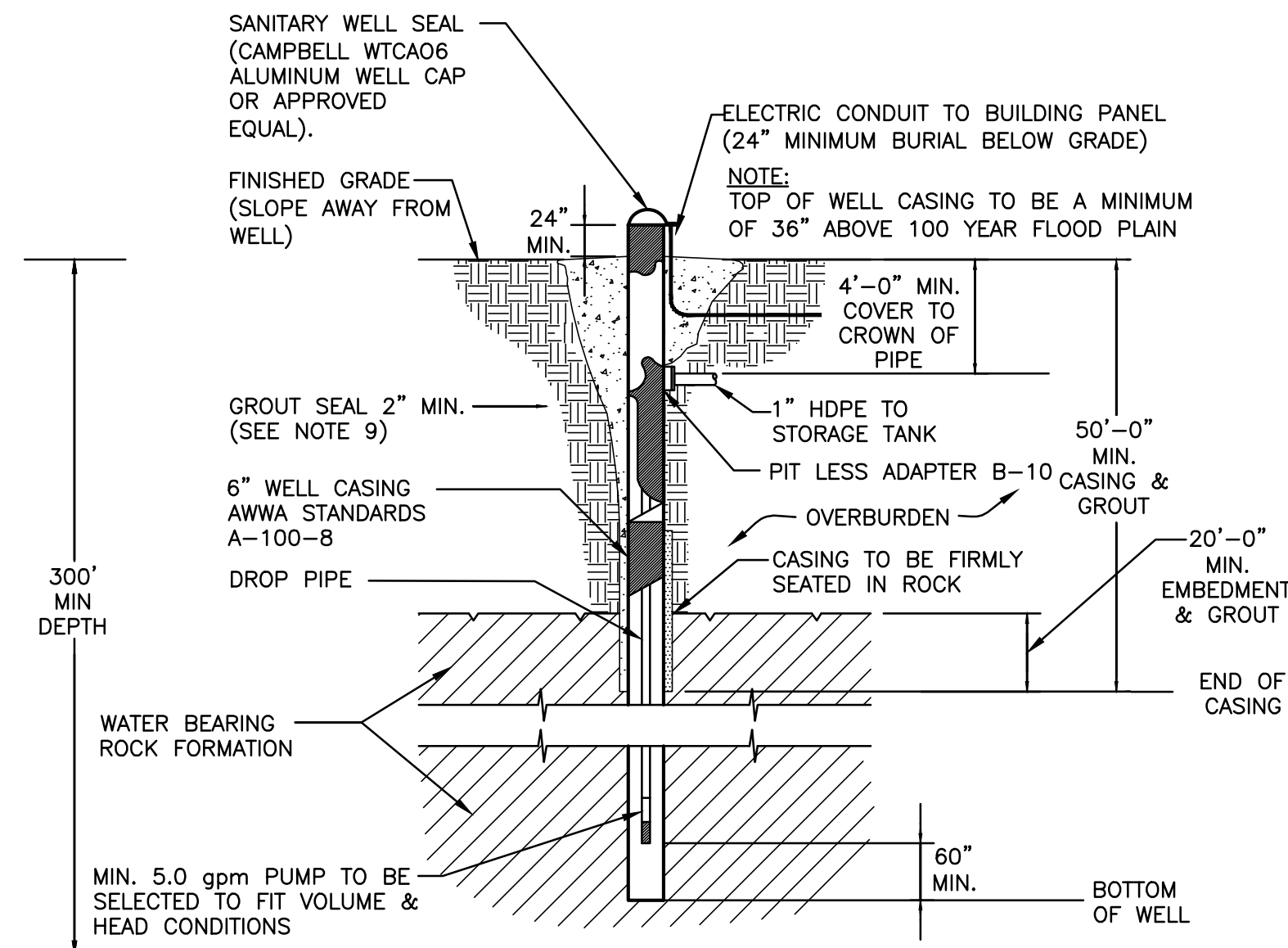
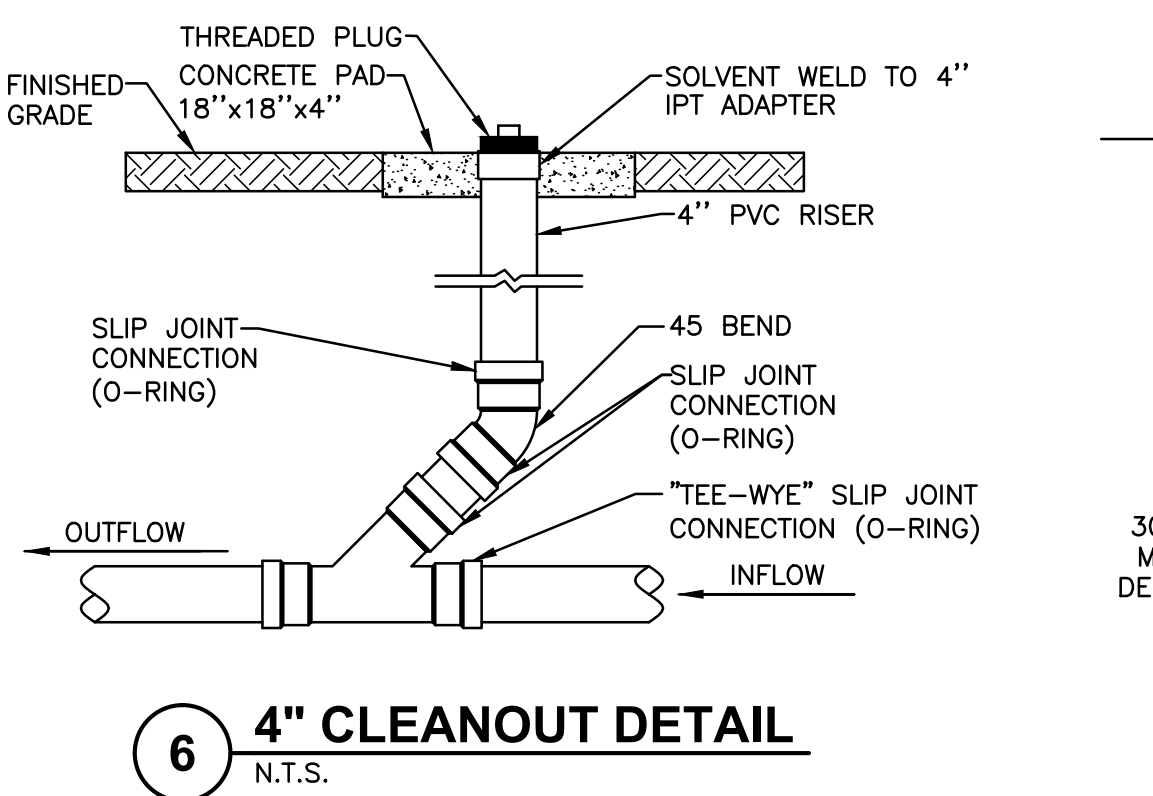
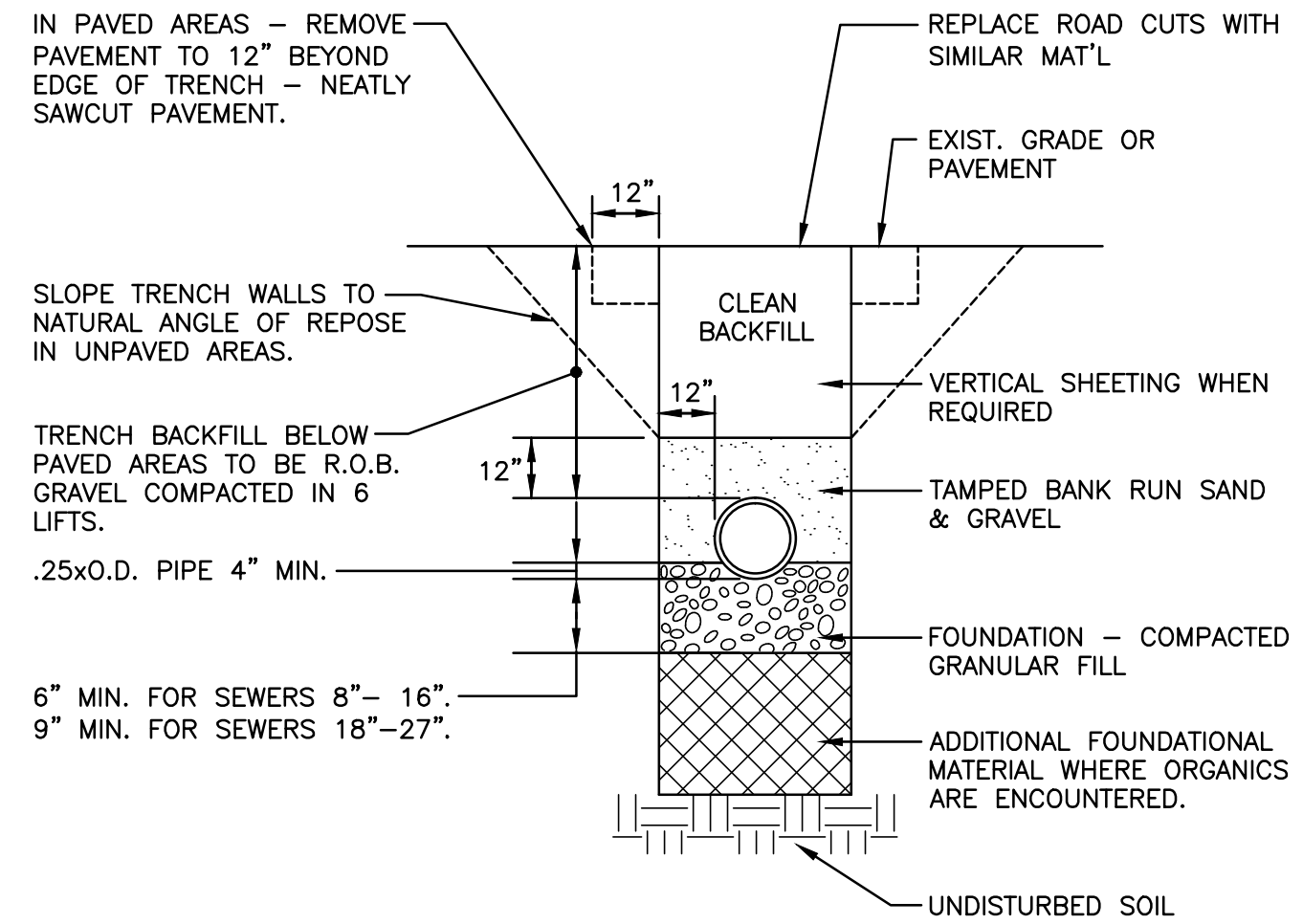
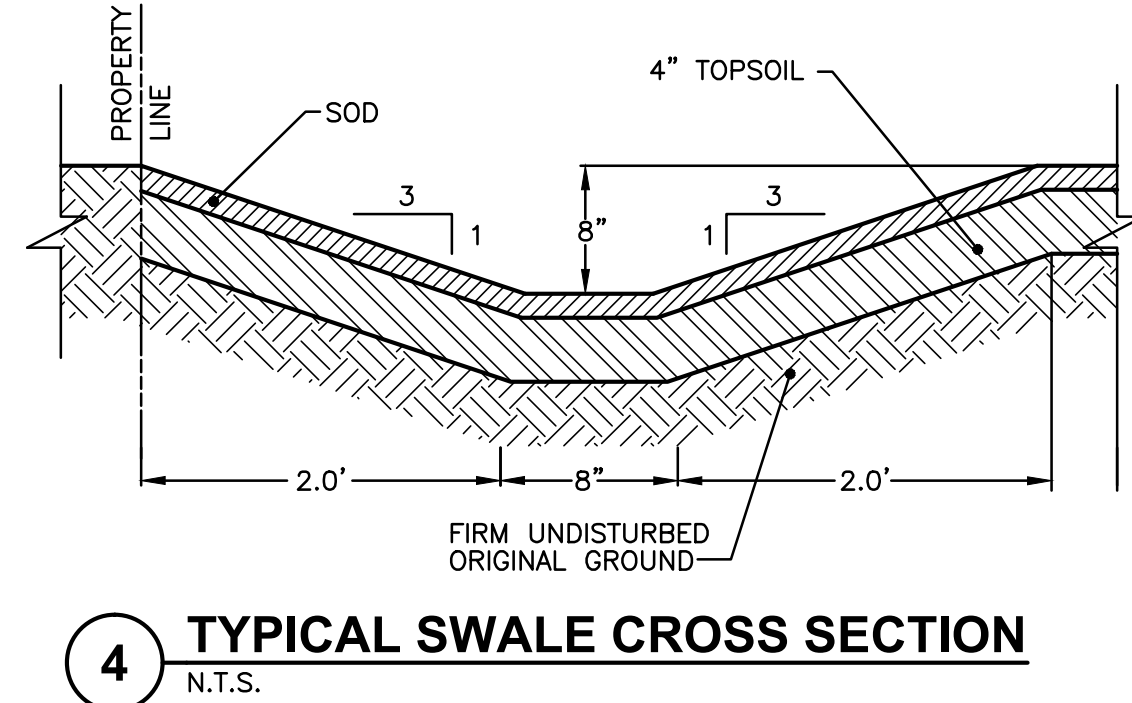
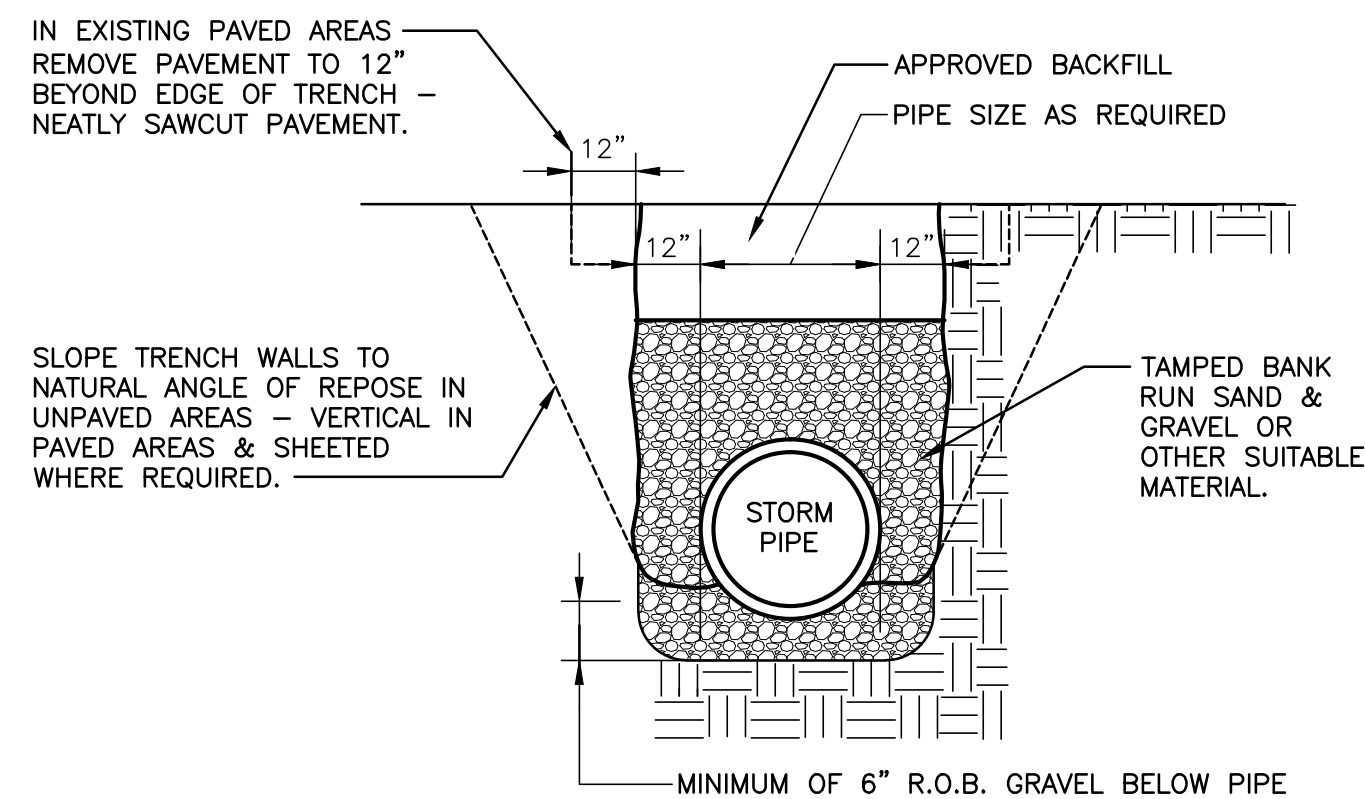
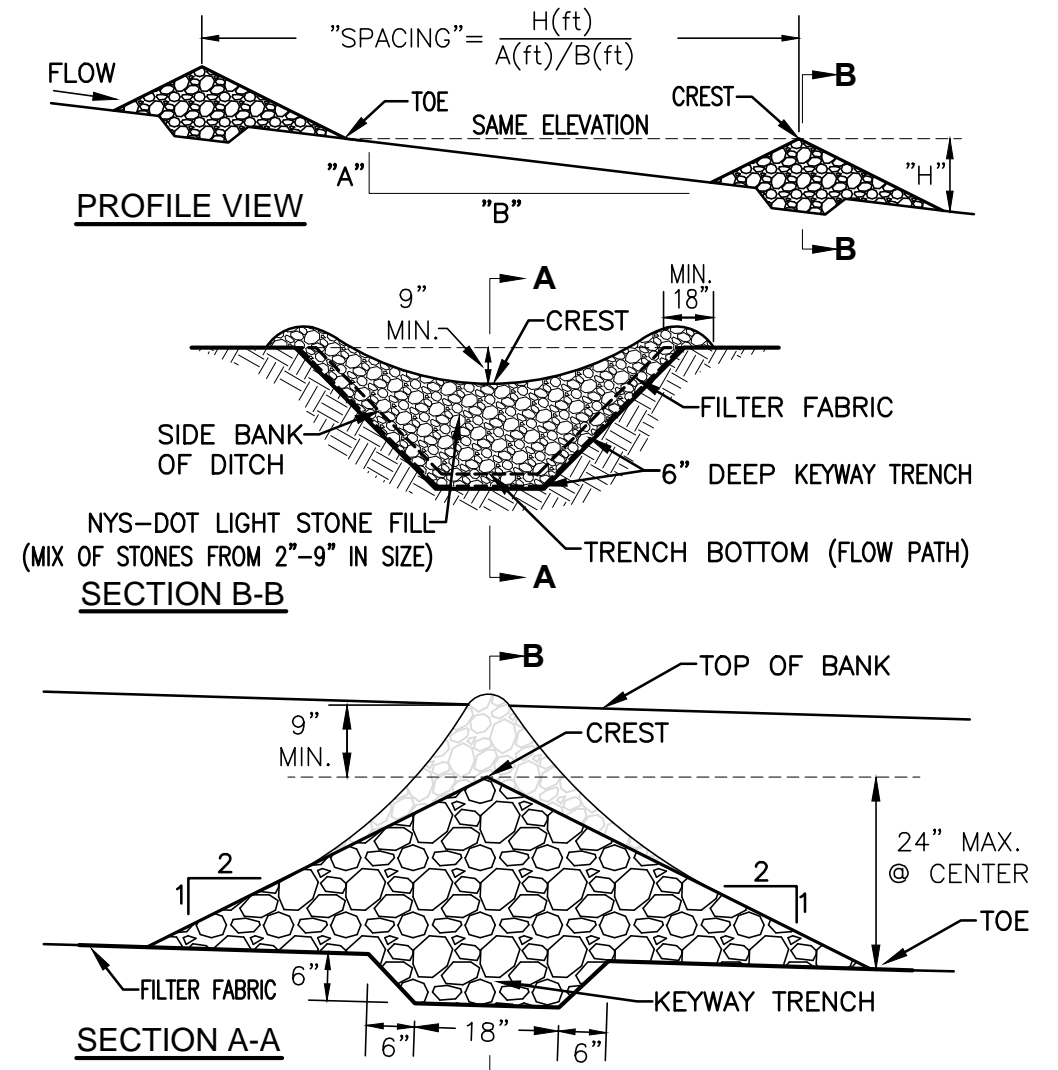
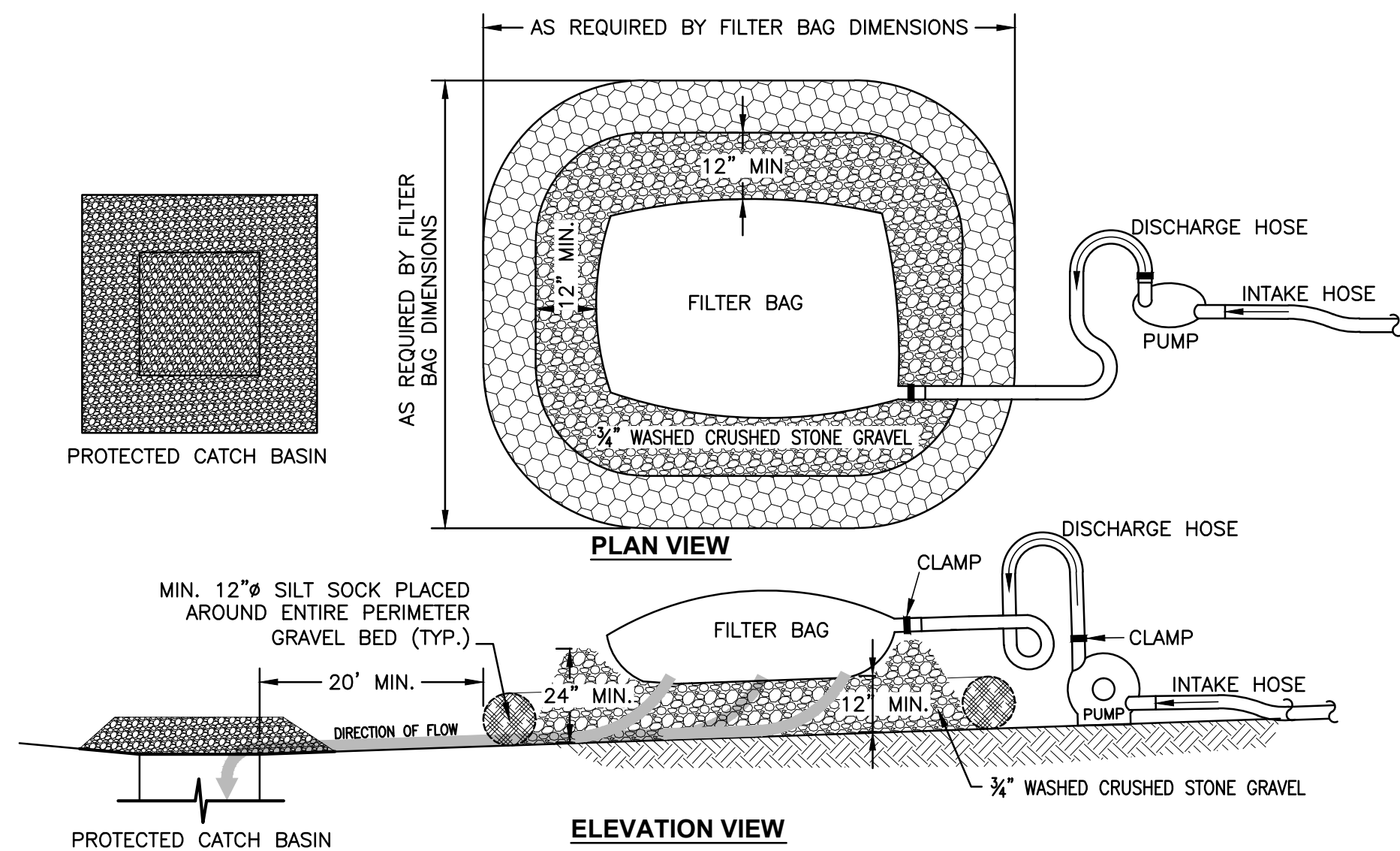


12 RIGHT DIRECTIONAL ARROW PAVEMENT MARKING DETAIL
N.T.S.

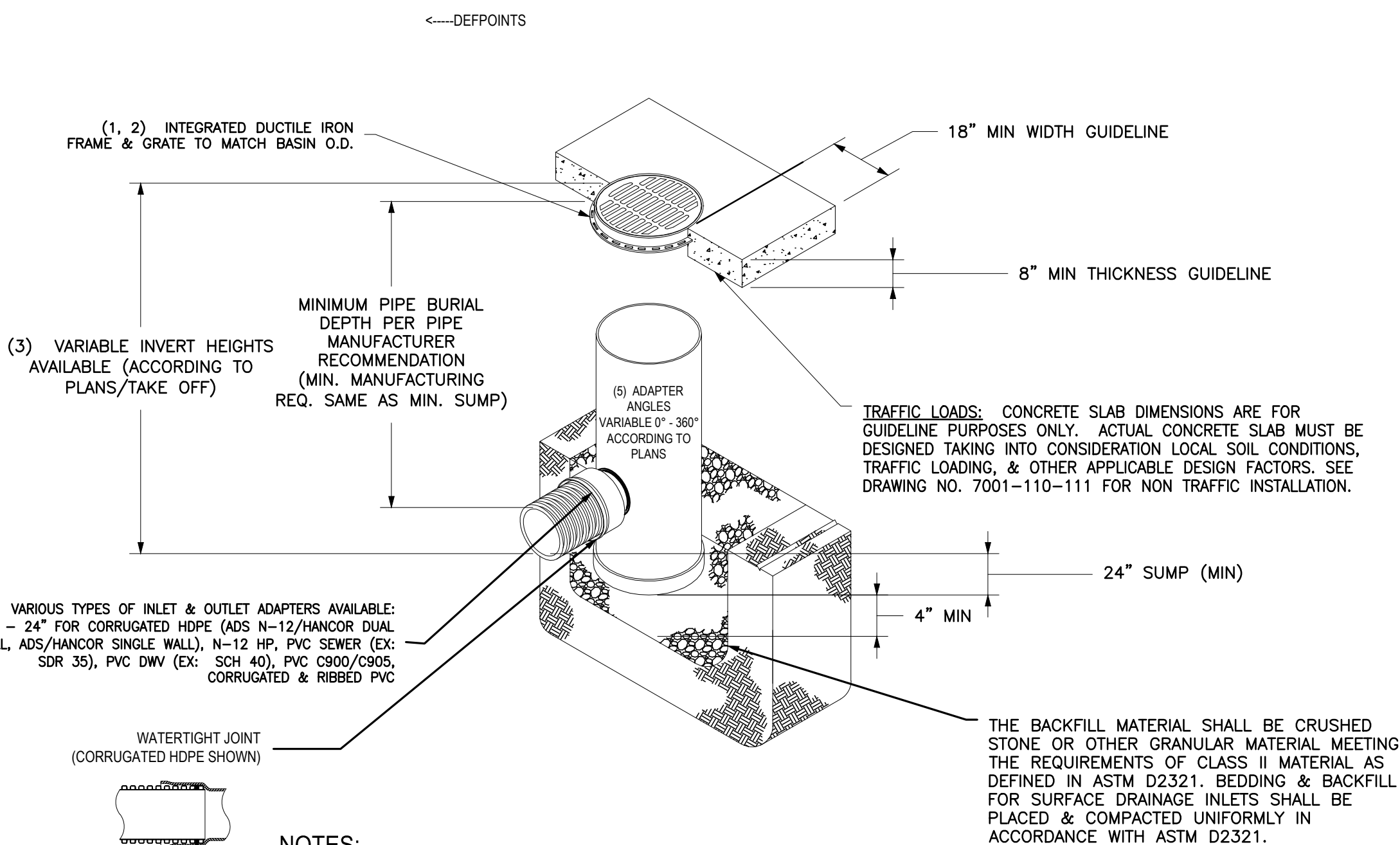


TOWN OF CHESTER PLANNING BOARD APPROVAL

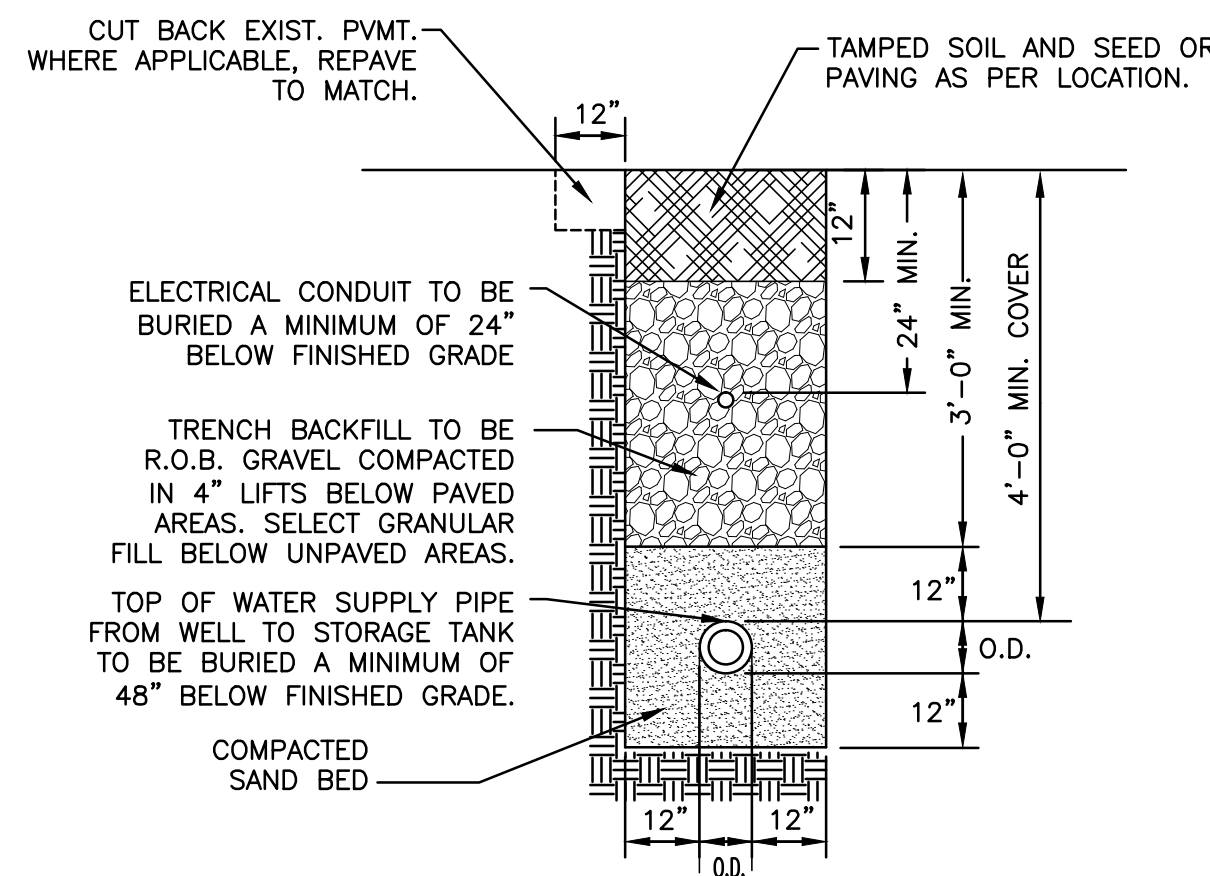
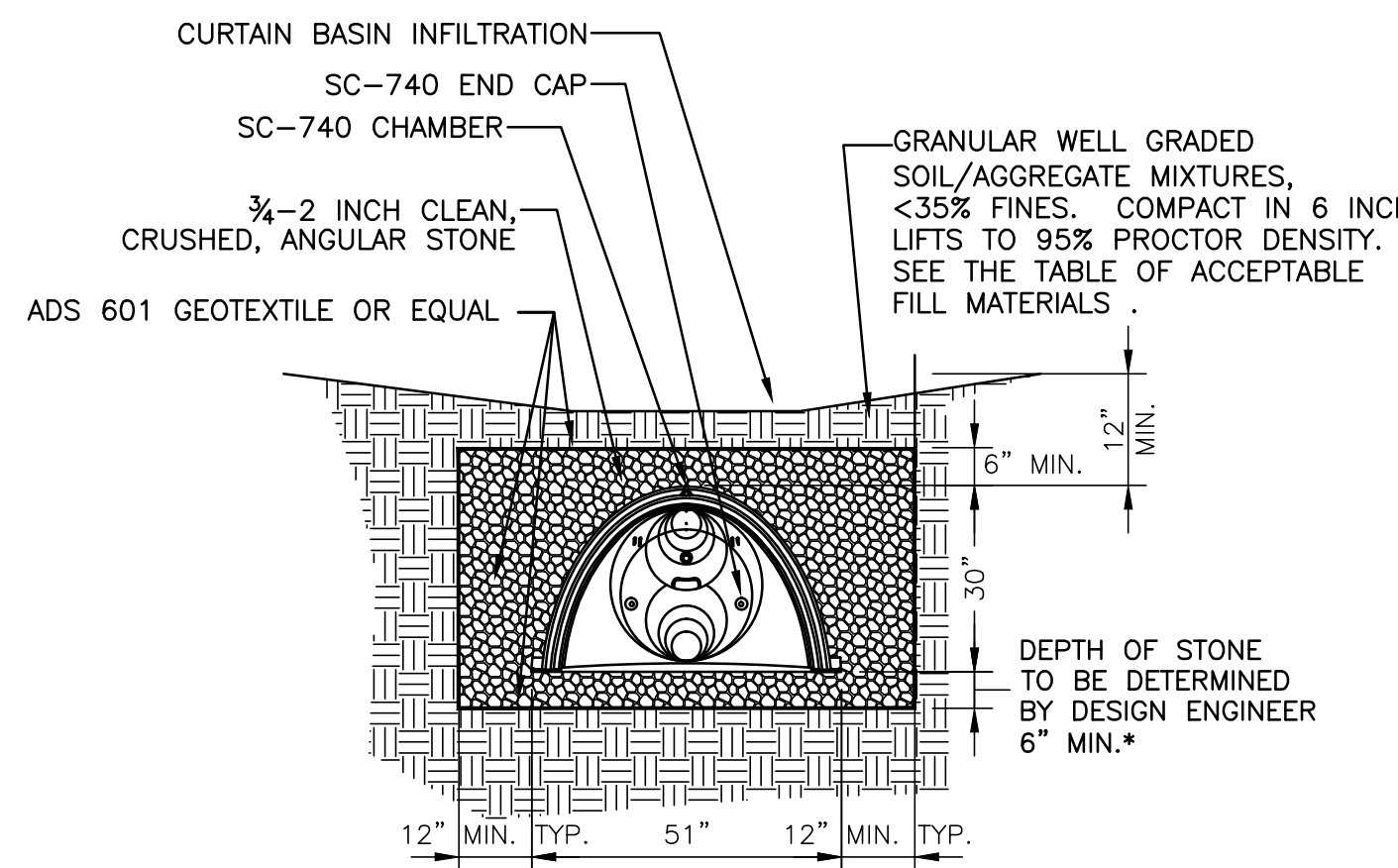
			5	02/12/15	TO PLANNING BOARD
9	05/11/15	TO PLANNING BOARD	4	10/29/14	TO PLANNING BOARD
8	04/01/15	TO PLANNING BOARD	3	10/07/14	TO ZBA
7	03/13/15	TO ORANGE COUNTY PLANNING	2	7/10/14	TO PLANNING BOARD
6	03/09/15	TO NYSDOT, NYSDC,	1	5/27/14	TO ZBA FOR VARIANCE
REV #	DATE	REMARKS:	ISSUE #	DATE	ISSUED FOR:
<div><div><div>3/8"</div><div>1/4"</div><div>3/16"</div><div>0</div><div>1"</div><div>2"</div></div><div>REFERENCE SCALE</div></div>					
UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.					
<div><div><div><div><div>FELLENZER</div><div>ENGINEERING LLP</div></div><div><div>www.fellp.com</div></div></div><div><div>22 Mulberry St., Suite 2A, Middletown, NY 10940 t 845-343-1481 fx 845-343-4986</div><div><div>181 Church St., Suite 100, Poughkeepsie, NY 12601 t 845-454-9704 fx 855-320-8735</div></div></div></div></div>					
MARK D. FELLENZER, P.E. PROJECT TITLE: PRIMO SPORTS COMPLEX PRELIMINARY SITE PLAN STATE ROUTE 94 CHESTER, NY 10918					
DRAWING TITLE: DETAILS					
DESIGNED BY: RDF		DRAWN BY: SAR		APPROVED BY: PM: ACL	APPROVED BY: PIC: MDF
DATE: 5/27/2014		SCALE: AS SHOWN		FE PROJECT #: 14-159	
NY PROFESSIONAL ENGINEER NO. 064946-1					



- NOTES:**
1. WELL IS TO BE Cased AND GROUTED FOR A MINIMUM OF 40' IN LENGTH.
 2. OVERSIZE DRILL HOLE (FOR GROUTING) TO BE 10" IN DIAMETER AND A MIN. OF 40' IN LENGTH.
 3. WELL CASING TO CONFORM TO TEN STATE STANDARD LATEST EDITION.
 4. PIT LESS ADAPTER SHALL BE A CAMPBELL MODEL B-10, BRONZE ADAPTER AND THE WELL SEAL SHALL BE A SEAL MODEL WTC06 ALUMINUM CAP.
 5. DISCHARGE PIPE: C901-96 AWWA STANDARD FOR POLYETHYLENE (PE) PRESSURE TREATED PIPE AND TUBING, ½" THROUGH 3".
 6. WATER SERVICE LINES UNDER PRESSURE SHALL NOT PASS CLOSER THEN 10' TO A SEPTIC TANK, TILE FIELD OR ANY OTHER PART OF A SEWAGE DISPOSAL SYSTEM.
 7. CAST IRON PIPES WITH LEAD CAULKED JOINTS ARE REQUIRED FOR SEWAGE LINES WITHIN 50' OF ANY WELL.
 8. MINIMUM WELL YIELD TO BE 5.0 GPM.
 9. CEMENT GROUT SHALL BE A MIXTURE OF 1 BAG OF CEMENT (94 lbs.) AND 5-5½ GALLONS OF CLEAN WATER
 10. ELECTRICAL WORK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE NYS BUILDING CODE.
 11. CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS AS SET FORTH IN THE PUBLICATION "RURAL WATER SUPPLY", NYS DEPT. OF HEALTH, LATEST EDITION.
 12. THE PUMP SELECTED MUST BE CAPABLE OF DELIVERING A MINIMUM OF 5.0 GALLONS PER MINUTE.
 13. THE WELL CASING SHALL EXTEND A MINIMUM OF 24" ABOVE THE FINAL GROUND ELEVATION AND NOT LESS THAN 36" ABOVE THE 100 YEAR FLOOD LEVEL.



Nyoplast
3133 WEDGEMAN AVE
BURLINGTON, NC 27019
PH: (770) 932-2443
FAX: (770) 932-2489
www.nyoplast-us.com



			5	02/12/15	TO PLANNING BOARD
9	05/11/15	TO PLANNING BOARD	4	10/29/14	TO PLANNING BOARD
8	04/01/15	TO PLANNING BOARD	3	10/07/14	TO ZBA
7	03/13/15	TO ORANGE COUNTY PLANNING	2	7/10/14	TO PLANNING BOARD
6	03/09/15	TO NYSDEC, NYSDEC,	1	5/27/14	TO ZBA FOR VARIANCE
REV #	DATE	REMARKS	ISSUE #	DATE	ISSUED FOR:

REFERENCE SCALE
1" = 2'

UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.

FELLENZER III
ENGINEERING LLP

22 Mulberry St., Suite 2A, Middletown, NY 10940
181 Church St., Suite 100, Poughkeepsie, NY 12601
t 845-343-1481 fx 845-343-4986 t 845-454-9704 fx 855-320-8735

MARK D. FELLENER, P.E. PROJECT TITLE: **PRIMO SPORTS COMPLEX PRELIMINARY SITE PLAN**
STATE ROUTE 94 CHESTER, NY 10918

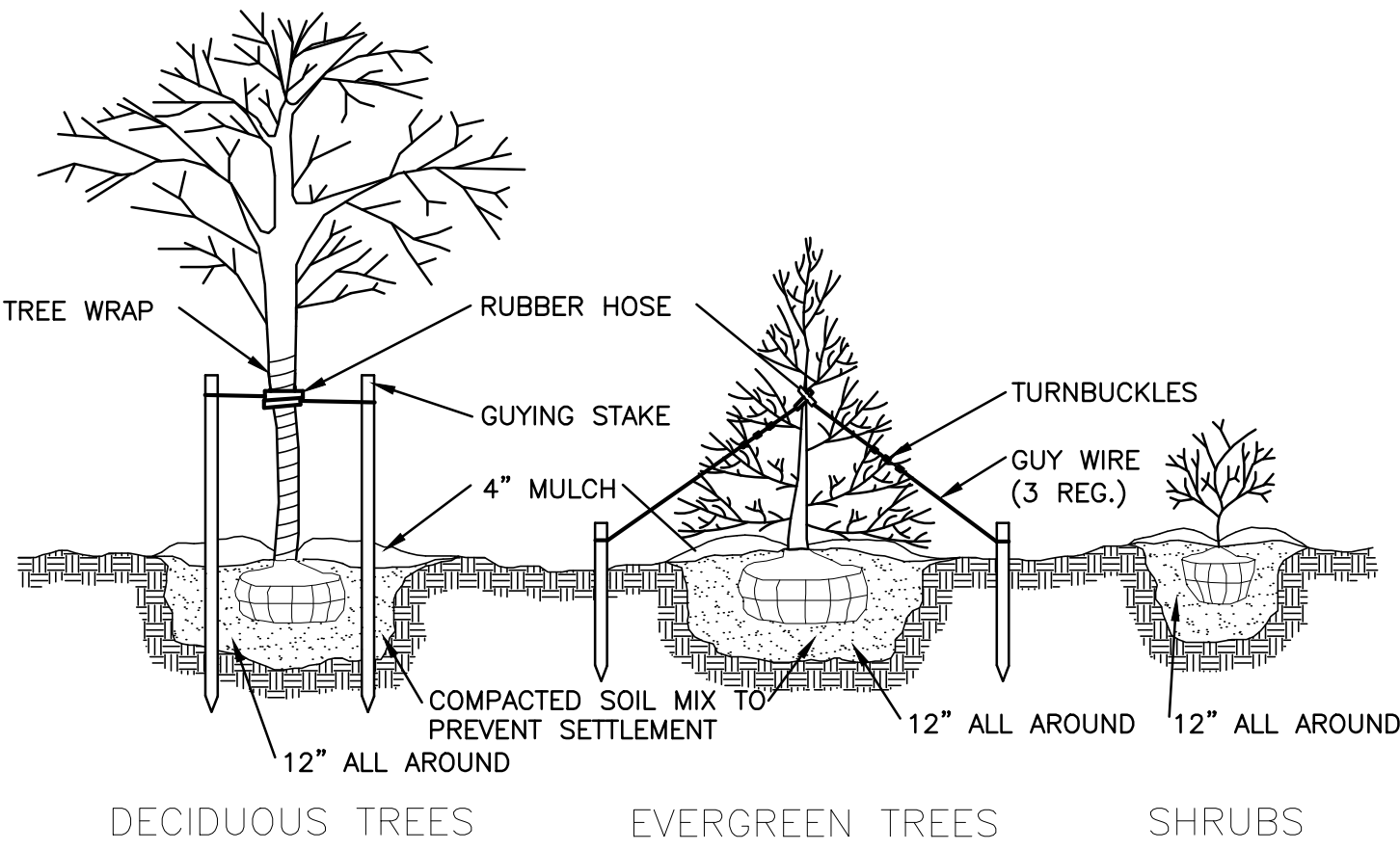
DRAWING TITLE: **DETAILS**

DESIGNED BY: RDF DRAWN BY: SAR APPROVED BY PM: ACL APPROVED BY PG: MDF
DATE: 5/27/2014 SCALE: AS SHOWN FE PROJECT #: 14-159

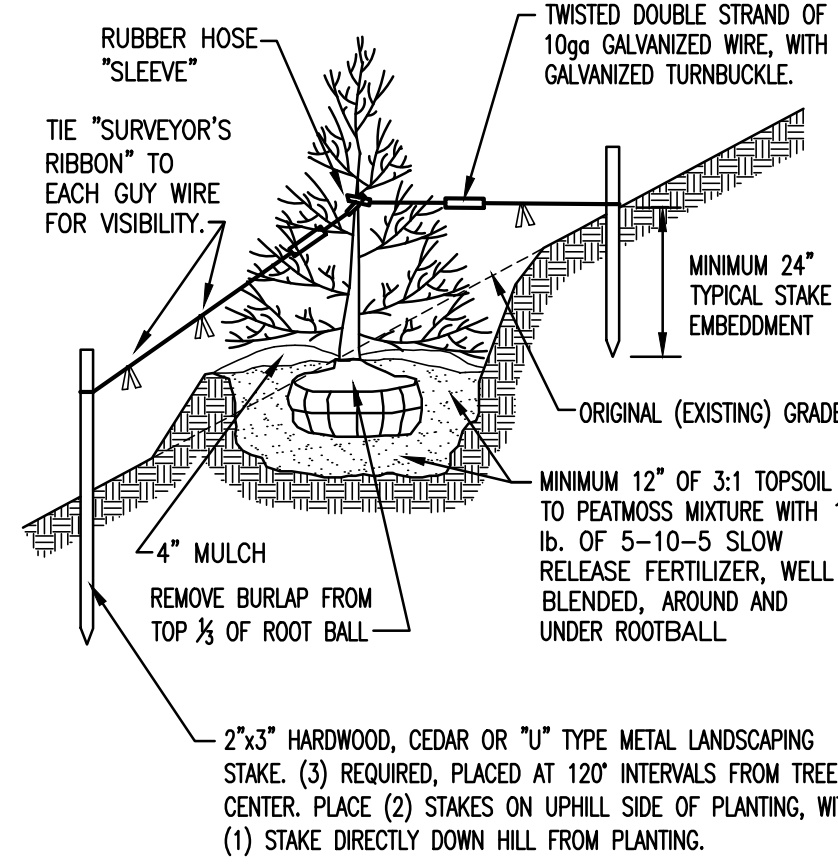
NY PROFESSIONAL ENGINEER NO. 06646-1 C-902 PAGE 15 OF 16

Call 811
before you dig

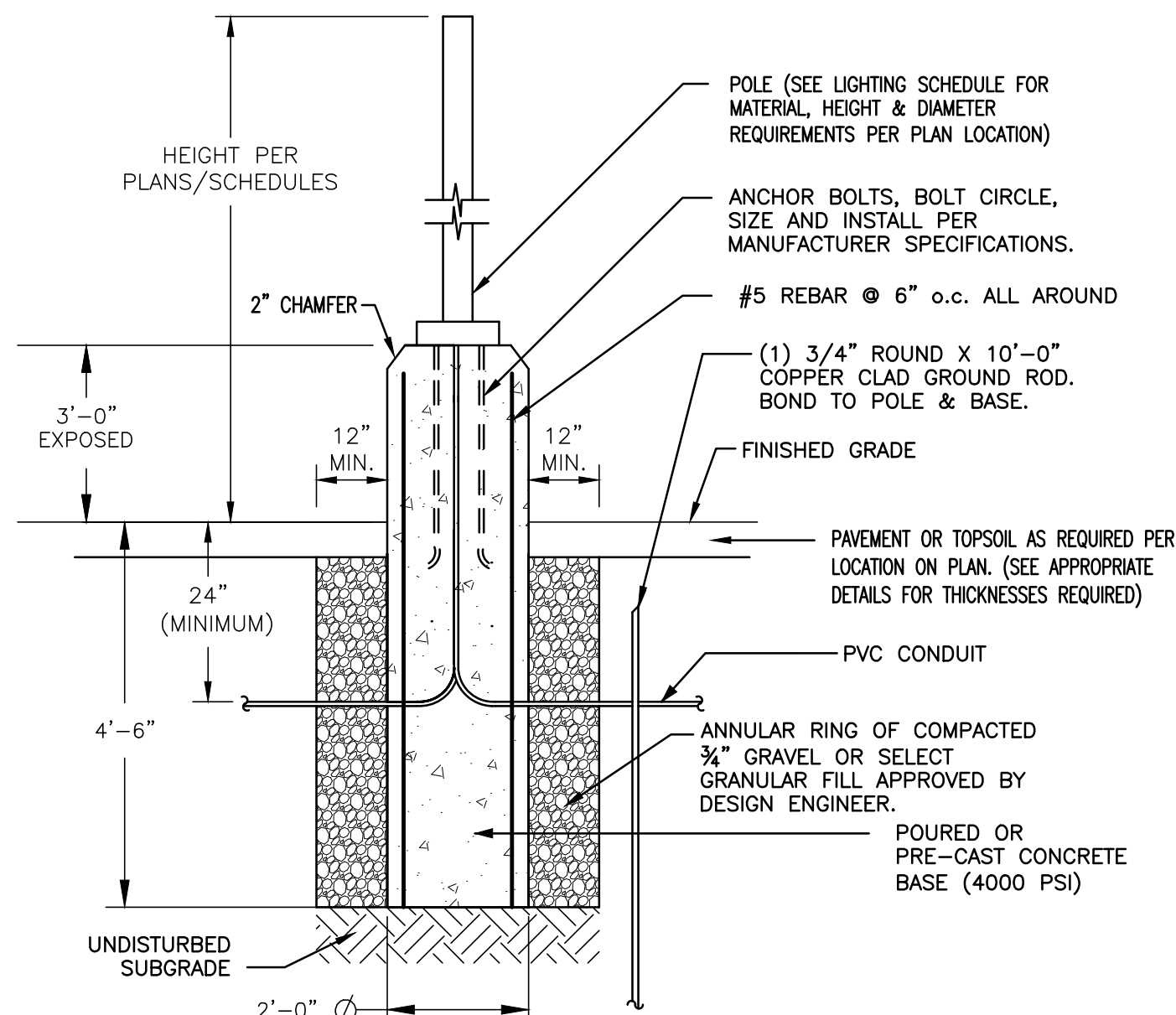
TOWN OF CHESTER PLANNING BOARD APPROVAL



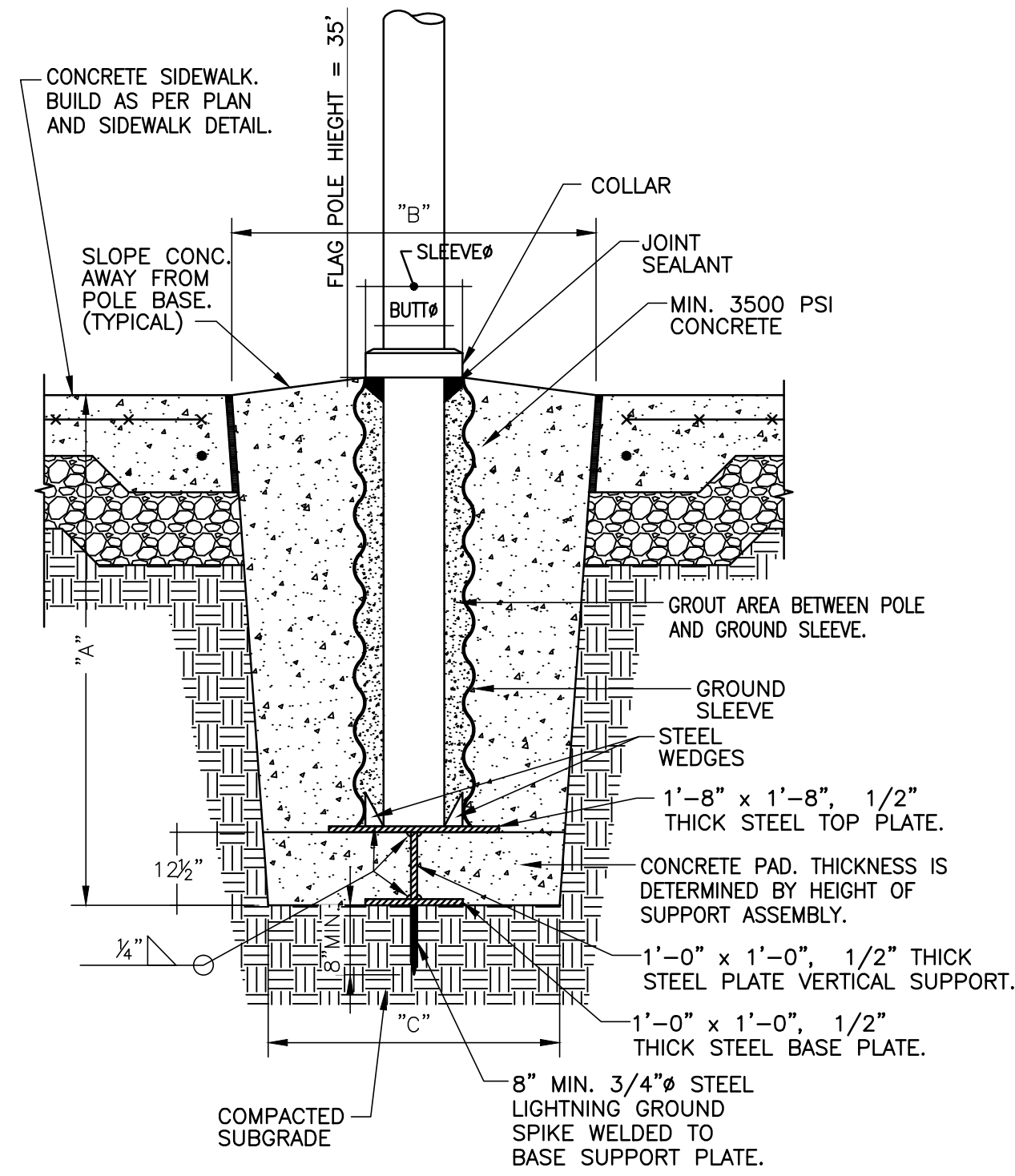
1 PLANTING AND GUYING DETAIL
N.T.S.



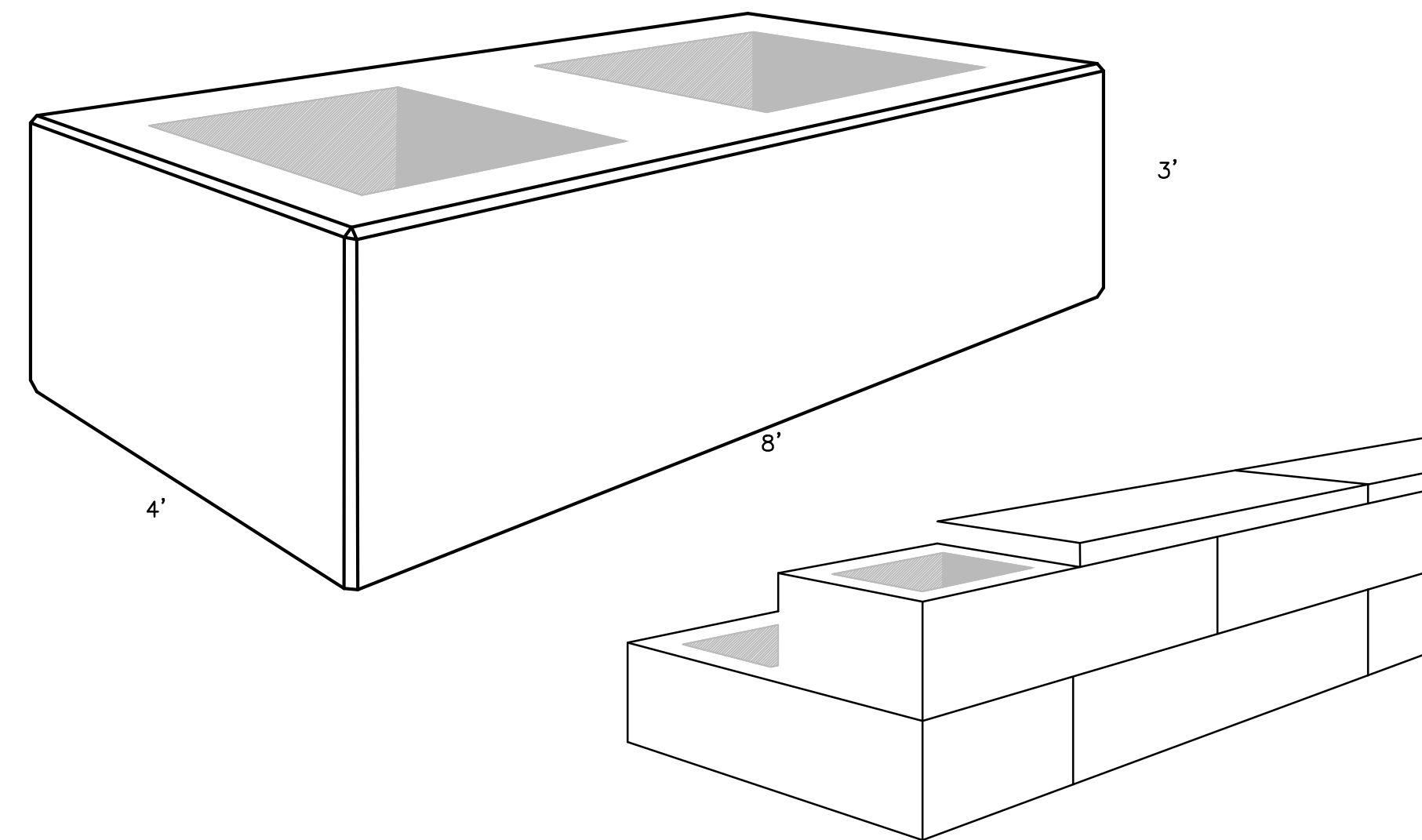
2 SLOPE PLANTING AND GUYING DETAIL
N.T.S.



3 PARKING AREA PRE-CAST CONCRETE LIGHT POLE DETAIL
N.T.S.

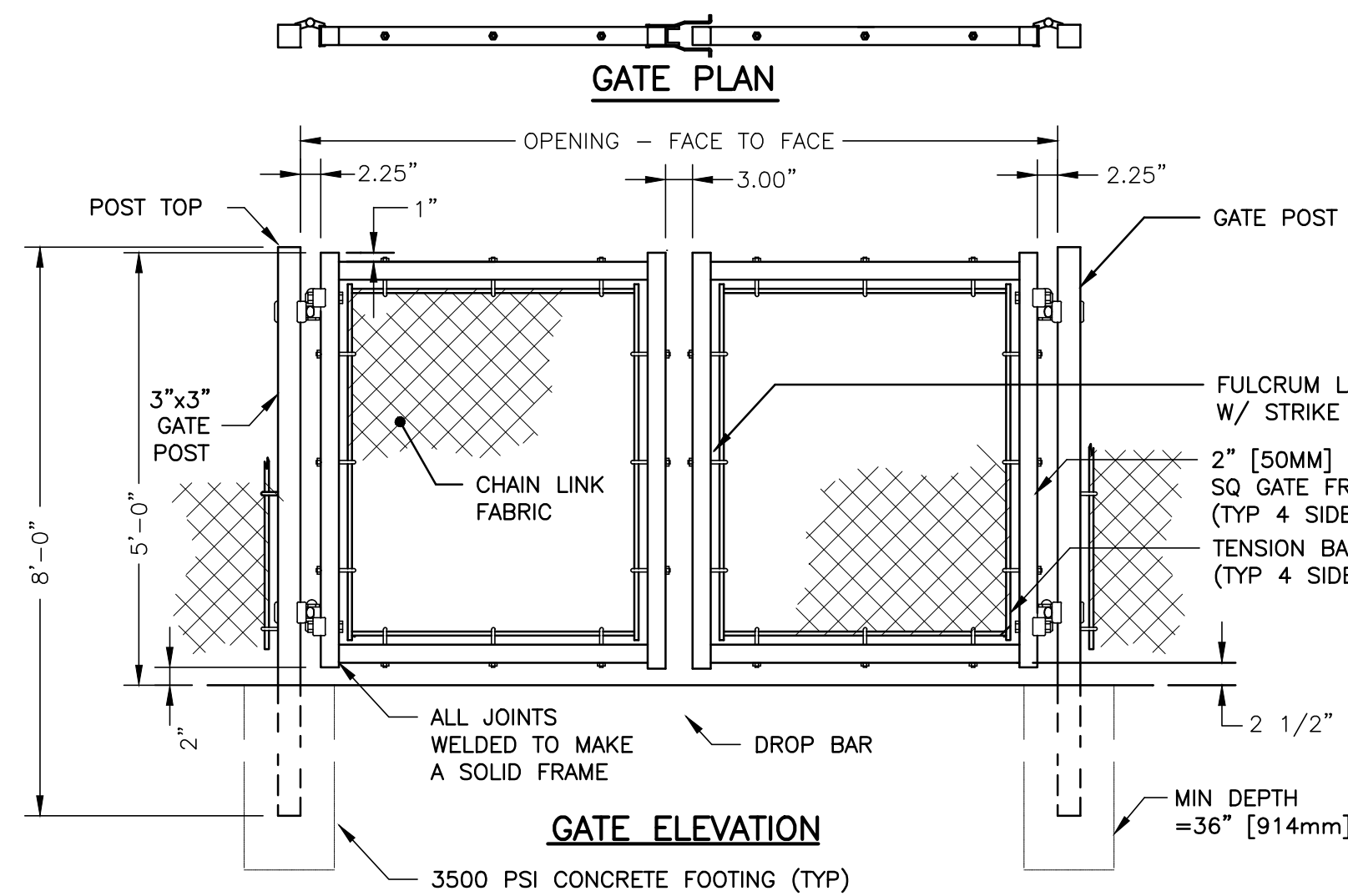


4 FLAGPOLE BASE DETAIL
N.T.S.



SPECIFICATIONS	PRECAST RETAINING WALLS MODEL RW-4X8
CONCRETE MIN. STRENGTH: 4,000 PSI AT 28 DAYS	
REINFORCEMENT: #4 REBAR, 6X6X10GA. WWM	
AIR ENTRAINMENT: 5%	
WEIGHT: 4,900 LBS	
LOAD RATING: H20	
	Woodard's Concrete Products, Inc. 629 Lybolt Road, Bullville, NY 10915 (845) 361-3471 / Fax 361-1050 www.woodardsconcrete.com

5 PRECAST RETAINING WALL DETAIL
N.T.S.

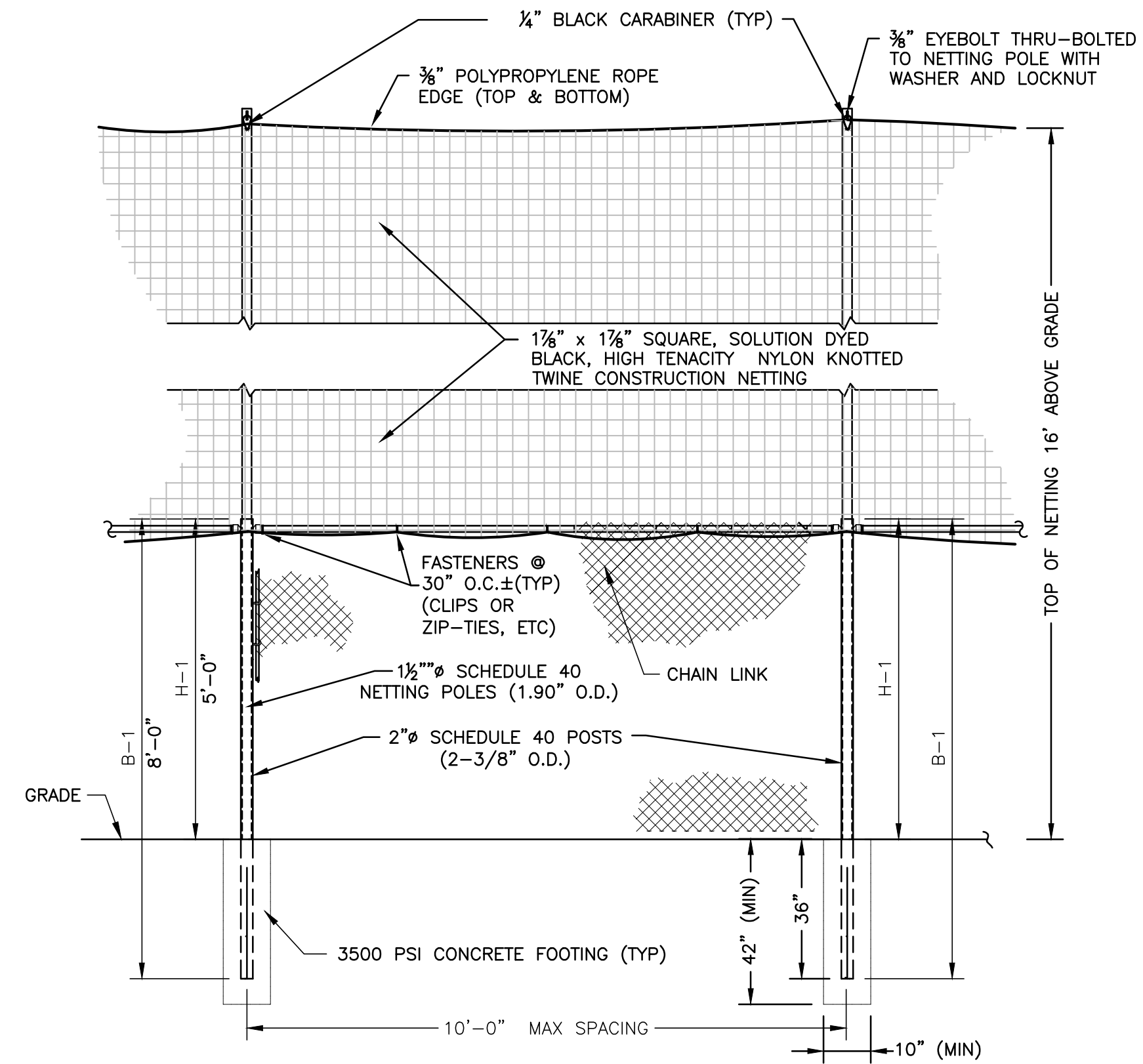


DOUBLE LEAF GATES		
OPENING	GATE POSTS	HINGE SPACE (S)
FACE TO FACE	SQ & RND SIZES	POST TO UPRIGHT
8'-0" THROUGH 12'-0"	2-1/2" SQ OR 2.875" OD	FOR SQUARE & ROUND GATE POSTS: 2-1/4"
14'-0" THROUGH 24'-0"	3" SQ OR 4" OD	FOR SQUARE & ROUND GATE POSTS: 2-1/4"

FENCE HEIGHT	END & CORNER POSTS		LINE POSTS	
NOMINAL HEIGHT	B-1 BAR LENGTH	H-1 HEIGHT ABOVE GRADE	B-2 BAR LENGTH	H-2 HEIGHT ABOVE GRADE
5'-0"	8'-0"	5'-0 5/8"	7'-8"	7'-8 7/8"

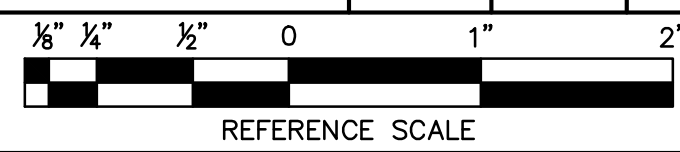
- NOTES:
1. ALL POSTS SHALL BE 2\"/>

6 TYPICAL CHAIN LINK FENCE AND DOUBLE LEAF GATE
N.T.S.



7 TYPICAL CHAIN LINK FENCE WITH SPORTS NETTING
N.T.S.

			5	02/12/15	TO PLANNING BOARD
9	05/11/15	TO PLANNING BOARD	4	10/29/14	TO PLANNING BOARD
8	04/01/15	TO PLANNING BOARD	3	10/07/14	TO ZBA
7	03/13/15	TO ORANGE COUNTY PLANNING	2	7/10/14	TO PLANNING BOARD
6	03/09/15	TO NYSDEC, NYSDEC,	1	5/27/14	TO ZBA FOR VARIANCE
REV #	DATE	REMARKS	ISSUE #	DATE	ISSUED FOR:



UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.

FELLENZER III
ENGINEERING LLP

22 Mulberry St., Suite 2A, Middletown, NY 10940
1 845-343-1481 fx 845-343-4986

181 Church St., Suite 100, Poughkeepsie, NY 12601
1 845-454-9704 fx 855-320-8735

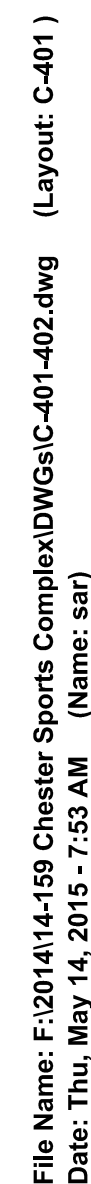
MARK D. FELLENZER, P.E.	PROJECT TITLE: PRIMO SPORTS COMPLEX PRELIMINARY SITE PLAN STATE ROUTE 94 CHESTER, NY 10918
DRAWING TITLE: DETAILS	
DESIGNED BY: RDF	DRAWN BY: SAR
APPROVED BY PM: ACL	APPROVED BY PG: MDF
DATE: 5/27/2014	SCALE: AS SHOWN
FE PROJECT #: 14-159	DRAWING #: C-903

NY PROFESSIONAL ENGINEER
NO. 064946-1

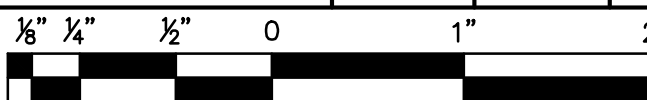

PAGE 16 OF 16

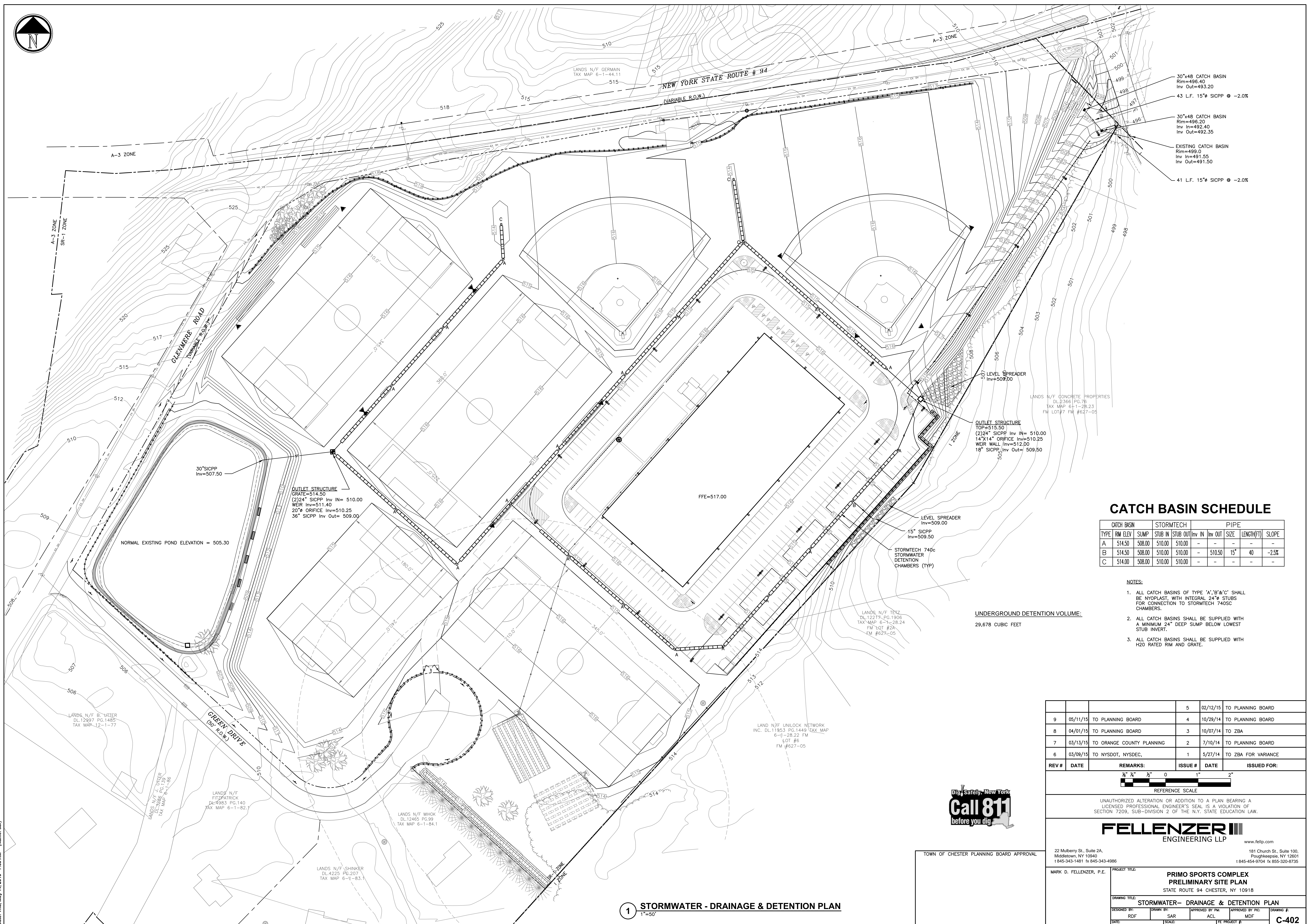


TOWN OF CHESTER PLANNING BOARD APPROVAL



1 STORMWATER - DRAINAGE BASINS MAP

			5	02/15/14	TO PLANNING BOARD
9	05/11/15	TO PLANNING BOARD	4	10/29/14	TO PLANNING BOARD
8	04/01/15	TO PLANNING BOARD	3	10/07/14	TO ZBA
7	03/13/15	TO ORANGE COUNTY PLANNING	2	7/10/14	TO PLANNING BOARD
6	03/09/15	TO NYSDOT, NYSDCE,	1	5/27/14	TO ZBA FOR VARIANCE
REV #	DATE	REMARKS:	ISSUE #	DATE	ISSUED FOR:
 <p style="text-align: center;">REFERENCE SCALE</p>					
<p>UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.</p>					
					
22 Mulberry St., Suite 2A, Middletown, NY 10940 t 845-343-1481 fx 845-343-4986			181 Church St., Suite 100, Poughkeepsie, NY 12601 t 845-454-9704 fx 855-320-8735		
MARK D. FELLEENZER, P.E.		PROJECT TITLE: PRIMO SPORTS COMPLEX PRELIMINARY SITE PLAN STATE ROUTE 94 CHESTER, NY 10918			
DRAWING TITLE: STORMWATER-- DRAINAGE BASINS MAP		DRAWING #: C-401			
DESIGNED BY: R.D.F.		DRAWN BY: S.A.R.		APPROVED BY P.M.	
DATE: 5/27/2014		SCALE: AS SHOWN		FILE PROJECT #: 14-159	
NY PROFESSIONAL ENGINEER NO. 06946-1				PAGE 7 OF 16	

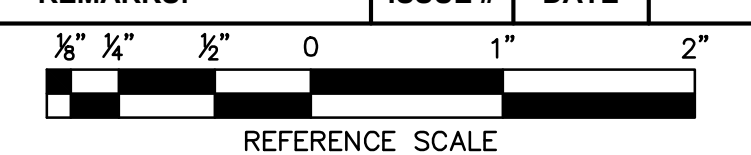



CATCH BASIN			STORMTECH		PIPE				
TYPE	RM ELEV	SUMP	STUB IN	STUB OUT	IN IN	IN OUT	SIZE	LENGTH(FT)	SLOPE
A	514.50	508.00	510.00	510.00	-	-	-	-	-
B	514.50	508.00	510.00	510.00	-	510.50	15"	40	-2.5%
C	514.00	508.00	510.00	510.00	-	-	-	-	-

1. ALL CATCH BASINS OF TYPE 'A','B'&'C' SHALL BE NYOPLAST, WITH INTEGRAL 24"Ø STUBS FOR CONNECTION TO STORMTECH 740SC CHAMBERS.
2. ALL CATCH BASINS SHALL BE SUPPLIED WITH A MINIMUM 24" DEEP SUMP BELOW LOWEST STUB INVERT.
3. ALL CATCH BASINS SHALL BE SUPPLIED WITH H20 RATED RIM AND GRATE.

UNDERGROUND DETENTION VOLUME:
29,678 CUBIC FEET

			5	02/12/15	TO PLANNING BOARD
9	05/11/15	TO PLANNING BOARD	4	10/29/14	TO PLANNING BOARD
8	04/01/15	TO PLANNING BOARD	3	10/07/14	TO ZBA
7	03/13/15	TO ORANGE COUNTY PLANNING	2	7/10/14	TO PLANNING BOARD
6	03/09/15	TO NYSDOT, NYSDCE,	1	5/27/14	TO ZBA FOR VARIANCE
REV #	DATE	REMARKS:	ISSUE #	DATE	ISSUED FOR:



FELLENZER 
ENGINEERING LLP www.fellenzer.com

22 Mulberry St., Suite 2A, 181 Church St., Suite 100,
Middletown, NY 10940 Poughkeepsie, NY 12601
t 845-343-1481 fx 845-343-4986 t 845-454-9704 fx 855-320-8735

MARK D. FELLENER, P.E.	PROJECT TITLE: PRIMO SPORTS COMPLEX PRELIMINARY SITE PLAN
------------------------	---

DRAWING TITLE: STORMWATER- DRAINAGE & DETENTION PLAN

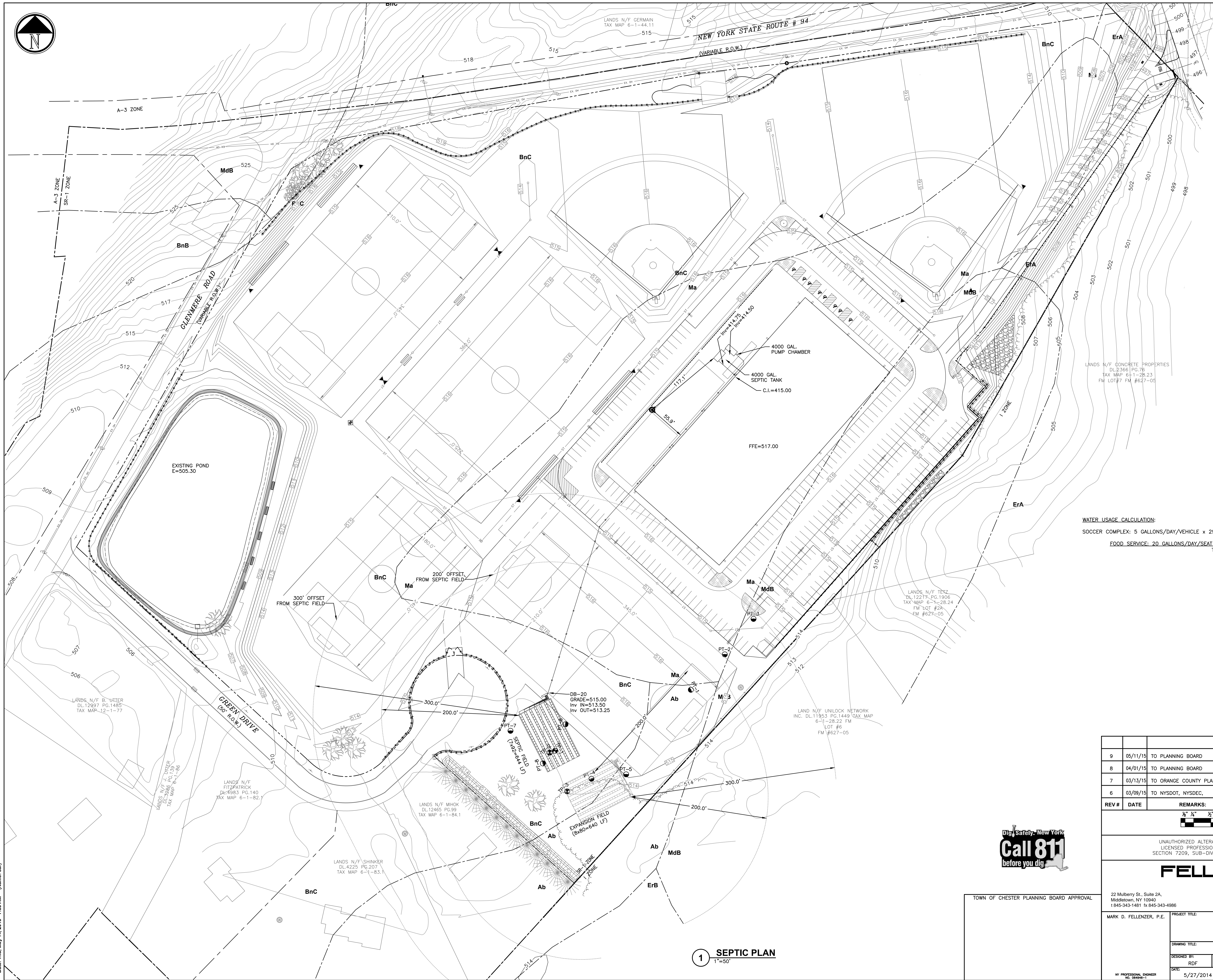
DESIGNED BY: RDE	DRAWN BY: SAR	APPROVED BY PM: ACI	APPROVED BY PIC: MDE
---------------------	------------------	------------------------	-------------------------

RDP		SMR		ACL		MDF		C-402
DATE: 5/27/2014		SCALE: AS SHOWN		FE PROJECT #:		14-159		
NY PROFESSIONAL ENGINEER NO. 064946-1								
								PAGE 8 OF 16

C-402

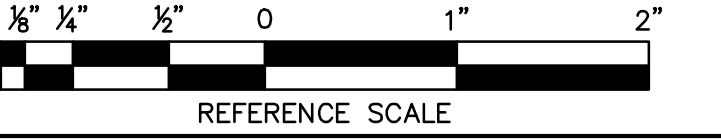


File Name: E:\2014\14-09 Chester Sports Complex\DWG\C-501.dwg (Layout: C-501)
Date: Thu, May 14, 2015 7:55 AM (Name: sar)



WATER USAGE CALCULATION:
SOCCER COMPLEX: 5 GALLONS/DAY/VEHICLE x 294 VEHICLES = 1470 GALLONS/DAY
FOOD SERVICE: 20 GALLONS/DAY/SEAT x 36 SEATS = 720 GALLONS/DAY
TOTAL USAGE = 2190 GALLONS/DAY

			5	02/12/15	TO PLANNING BOARD
9	05/11/15	TO PLANNING BOARD	4	10/29/14	TO PLANNING BOARD
8	04/01/15	TO PLANNING BOARD	3	10/07/14	TO ZBA
7	03/13/15	TO ORANGE COUNTY PLANNING	2	7/10/14	TO PLANNING BOARD
6	03/09/15	TO NYSDOT, NYSEDC,	1	5/27/14	TO ZBA FOR VARIANCE
REV #	DATE	REMARKS	ISSUE #	DATE	ISSUED FOR:



UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A
LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF
SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.

FELLENZER ENGINEERING LLP

22 Mulberry St., Suite 2A,
Middletown, NY 10940
1 845-343-1481 fx 845-343-4986

181 Church St., Suite 100,
Poughkeepsie, NY 12601
1 845-454-9704 fx 855-320-8735

MARK D. FELLENZER, P.E. PROJECT TITLE: PRIMO SPORTS COMPLEX PRELIMINARY SITE PLAN
STATE ROUTE 94 CHESTER, NY 10918

DRAWING TITLE: SEPTIC DISPOSAL PLAN

DESIGNED BY: RDF DRAWN BY: SAR APPROVED BY P.E.: ACL APPROVED BY P.E.: MDF
DATE: 5/27/2014 SCALE: AS SHOWN FE PROJECT #: 14-159

C-501
PAGE 9 OF 16

1 SEPTIC PLAN
1"=50'

PERCOLATION TEST RESULTS

PERC TEST 1	DEPTH 36"
RUN 1	00:00:21
RUN 2	00:00:27
RUN 3	00:00:30
RUN 4	00:00:30
RUN 5	00:00:28
RUN 6	00:00:32
RUN 7	00:00:30
RUN 8	00:01:02
RUN 9	00:01:13
RUN 10	00:01:18

DATE PERFORMED: 07-31-2014
PERFORMED BY:
FELLENZER ENGINEERING LLP.

PERC TEST 3	DEPTH 36"
RUN 1	00:00:50
RUN 2	00:01:01
RUN 3	00:01:11
RUN 4	00:01:17

DATE PERFORMED: 07-31-2014
PERFORMED BY:
FELLENZER ENGINEERING LLP.

PERC TEST 5	DEPTH 30"
RUN 1	00:19:52
RUN 2	00:28:04
RUN 3	00:42:32
RUN 4	00:42:46

DATE PERFORMED: 07-31-2014
PERFORMED BY:
FELLENZER ENGINEERING LLP.

PERC TEST 7	DEPTH 30"
RUN 1	00:04:06
RUN 2	00:05:30
RUN 3	00:06:31
RUN 4	00:07:26
RUN 5	00:07:53

DATE PERFORMED: 07-31-2014
PERFORMED BY:
FELLENZER ENGINEERING LLP.

PERCOLATION TEST RESULTS (WITNESSED)

PERC TEST 4	DEPTH 30"
RUN 1	00:01:29
RUN 2	00:01:54
RUN 3	00:02:05
RUN 4	00:02:09

DATE PERFORMED: 11-20-2014
PERFORMED BY:
FELLENZER ENGINEERING LLP.

WITNESSED BY:
MIKE ANDERSEN, OCOOH
SCOTT BUCHHOLZ, FUSCO ENGINEERING

PERC TEST 2	DEPTH 36"
RUN 1	00:00:58
RUN 2	00:01:01
RUN 3	00:01:03

DATE PERFORMED: 07-31-2014
PERFORMED BY:
FELLENZER ENGINEERING LLP.

PERC TEST 4	DEPTH 30"
RUN 1	00:01:44
RUN 2	00:01:51
RUN 3	00:02:16
RUN 4	00:02:32
RUN 5	00:02:43

DATE PERFORMED: 07-31-2014
PERFORMED BY:
FELLENZER ENGINEERING LLP.

PERC TEST 6	DEPTH 30"
RUN 1	00:01:01
RUN 2	00:01:13
RUN 3	00:01:22
RUN 4	00:01:49
RUN 5	00:02:05
RUN 6	00:02:15

DATE PERFORMED: 07-31-2014
PERFORMED BY:
FELLENZER ENGINEERING LLP.

PERC TEST 8	DEPTH 30"
RUN 1	00:05:09
RUN 2	00:08:24
RUN 3	00:10:37
RUN 4	00:11:37

DATE PERFORMED: 07-31-2014
PERFORMED BY:
FELLENZER ENGINEERING LLP.

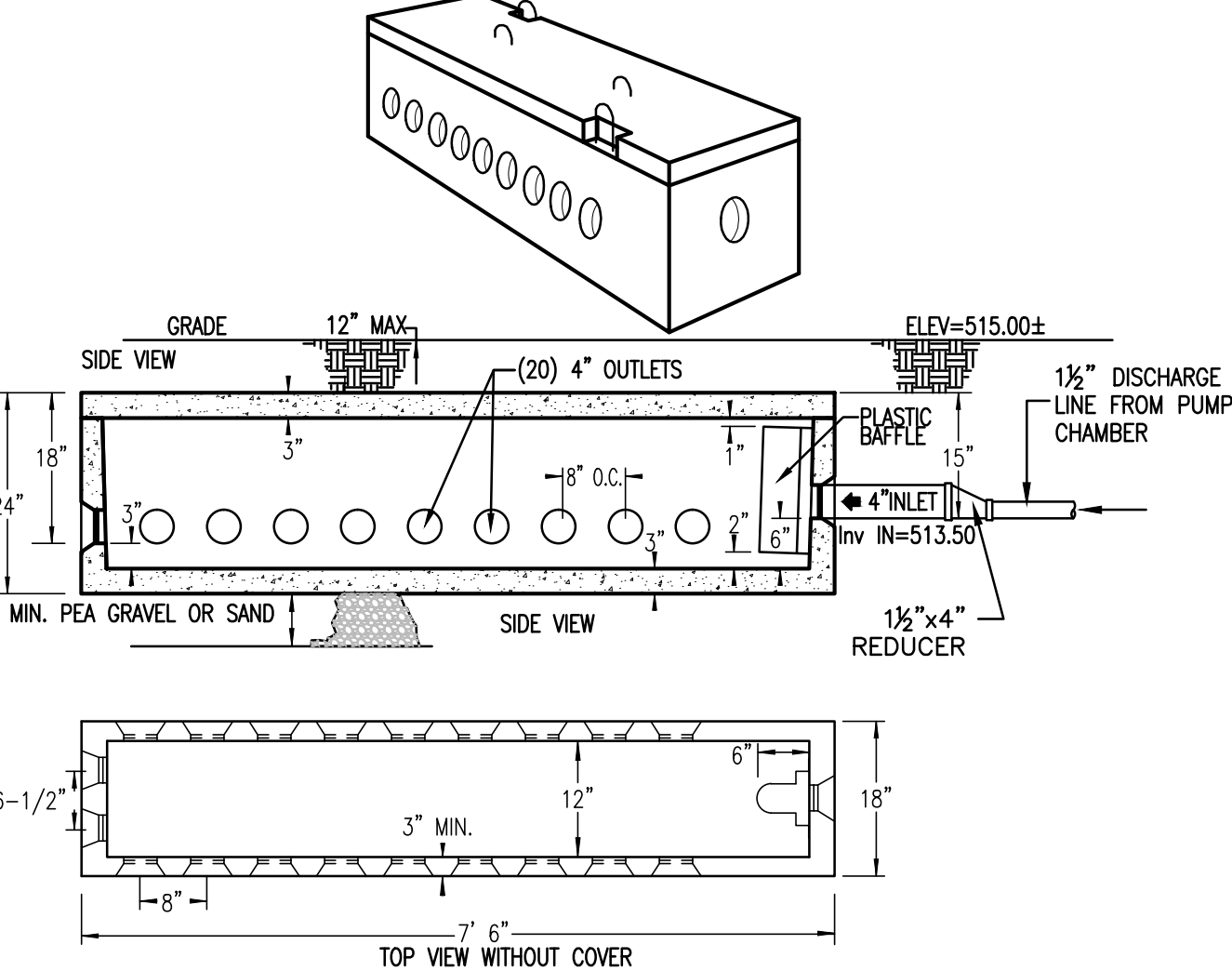
PERC TEST 8	DEPTH 30"
RUN 1	00:13:19
RUN 2	00:22:30
RUN 3	00:23:57
RUN 4	00:24:57

DATE PERFORMED: 11-20-2014
PERFORMED BY:
FELLENZER ENGINEERING LLP.

WITNESSED BY:
MIKE ANDERSEN, OCOOH
SCOTT BUCHHOLZ, FUSCO ENGINEERING

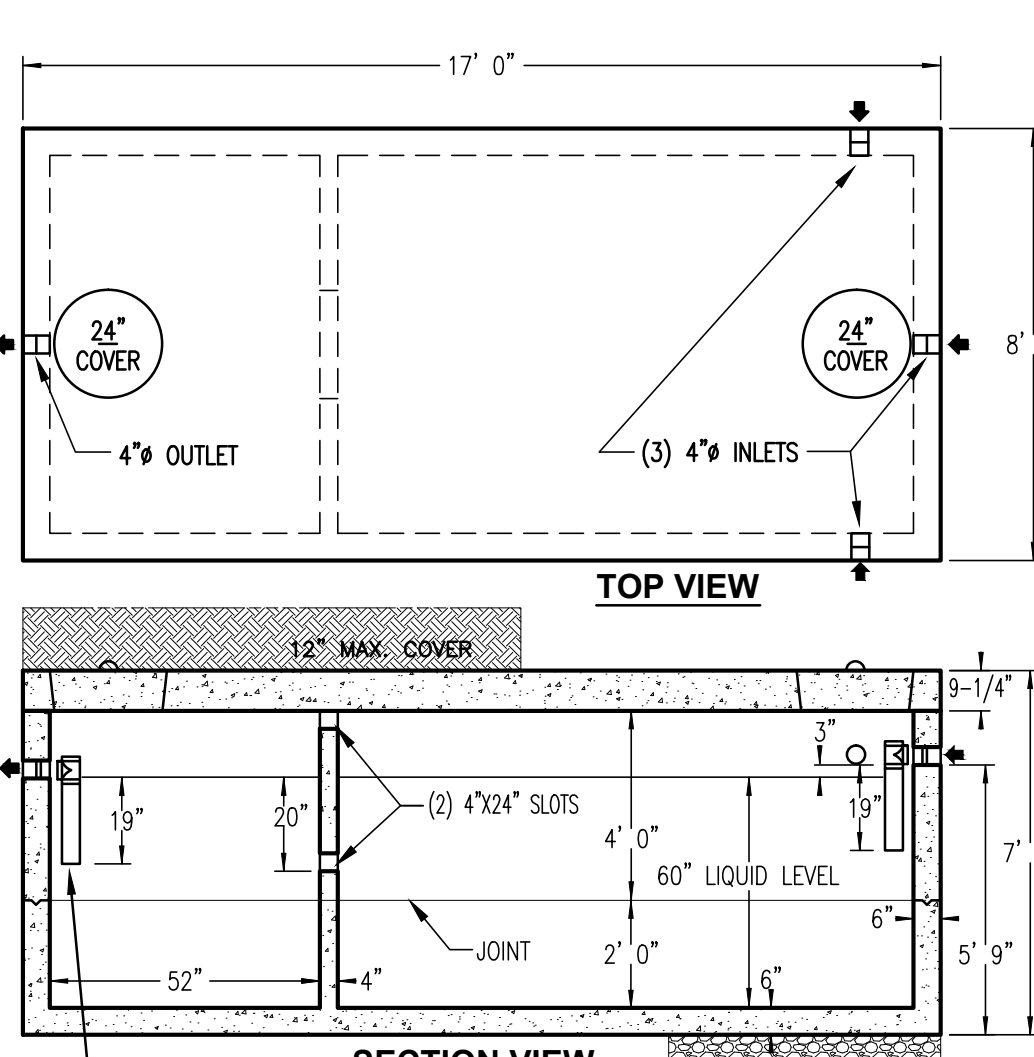
DEEP PIT TEST RESULTS

DEEP TEST 1	DEPTH=36"	DEPTH (IN.)	DEEP TEST 3	DEPTH=36"
VEGETATIVE/ORGANIC			VEGETATIVE/ORGANIC	
TOP SOIL		6	TOP SOIL	
		12		
		18		
		24		
LIGHT BROWN SILTY SAND		30	LIGHT BROWN SILTY SAND	
		36		
		42		
		48		
		54		
		60		
		66		
DARK BROWN COARSE SAND		72	DARK BROWN COARSE SAND	
		78		
		84		
		90		
WATER NO BEDROCK			WATER NO BEDROCK	



SPECIFICATIONS	PRECAST DISTRIBUTION BOXES
CONCRETE MIN. STRENGTH: 4,000 PSI AT 28 DAYS REINFORCEMENT: #4 REBAR, 10GA. WIRE MESH AIR ENTRANCEMENT: 5% PIPE CONNECTION: POLYLOC SEAL (PATENTED) WEIGHTS: BOX = 1,400 LBS, LD = 400 LBS LOAD RATING: 300 PSF	MODEL DB-20 / 20 OUTLETS WOODWARD'S CONCRETE PRODUCTS, INC. 629 LYBOLT ROAD, BULLVILLE, NY 10915 (845) 361-3471 / FAX 361-1050 WWW.WOODWARDSCONCRETE.COM

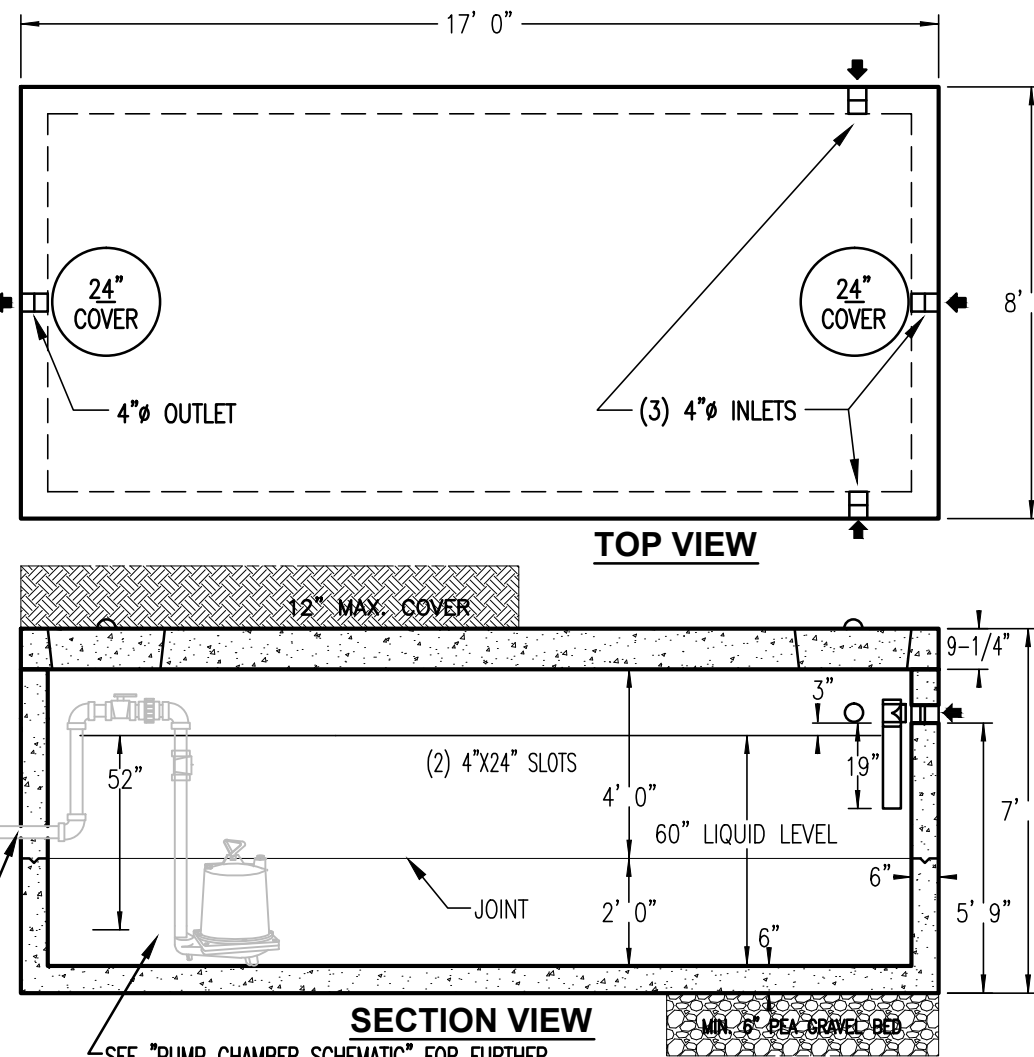
1 DISTRIBUTION BOX DETAIL - DB-20
N.T.S.



IMPORTANT NOTE:
INLET AND OUTLET BAFFLES ARE NOT INCLUDED AND MUST BE ADDED AFTER INSTALLATION. USE
SANITARY TEE WITH PIPE EXTENSION TO DEPTH AS SHOWN. LACK OF USE WILL RUN LEACHFIELDS.

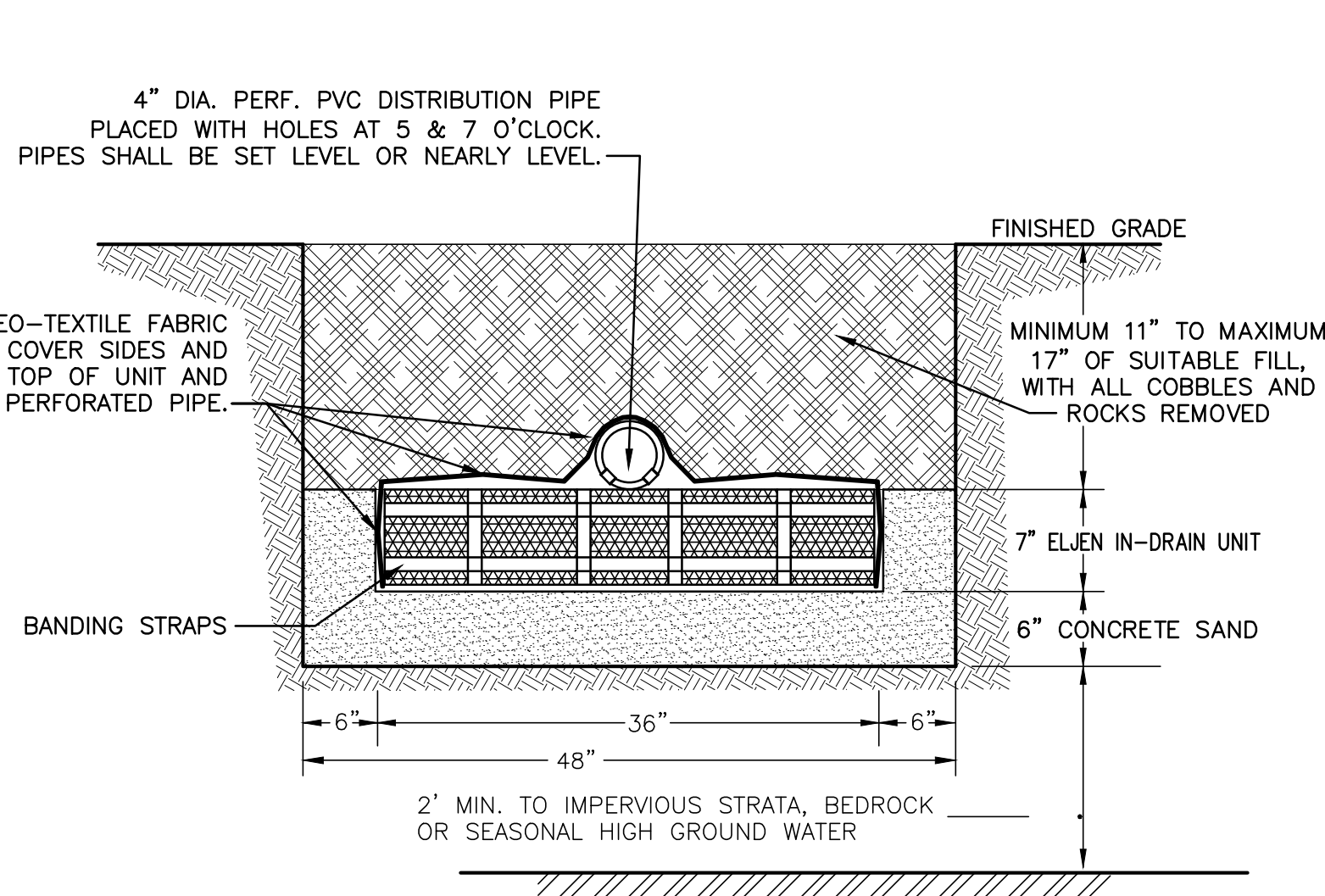
SPECIFICATIONS	PRECAST HEAVY DUTY TANKS
CONCRETE MIN. STRENGTH: 4,000 PSI AT 28 DAYS REINFORCEMENT: #4 & #5 REBAR / ASTM A615 AIR ENTRANCEMENT: 5% CONSTRUCTION JOINT: BUTYL RUBBER SEALANT PIPE CONNECTION: POLYLOC SEAL OR AS NEEDED WEIGHT = 46,000 LBS LOAD RATING: HS20-44 + 30% / ASTM C857	4,000 GALLON SEPTIC TANK WOODWARD'S CONCRETE PRODUCTS, INC. 629 LYBOLT ROAD, BULLVILLE, NY 10915 (845) 361-3471 / FAX 361-1050 WWW.WOODWARDSCONCRETE.COM

2 PRECAST CONCRETE - HEAVY DUTY
4000 GALLON SEPTIC TANK
N.T.S.

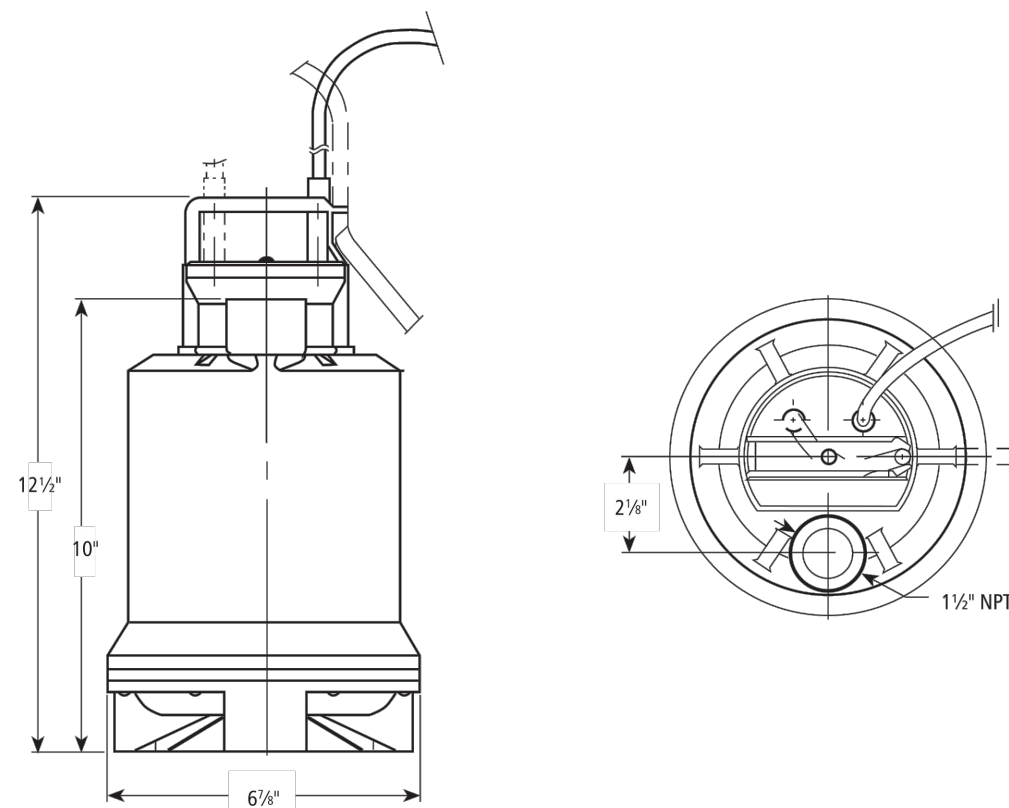


SPECIFICATIONS	PRECAST HEAVY DUTY TANKS
CONCRETE MIN. STRENGTH: 4,000 PSI AT 28 DAYS REINFORCEMENT: #4 & #5 REBAR / ASTM A615 AIR ENTRANCEMENT: 5% CONSTRUCTION JOINT: BUTYL RUBBER SEALANT PIPE CONNECTION: POLYLOC SEAL OR AS NEEDED WEIGHT = 46,000 LBS LOAD RATING: HS20-44 + 30% / ASTM C857	4,000 GALLON PUMP CHAMBER WOODWARD'S CONCRETE PRODUCTS, INC. 629 LYBOLT ROAD, BULLVILLE, NY 10915 (845) 361-3471 / FAX 361-1050 WWW.WOODWARDSCONCRETE.COM

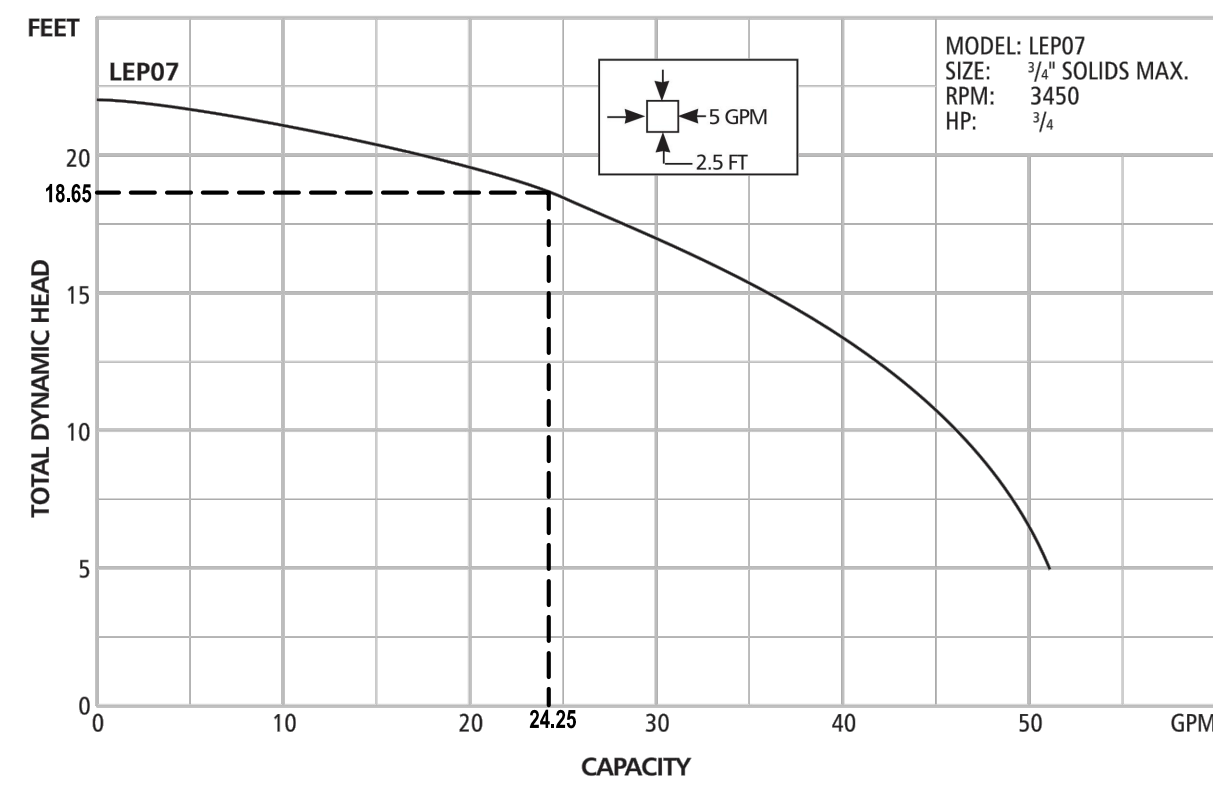
3 PRECAST CONCRETE - HEAVY DUTY
4000 GALLON PUMP CHAMBER
N.T.S.



4 ELJEN IN-DRAIN CROSS SECTION TYPICAL LATERAL
N.T.S.



7 SUBMERSIBLE EFFLUENT PUMP DETAIL
N.T.S. GOULDS/ITT MODEL LEP07



* Vertical distance from water level to highest point in discharge - plus pipe friction.
Maximum pump rated submergence is 16 ft. for LEP07.

8 PUMP CURVE
N.T.S. GOULDS/ITT MODEL LEP07

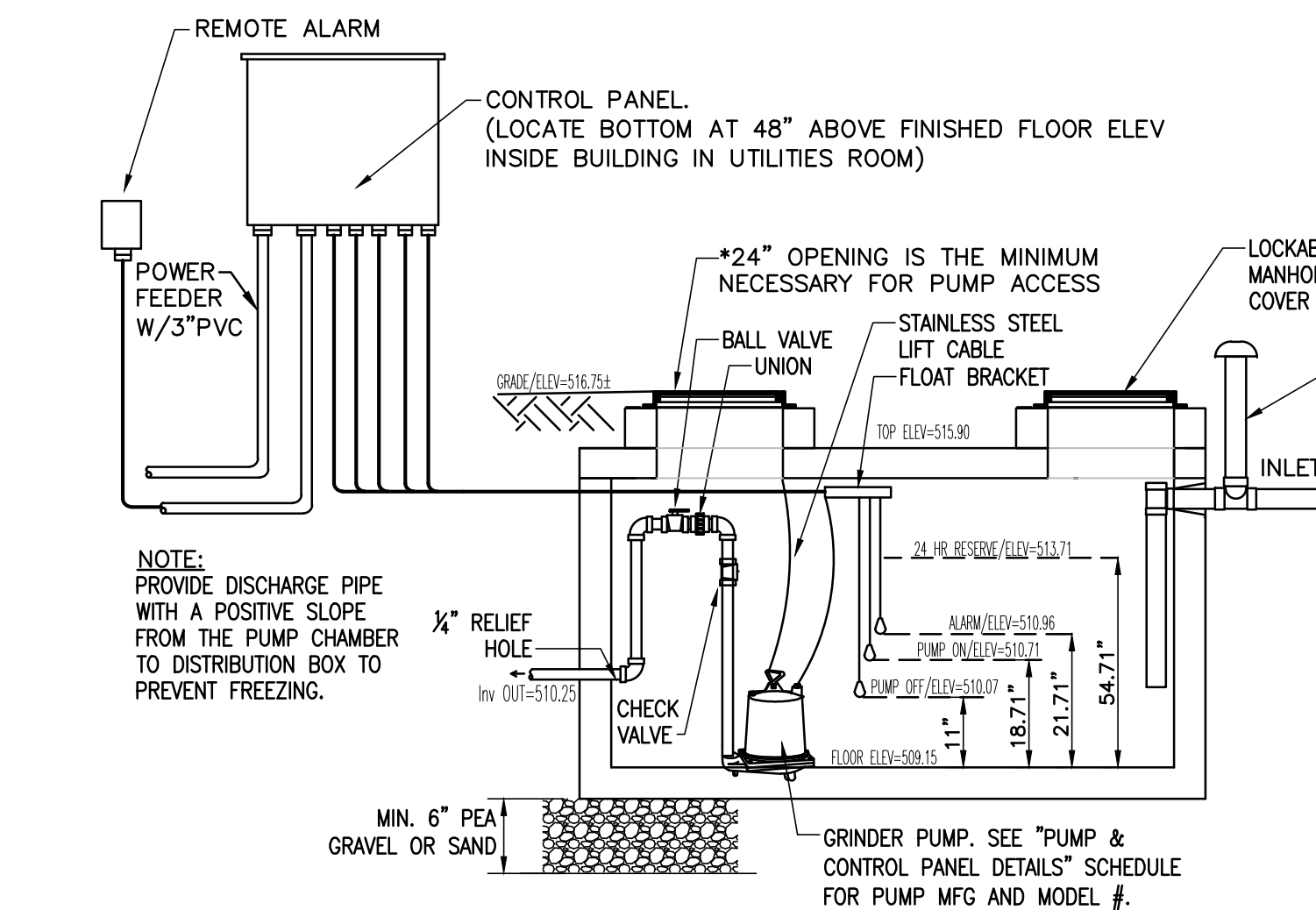
DEEP PIT TEST RESULTS (WITNESSED)

DEEP TEST 2	DEPTH=84"	DEPTH (IN.)	DEEP TEST 3	DEPTH=102"
TOP SOIL		6	TOP SOIL	
		12		
		18		
		24		
LIGHT BROWN SILTY SAND		30	LIGHT BROWN SILTY SAND	
		36		
		42		
		48		
		54		
		60		
		66		
		72		
		78		
		84		
		90		
		96		
NO WATER NO CLAY NO LEDGE			NO WATER NO CLAY NO LEDGE	
		102		
			WATER NO CLAY NO LEDGE	

DATE PERFORMED: 11-20-2014
PERFORMED BY:
FELLENZER ENGINEERING LLP.

WITNESSED BY:
MIKE ANDERSEN, OCOOH
SCOTT BUCHHOLZ, FUSCO ENGINEERING

SEPTIC DESIGN DATA TABLE - ELJEN "IN DRAIN" SYSTEM						
RESULTS		DESIGN RATE	REQUIRED LINEAL FEET OF STANDARD TRENCH REQUIRED FOR DESIGN RATE (2,235 GPD)	DESIGN CALCULATIONS & QTY'S FOR SYSTEM		
#1	#2	(MIN/IN)		LINE	TOTAL SYSTEM LINES	TOTAL UNITS PROVIDED
2:09	24:57	21-30	1,834 LF STD TRENCH	7 X 92 = 644	ELJEN	(161) "B43" ELJEN UNITS



6 4000 GALLON
PUMP CHAMBER SCHEMATIC
N.T.S.

PUMP STATION DESIGN CRITERIA:
(FOR SEPTIC ABSORPTION SYSTEMS)

- THE VOLUME OF MANUFACTURER RECOMMENDED DOSAGE PER ELJEN "B34" UNIT IS 3 GALLONS OR LESS PER UNIT. FOR (161) ELJEN UNITS, THE MAXIMUM DOSAGE SHALL BE 483 GALLONS.
- THE VOLUME OF 600 LINEAL FEET OF 1-1/2" PIPE IS (600 LF x 0.0918 GAL/LF=55.08 GAL) OR 55 GALLONS.
- THE VOLUME OF EFFLUENT PUMPED BETWEEN "PUMP ON" AND "PUMP OFF" SHALL BE 483 GAL + 55 GAL OR 538 GALLONS
- THE VOLUME OF A 16x7"(LD) PUMP STATION PER FOOT OF DEPTH IS 837.76 GALLONS, OR 69.81 GALLONS PER INCH
- THE REQUIRED ELEVATION DIFFERENCE BETWEEN PUMP ON AND OFF IS TO BE 7.71" INCHES @ 69.81 GAL/INCH OR 538 GALLONS
- ALARM LEVEL SHALL BE SET AT 3" ABOVE "PUMP ON" LEVEL, WHICH IS 21.71" ABOVE TANK FLOOR.
- THE PUMP CHAMBER SHALL PROVIDE A MINIMUM OF ONE DAY'S DESIGN FLOW STORAGE ABOVE THE ALARM LEVEL. THE DESIGN FLOW OF 2,235 GAL/DAY FOR A 16x7"(LD) PUMP STATION IS EQUIVALENT TO 32.0" OR 33 INCHES OF LIQUID DEPTH. APPROXIMATELY 38.28 INCHES OF STORAGE WILL BE PROVIDED.

CALCULATION FOR FRICTION LOSS AND DYNAMIC HEAD

ITEM	QTY	FRICTION FACTOR	FRICTION FACTOR	EQUIVALENT LENGTH OF PIPE (IN FEET)
90° ELBOWS**	3 x	5.0	= 11.5	11.5
45° ELBOWS**	4 x	2.5	= 10.0	10.0
CHECK VALVE**	1 x	13.0	= 13.0	13.0
BALL VALVE**	1 x	55.0	= 55.0	55.0
FEET OF PIPE	700 x	1.0	= 1.0	700.0
TOTAL PIPE LENGTH EQUIVALENT=				789.5
FRICTION LOSS PER/FT. @ 30 GPM				x 0.0181
TOTAL FRICTION LOSS=				= 14.289
+ 4.35 VERTICAL ELEVATION FROM PUMP BOTTOM				
= 18.65 TOTAL DYNAMIC HEAD				

MINIMUM FLOW REQUIRED TO MAINTAIN SCOURING VELOCITY
OF 2H/SECOND IN A 1.5" SIZE PIPE = 11.014 GPM.



TOWN OF CHESTER PLANNING BOARD APPROVAL

			5	02/12/15	TO PLANNING BOARD
9	05/11/15	TO PLANNING BOARD	4	10/29/14	TO PLANNING BOARD
8	04/01/15	TO PLANNING BOARD	3	10/07/14	TO ZBA
7	03/13/15	TO ORANGE COUNTY PLANNING	2	7/10/14	TO PLANNING BOARD
6	03/09/15	TO NYSOT, NYSDEC,	1	5/27/14	TO ZBA FOR VARIANCE
REV #	DATE	REMARKS:	ISSUE #	DATE	ISSUED FOR:
<div>8" 4" 2" 0 1" 2"</div> REFERENCE SCALE					
UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.					
FELLENZER III ENGINEERING LLP www.fellp.com					
22 Mulberry St., Suite 2A, Middletown, NY 10940 t 845-343-1481 fx 845-343-4986					
181 Church St., Suite 100, Poughkeepsie, NY 12601 t 845-454-9704 fx 855-320-8735					
MARK D. FELLENZER, P.E. PROJECT TITLE: PRIMO SPORTS COMPLEX PRELIMINARY SITE PLAN STATE ROUTE 94 CHESTER, NY 10918					
DRAWING TITLE: SEPTIC TEST DATA					
DESIGNED BY: RDF DRAWN BY: SAR APPROVED BY PM: ACL APPROVED BY PG: MDF DRAWING #: C-502					
DATE: 5/27/2014 SCALE: AS SHOWN FE PROJECT #: 14-159 PAGE 10 OF 18					