



LOCATION PLAN
1 INCH = 2000 FEET

NOTES:

- TAX LOT # 6-1-69.2.
- TOTAL AREA = 1.99 ACRES.
- ZONING DISTRICT - (INDUSTRIAL PARK) IP DISTRICT
- PROPOSED USE - WAREHOUSE (PERMITTED IN IP DISTRICT)
- PARKING CALCULATIONS
1 STALL PER 500 SQ.FT. OF GROSS FLOOR AREA
REQUIRED: 26,080 SQ.FT./500 SQ.FT. = 52.16 STALL (53 STALLS REQUIRED)
PROVIDED: 53 PARKING STALLS (4 HANDICAP STALLS)
- PROPOSED SEWAGE DISPOSAL SYSTEM SHOWN IS BASED UPON A DESIGN FLOW RATE OF 15 GPD PER EMPLOYEE ASSUMING 24 EMPLOYEES, TOTALING 360 GPD AND AN ASSUMED PERCOLATION RATE OF 46-60 MIN/IN. SOIL TESTING MUST BE COMPLETED TO EVALUATE SITE SOILS' SUITABILITY AND REQUIRED DESIGN VARIABLES BASED UPON THE NEW YORK STATE DEPARTMENT OF HEALTH - ONSITE WASTEWATER TREATMENT SYSTEMS DESIGN HANDBOOK.

TABLE OF ZONING REQUIREMENTS
TOWN OF CHESTER (IP) INDUSTRIAL PARK DISTRICT
PROPOSED USE: WAREHOUSE

MINIMUM	REQUIRED	PROPOSED
LOT SIZE (AC.)	2.00	1.99*
LOT WIDTH (FT.)	200	160±*
FRONT YARD (FT.)	60**	50±
ONE SIDE YARD/BOTH (FT.)	50/100	63±/127±
REAR YARD (FT.)	50	50

MAXIMUM	ALLOWED	PROPOSED
BUILDING HEIGHT (FT.)	45	<45
MAXIMUM BUILDING COVERAGE (%)	40	15.0%±

- * PRE-EXISTING NON-CONFORMING CONDITION, BASED UPON FILED SUBDIVISION MAP 7191 ENTITLED "KAKARGO INDUSTRIAL PARK-SECTION II" AS PREPARED BY ROGER J. FERRIS ON JANUARY 19, 1985 AND LAST REVISED MAY 30, 1985.
- ** TOWN OF CHESTER BUILDING INSPECTOR STATED IN A LETTER DATED AUGUST 11, 2017 TO THE APPLICANT THAT THE TOWN OF CHESTER WOULD ACCEPT A 9'11" INFRINGEMENT ON THE FRONT SETBACK IF THE USE WAS TO BE LIGHT INDUSTRIAL AS PER PAST ZONING REQUIREMENTS HAVING A FRONT SETBACK OF 50'.

TOWN OF CHESTER
PERFORMANCE STANDARDS IN IP OR I DISTRICT:

- NO USE SHALL BE PERMITTED IN THE IP OR I DISTRICTS THAT DOES NOT CONFORM TO THE FOLLOWING STANDARDS OF USE, OCCUPANCY AND OPERATION HEREBY ESTABLISHED AS THE MINIMUM REQUIREMENTS TO BE MAINTAINED:
- INDUSTRIAL WASTES. NO SOLID OR LIQUID WASTES SHALL BE DISCHARGED INTO ANY PUBLIC SEWER, PRIVATE SEWAGE DISPOSAL SYSTEM, STREAM OR ON OR INTO THE GROUND EXCEPT IN ACCORDANCE WITH THE STANDARDS APPROVED BY THE ORANGE COUNTY HEALTH DEPARTMENT OR SIMILARLY EMPOWERED AGENCY.
 - FIRE AND EXPLOSION HAZARDS. ALL ACTIVITIES INVOLVING AND ALL STORAGE OF FLAMMABLE AND EXPLOSIVE MATERIALS SHALL BE PROVIDED WITH ADEQUATE SAFETY DEVICES AGAINST THE HAZARD OF FIRE AND EXPLOSION AND ADEQUATE FIRE-FIGHTING AND FIRE SUPPRESSION EQUIPMENT AND DEVICES STANDARD IN THE INDUSTRY. BURNING OF WASTE MATERIALS IN OPEN FIRES IS PROHIBITED. THE RELEVANT PROVISIONS OF STATE AND LOCAL LAWS SHALL ALSO APPLY.
 - RADIOACTIVITY OR ELECTROMAGNETIC DISTURBANCE. NO ACTIVITIES SHALL BE PERMITTED WHICH EMIT DANGEROUS RADIOACTIVITY BEYOND THE STRUCTURE IN WHICH SUCH ACTIVITY IS SITUATED OR ELECTRICAL DISTURBANCE ADVERSELY AFFECTING THE OPERATION OF ANY EQUIPMENT OTHER THAN THAT OF THE CREATOR OF SUCH DISTURBANCE.
 - GLARE AND HEAT. NO GLARE OR HEAT SHALL BE PRODUCED THAT IS PERCEPTIBLE BEYOND THE BOUNDARIES OF THE LOT ON WHICH SUCH USE IS SITUATED.
 - NOISE. NOISE SHALL NOT EXCEED IN INTENSITY, AS MEASURED FROM THE BOUNDARIES OF THE LOT WHERE SUCH USE IS SITUATED, THE AVERAGE INTENSITY, OCCURRENCE AND DURATION OF THE NOISE OF STREET TRAFFIC ON ADJOINING STREETS.
 - ATMOSPHERIC EFFLUENCE. NO DUST, DIRT, SMOKE, ODOR OR NOXIOUS GASES SHALL BE DISSEMINATED BEYOND THE BOUNDARIES OF THE LOT WHERE SUCH USE IS SITUATED SO AS TO CONSTITUTE A NUISANCE.

TAX LOT:

6-1-69.2

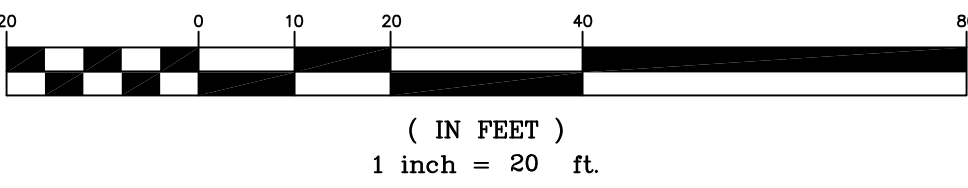
AREA:

1.99 AC.

RECORD OWNER/APPLICANT:

MAJOR CONSULTING LLC
2 SHINEV COURT
MONROE, NEW YORK 10950
L. 14415 P. 866

GRAPHIC SCALE



COPYRIGHT 2019, LANC & TULLY, P.C.



LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

SITE PLAN PREPARED FOR

MAJOR CONSULTING LLC

TOWN OF CHESTER
ORANGE COUNTY, NEW YORK

Drawn By: SPS Checked By: Scale: 1" = 20' Tax Map No.: 6-1-69.2

Date: OCTOBER 4, 2018
Revision: MARCH 27, 2019
JUNE 4, 2019
CAD File: 180092-SITE PLAN.DWG
Layout: SITE PLAN
Sheet No.: 1 OF 5
Drawing No.: C30
A - 18 - 0092 - 01

SURVEY NOTES:

- THIS SURVEY IS SUBJECT TO ANY FINDINGS OF A TITLE SEARCH.
- SUBSURFACE STRUCTURES AND UTILITIES NOT VISIBLE AT THE TIME OF SURVEY HAVE NOT BEEN SHOWN.
- REFERENCES:
MAP ENTITLED "PLAN OF SUBDIVISION FOR KAKARGO INDUSTRIAL PARK-SECTION II, TOWN OF CHESTER, ORANGE COUNTY, NEW YORK," DATED JANUARY 18, 1985, LAST REVISED MAY 30, 1985 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON AUGUST 2, 1985 AS MAP NO. 7191.
MAP ENTITLED "MINOR SUBDIVISION OF PROPERTY FOR RICK MANDEL & JOHN FITZPATRICK, TOWN OF CHESTER, ORANGE COUNTY, NEW YORK," DATED MARCH 31, 2003, LAST REVISED APRIL 28, 2003 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON OCTOBER 31, 2003 AS MAP NO. 549-03.
4. TOPOGRAPHY SHOWN IS THE RESULT OF AN ACTUAL FIELD SURVEY COMPLETED ON AUGUST 16, 2018. CONTOUR ELEVATIONS ARE IN AN ASSUMED DATUM.
5. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE CROSSED BY PROPOSED CONSTRUCTIONS, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON, SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.

CERTIFICATION:

I HEREBY CERTIFY TO THE PARTIES OF INTEREST LISTED BELOW THAT THIS MAP SHOWS THE RESULTS OF AN ACTUAL FIELD SURVEY COMPLETED ON AUGUST 16, 2018.
MAJOR CONSULTING, LLC

BY: RODNEY C. KNOWLTON, L.S.
NEW YORK STATE LICENSE NO. 50276

N/F
BARBONE
BROTHERS, LLC
L12641 P.1969
6-1-69.2
FM 1/2 LOT
MAP NO. 7191

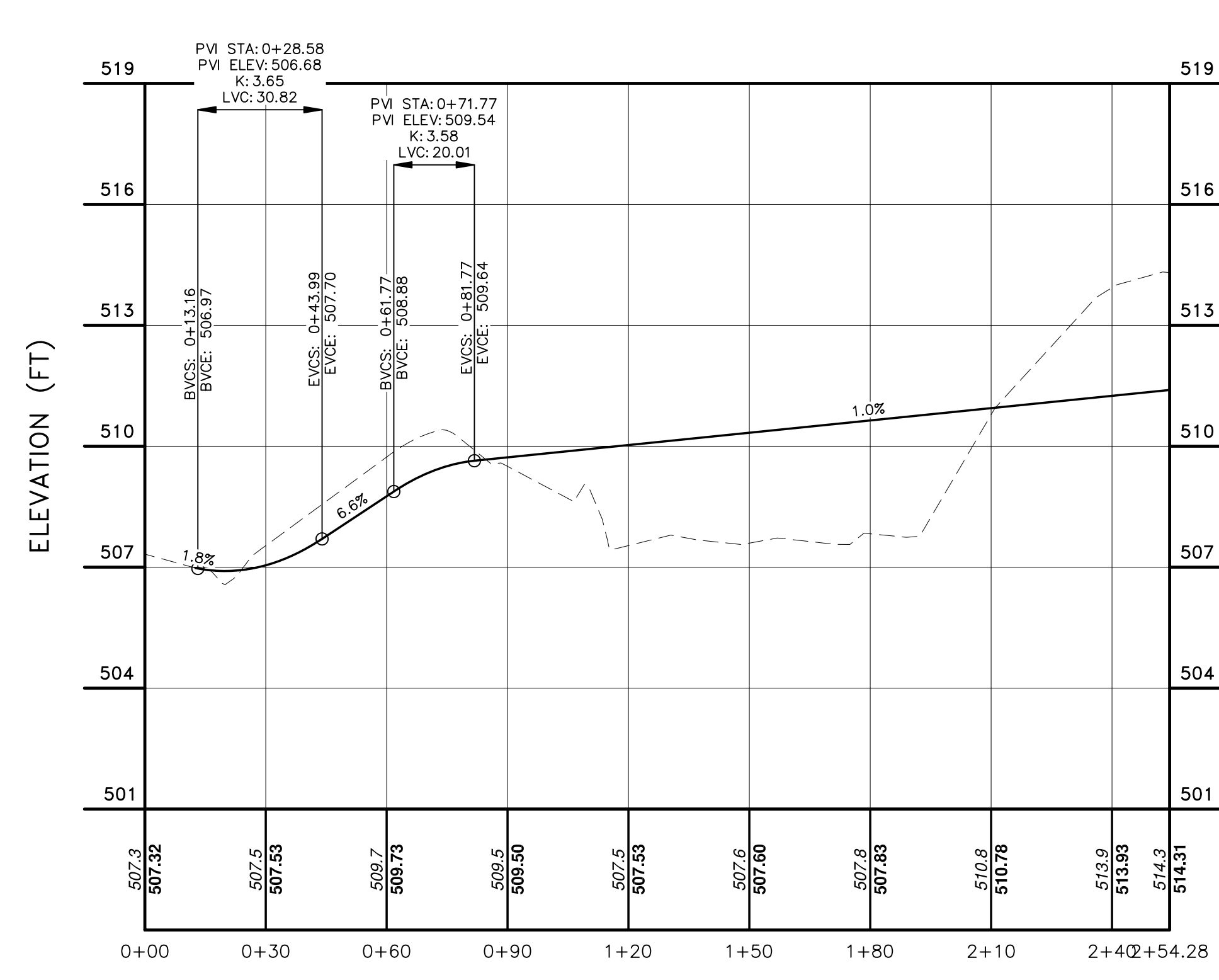
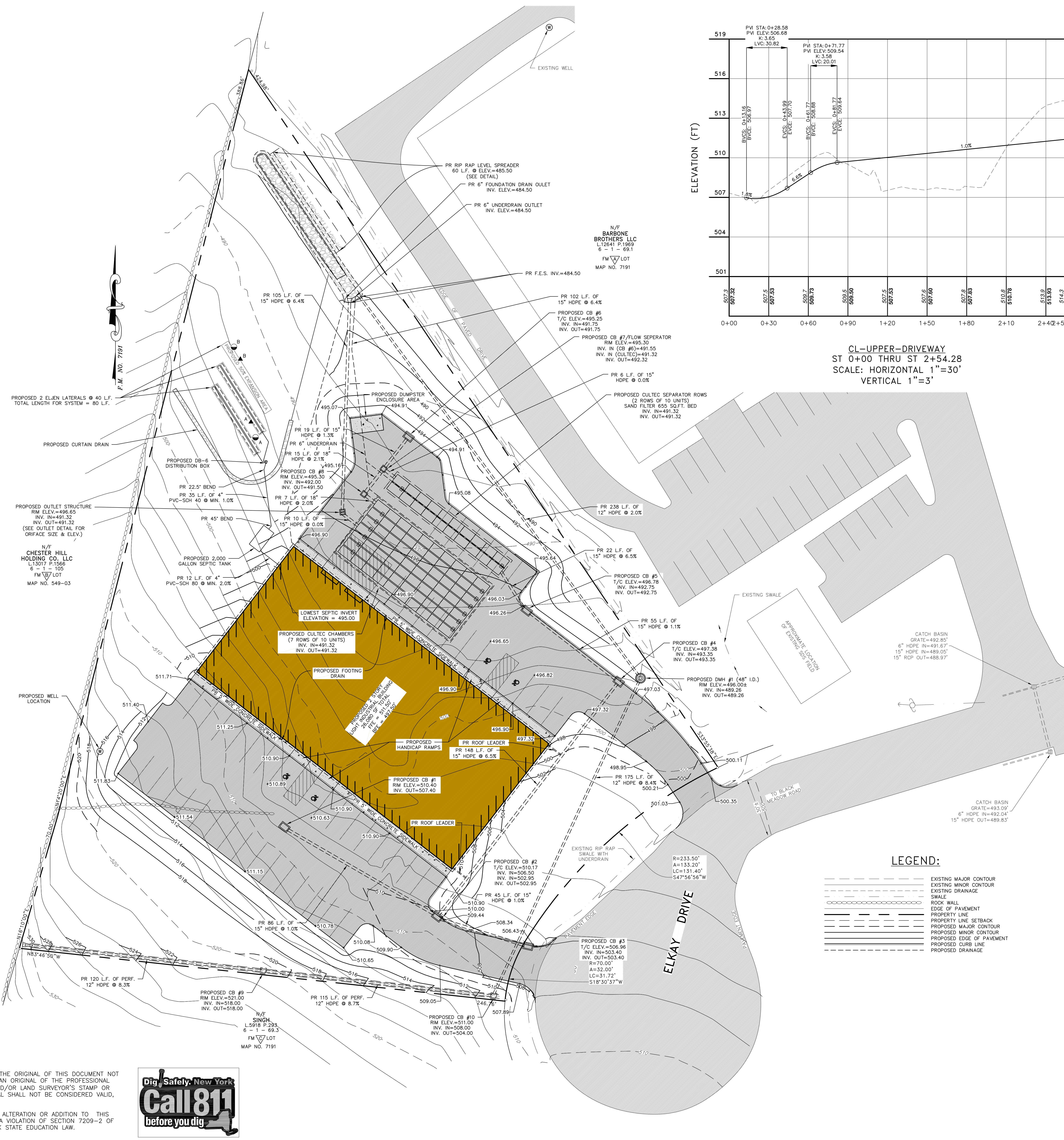
LEGEND:

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING DRAINAGE
- SWALE
- ROCK WALL
- EDGE OF PAVEMENT
- PROPERTY LINE
- PROPERTY LINE SETBACK
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CURB LINE
- PROPOSED DRAINAGE

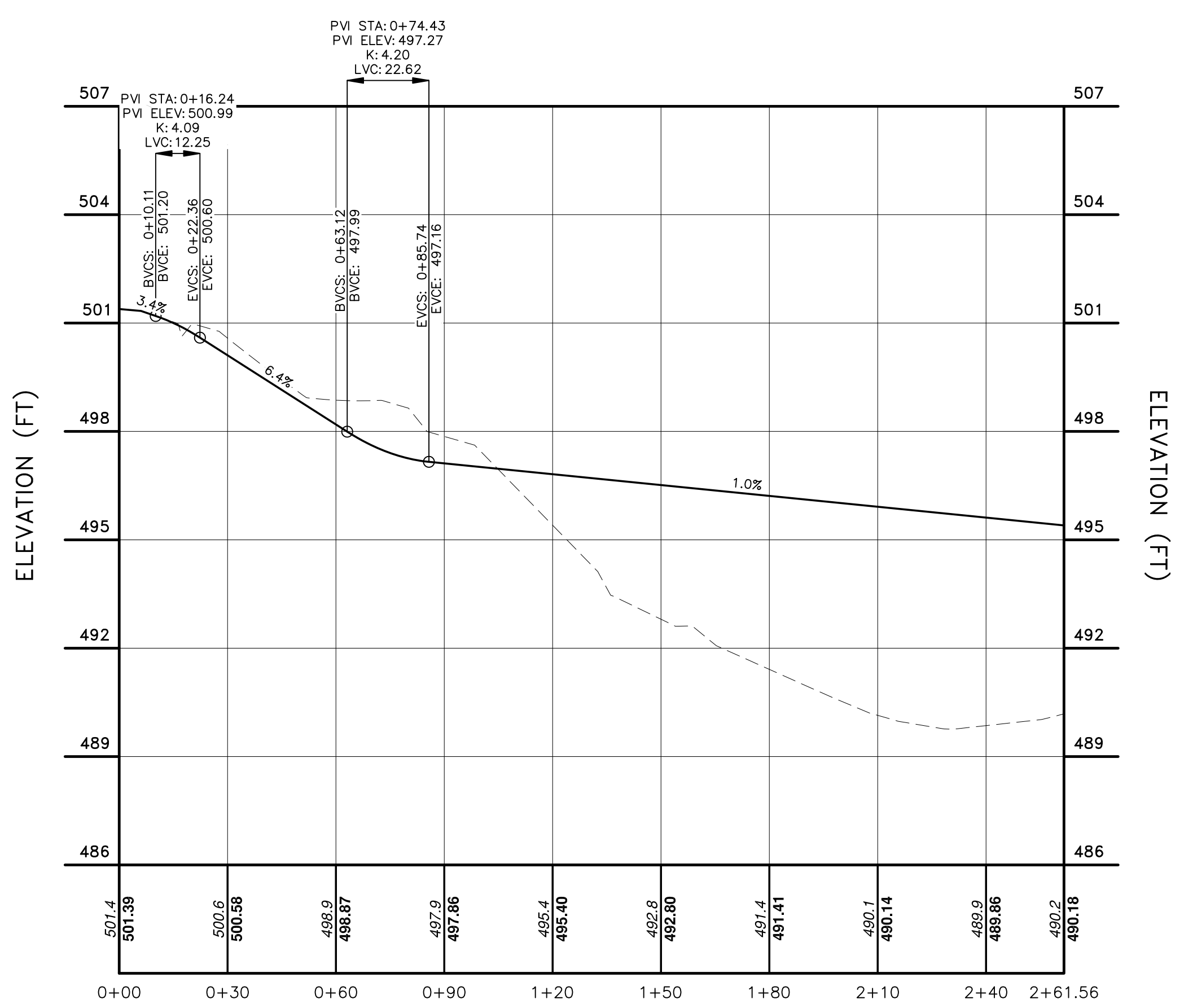
COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.





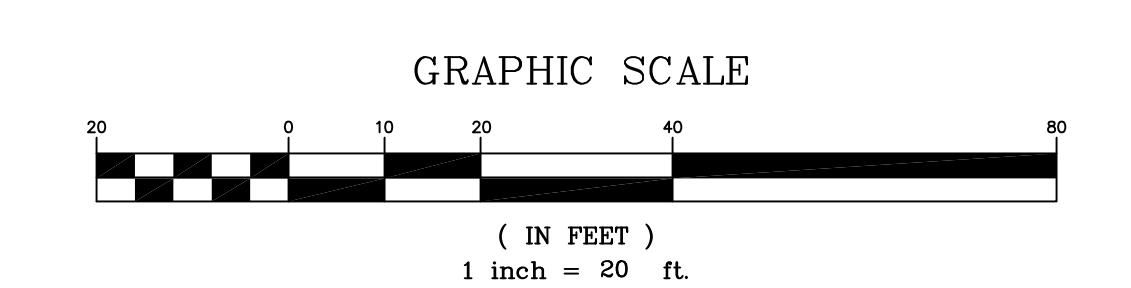
CL-UPPER-DRIVEWAY
ST 0+00 THRU ST 2+54.28
SCALE: HORIZONTAL 1"=30'
VERTICAL 1"=3'



CL-LOWER-DRIVEWAY
ST 0+00 THRU ST 2+61.56
SCALE: HORIZONTAL 1"=30'
VERTICAL 1"=3'

LEGEND:

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING DRAINAGE
- SWALE
- ROCK WALL
- EDGE OF PAVEMENT
- PROPERTY LINE
- PROPERTY LINE SETBACK
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CURB LINE
- PROPOSED DRAINAGE



COPYRIGHT 2019, LANC & TULLY, P.C.

LANC & TULLY ENGINEERING AND SURVEYING, P.C.		P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700	
GRADING & UTILITY PLAN PREPARED FOR		DATE: OCTOBER 4, 2018 REVISION: MARCH 27, 2019 JUNE 4, 2019	
MAJOR CONSULTING LLC		TOWN OF CHESTER ORANGE COUNTY, NEW YORK	
Drawn By: SPS	Checked By:	Scale: 1" = 20'	Tax Map No.: 6 - 1 - 69.2

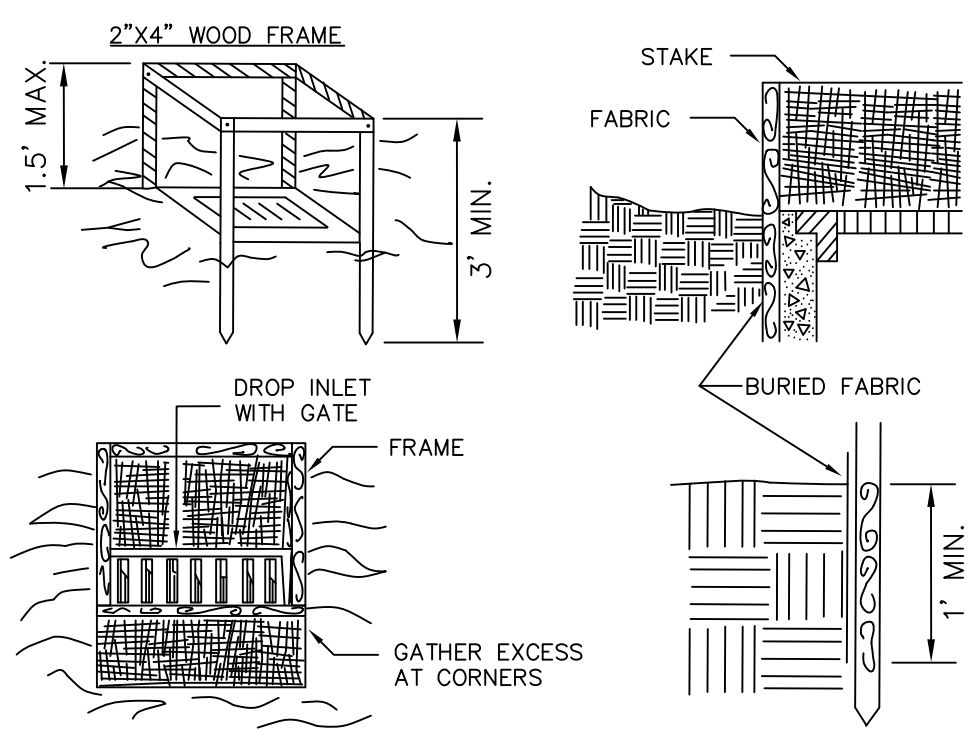
COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.



EROSION AND SEDIMENT CONTROL
NOTES AND SPECIFICATIONS

1. ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN UNTIL THEY ARE PERMANENTLY STABILIZED.
2. ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN AND THE "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL".
3. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
4. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
5. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF FOUR INCHES PRIOR TO PLACEMENT OF TOPSOIL.
6. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
7. ALL FILL TO BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
8. EXCEPT FOR APPROVED LANDFILLS, FILL MATERIAL SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
9. FROZEN MATERIALS OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS.
10. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
11. ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
12. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
13. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.
14. STOCKPILES, BORROW AREAS AND SPOIL AREAS SHALL BE SHOWN ON THE PLANS AND SHALL BE SUBJECT TO THE PROVISIONS OF THIS STANDARD AND SPECIFICATION.
15. SEED ALL DISTURBED AREAS WHICH WILL REMAIN UNDISTURBED FOR A PERIOD OF 15 DAYS OR MORE AND WHICH WILL NOT BE UNDER CONSTRUCTION WITHIN 30 DAYS WITH TEMPORARY RYEGRASS COVER, AS FOLLOWS (METHOD OF SEEDING IS OPTIONAL):
 - A. LOOSEN SEEDBED BY DISING TO A 4" DEPTH.
 - B. SEED WITH SUMMER - PERENNIAL OR ANNUAL RYEGRASS AT 30 LBS PER ACRE FALL/WINTER - ARROSTOCK WINTER RYE AT 100 LBS PER ACRE
 - C. MULCH WITH 2 TONS PER ACRE OF BLOWN AND CHOPPED HAY.
 - D. WHERE NOTED ON THE PLAN, AND ON SLOPES GREATER THAN OR EQUAL TO 3:1, PROVIDE SOIL STABILIZATION MATTING.
16. AFTER COMPLETION OF SITE CONSTRUCTION, FINE GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED WITH PERMANENT LAWN MIX AS FOLLOWS (SEE LANDSCAPE PLAN FOR OTHER PLANTING INFORMATION):
 - A. LIME TOPSOIL TO PH 6.0.
 - B. FERTILIZE WITH 600 LBS PER ACRE OF 5-10-10.
 - C. SEED MIXTURE: 10# PER ACRE CREEPING RED FESCUE, 10# PER ACRE PERENNIAL RYE GRASS
 - D. MULCH AS DESCRIBED FOR TEMPORARY SEEDING (NOTE 15C ABOVE).
17. DURING THE PROGRESS OF CONSTRUCTION, AND ESPECIALLY AFTER RAIN EVENTS, MAINTAIN ALL SEDIMENT TRAPS, BARRIERS, AND FILTERS AS NECESSARY TO PREVENT THEIR BEING CLOGGED WITH SEDIMENT. RE-STABILIZE ANY AREAS THAT MAY HAVE ERODED.
18. MAINTAIN ALL SEEDED AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE COVER.
19. MAINTAIN COPIES OF THE CONSTRUCTION LOGBOOK, STORMWATER POLLUTION PREVENTATION PLAN (SWPPP) NOTICE OF INTENT (NOI), PERMITS, AND SITE PLANS ON-SITE AT ALL TIMES DURING CONSTRUCTION.
20. A RAIN GAUGE WILL BE MAINTAINED ON-SITE AT ALL TIMES. READINGS SHALL BE TAKEN ON A DAILY BASIS AND LOGGED.

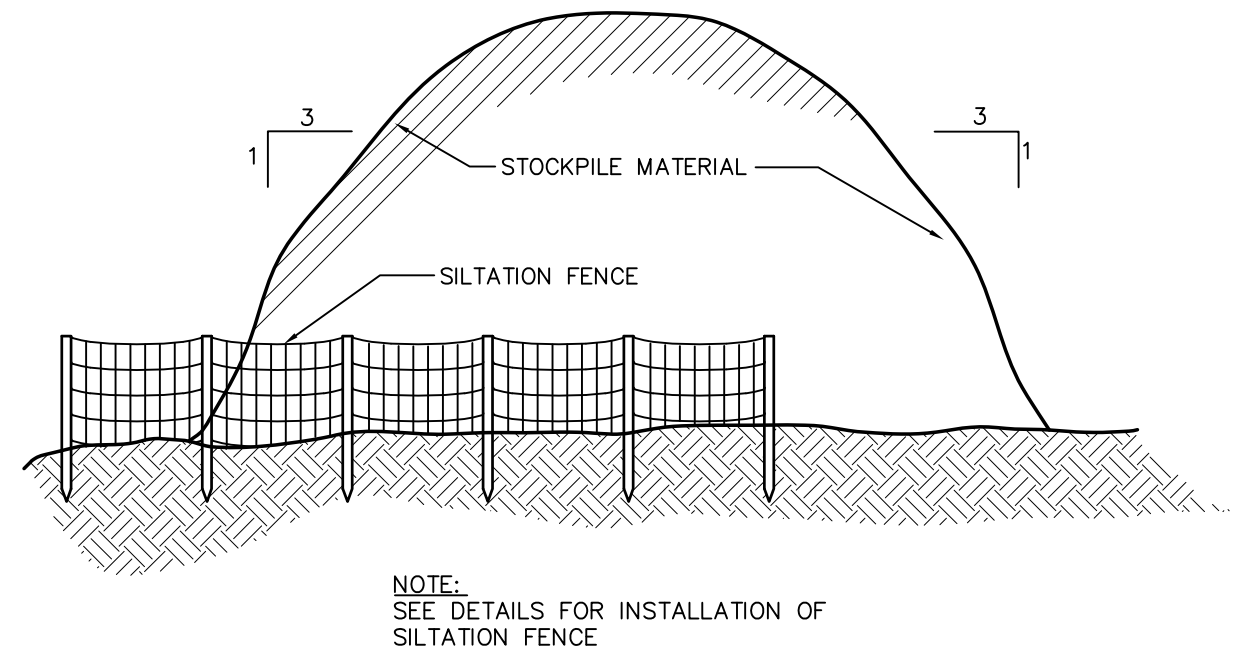


CONSTRUCTION SPECIFICATIONS

1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. STAKE MATERIALS WILL BE STANDARD 2"x4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
6. A 2"x4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

FILTER FABRIC DROP
INLET PROTECTION

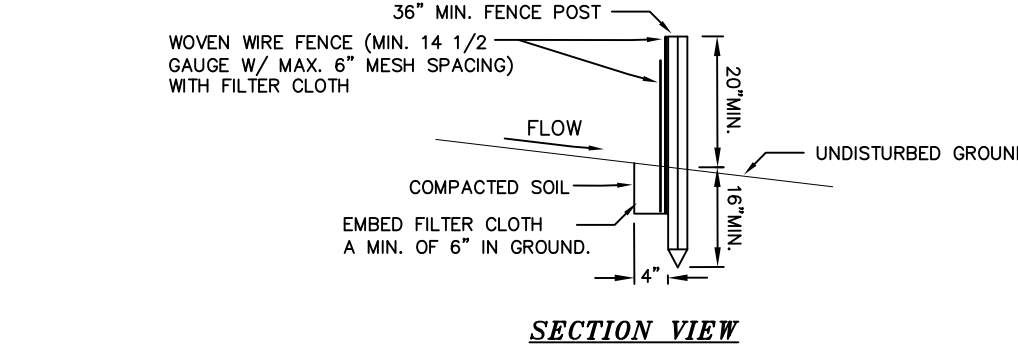
NOT TO SCALE



TYPICAL STOCKPILE DETAIL

NOT TO SCALE

PERSPECTIVE VIEW

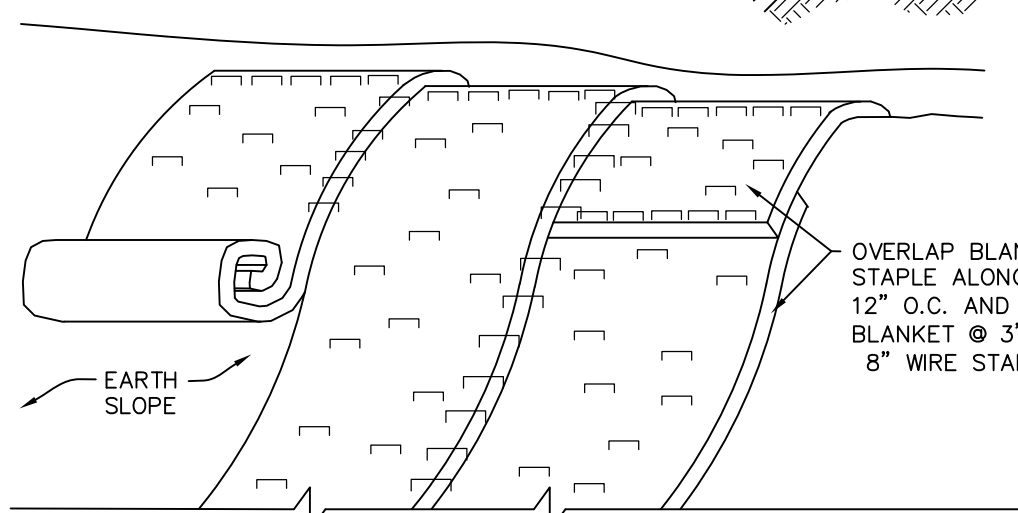


CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 1 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOTAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILTATION FENCE

NOT TO SCALE



SLOPE STABILIZATION DETAIL

NOT TO SCALE

- NOTES:
1. SLOPE STABILIZATION TO BE USED ON ALL CREATED OR DISTURBED SLOPES GREATER THAN 25%.
 2. STABILIZED PREPARED EARTHEN SLOPE WITH A BIODEGRADABLE NATURAL FIBER NETTING. APPROVED TYPES AS FOLLOWS:
 - S150BN - NORTH AMERICAN GREEN 1-800-772-2040
 - ECS-26 - EAST COAST EROSION BLANKET 1-800-262-4005
 - APPROVED EQUAL
 3. ALL SLOPE RESTORATION MUST INCLUDE 4" TOPSOIL.
 4. PREPARE THE SOIL SURFACE INCLUDING RAKING, SEEDING AND FERTILIZING PRIOR TO INSTALLING EROSION CONTROL NETTING.
 5. AFTER NETTING IS INSTALLED, PLANT ANY PROPOSED LANDSCAPING/GROUND COVER THROUGH SLITS CUT IN FABRIC.

COPYRIGHT 2019, LANC & TULLY, P.C.



LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

EROSION & CONTROL PLAN
PREPARED FOR

MAJOR CONSULTING LLC

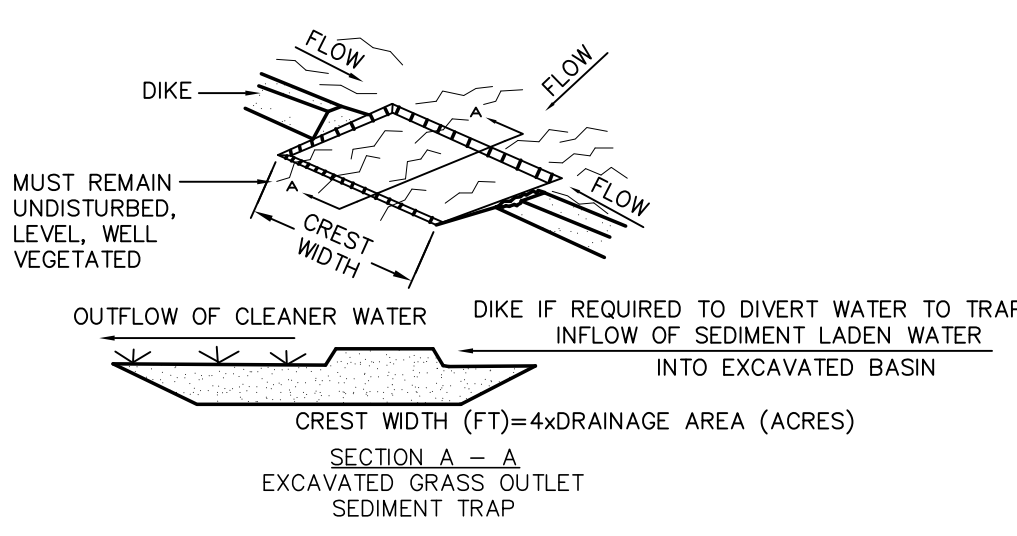
TOWN OF CHESTER
ORANGE COUNTY, NEW YORK

Drawn By: SPS Checked By: Scale: 1" = 20' Tax Map No.: 6-1-69.2 Drawing No.: A-18-0092-C3D

RECORD OWNER/APPLICANT:

MAJOR CONSULTING LLC
2 SHINEY COURT
MONROE, NEW YORK 10950

L. 14415 P. 866



CONSTRUCTION SPECIFICATIONS

1. VOLUME OF SEDIMENT STORAGE SHALL BE 3600 CUBIC FEET PER ACRE OF CONTRIBUTORY DRAINAGE AREA.
2. MINIMUM CREST WIDTH SHALL BE 4 x DRAINAGE AREA.
3. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
4. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
5. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION SHALL BE MINIMIZED.
6. THE SEDIMENT TRAP SHALL BE REMOVED AND AREA STABILIZED WHEN THE REMAINING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
7. ALL OUT SLOPES SHALL BE 1:1 OR FLATTER. MAXIMUM DRAINAGE AREA: 5 ACRES

GRASS OUTLET SEDIMENT TRAP

NOT TO SCALE

LEGEND:

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING DRAINAGE SWALE
- ROCK WALL
- EDGE OF PAVEMENT
- PROPERTY LINE
- PROPERTY LINE SETBACK
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CURB LINE
- PROPOSED DRAINAGE

TRAPEZOIDAL CROSS-SECTION

- CONSTRUCTION SPECIFICATIONS
1. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE DIVERSION.
 2. THE DIVERSION SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN, AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
 3. FILLS SHALL BE COMPACTED AS NEEDED TO PREVENT UNEQUAL SETTLEMENT THAT WOULD CAUSE DAMAGE IN THE COMPLETE DIVERSION.
 4. ALL EARTH REMOVED AND NOT NEEDED IN CONSTRUCTION SHALL BE STOCKPILED FOR RESTORATION OF THE AREA SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE DIVERSION.
 5. STABILIZATION SHALL BE DONE ACCORDING TO THE APPROPRIATE STANDARD AND SPECIFICATIONS FOR VEGETATIVE PRACTICES.
 - A. FOR DESIGN VELOCITIES OF MORE THAN 3.5 FT. PER SEC., THE DIVERSION SHALL BE STABILIZED WITH SOD, WITH SEEDING PROTECTED BY JUTE OR EROSION MATTING OR WITH SEEDING AND MULCHING INCLUDING TEMPORARY DIVERSION OF THE WATER UNTIL THE VEGETATION IS ESTABLISHED.

TEMPORARY DIVERSION SWALE

NOT TO SCALE

CONSTRUCTION SPECIFICATIONS:

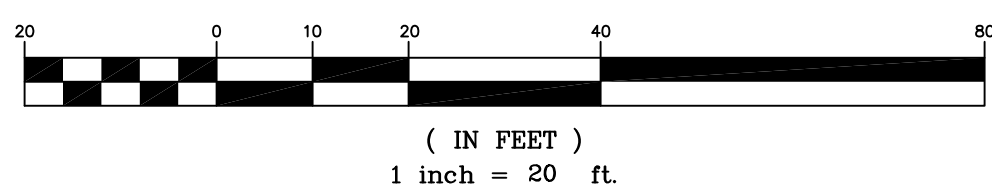
1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85.
2. WOODEN FRAME SHALL BE CONSTRUCTED OF 2" x 4" CONSTRUCTION GRADE LUMBER.
3. WIRE MESH ACROSS THROAT SHALL BE A CONTINUOUS PIECE 30 INCH MINIMUM WIDTH WITH A LENGTH 4 FEET LONGER THAN THE THROAT. IT SHALL BE SHAPED AND SECURELY NAILED TO A 2" x 4" WEIR.
4. THE WEIR SHALL BE SECURELY NAILED TO 2" x 4" SPACERS 9 INCHES LONG SPACED NO MORE THAN 6 FEET APART.
5. THE ASSEMBLY SHALL BE PLACED AGAINST THE INLET AND SECURED BY 2" x 4" ANCHORS 2 FEET LONG EXTENDING ACROSS THE TOP OF THE INLET AND HELD IN PLACE BY SANDBAGS OR ALTERNATE HEIGHTS.
6. THE STONE USED TO HOLD AND COVER THE FILTER FABRIC SHALL BE LOOSELY PLACED, 2" MIN. DIAM. ROUND STONE.

STORM DRAIN INLET FILTER DETAIL

NOT TO SCALE

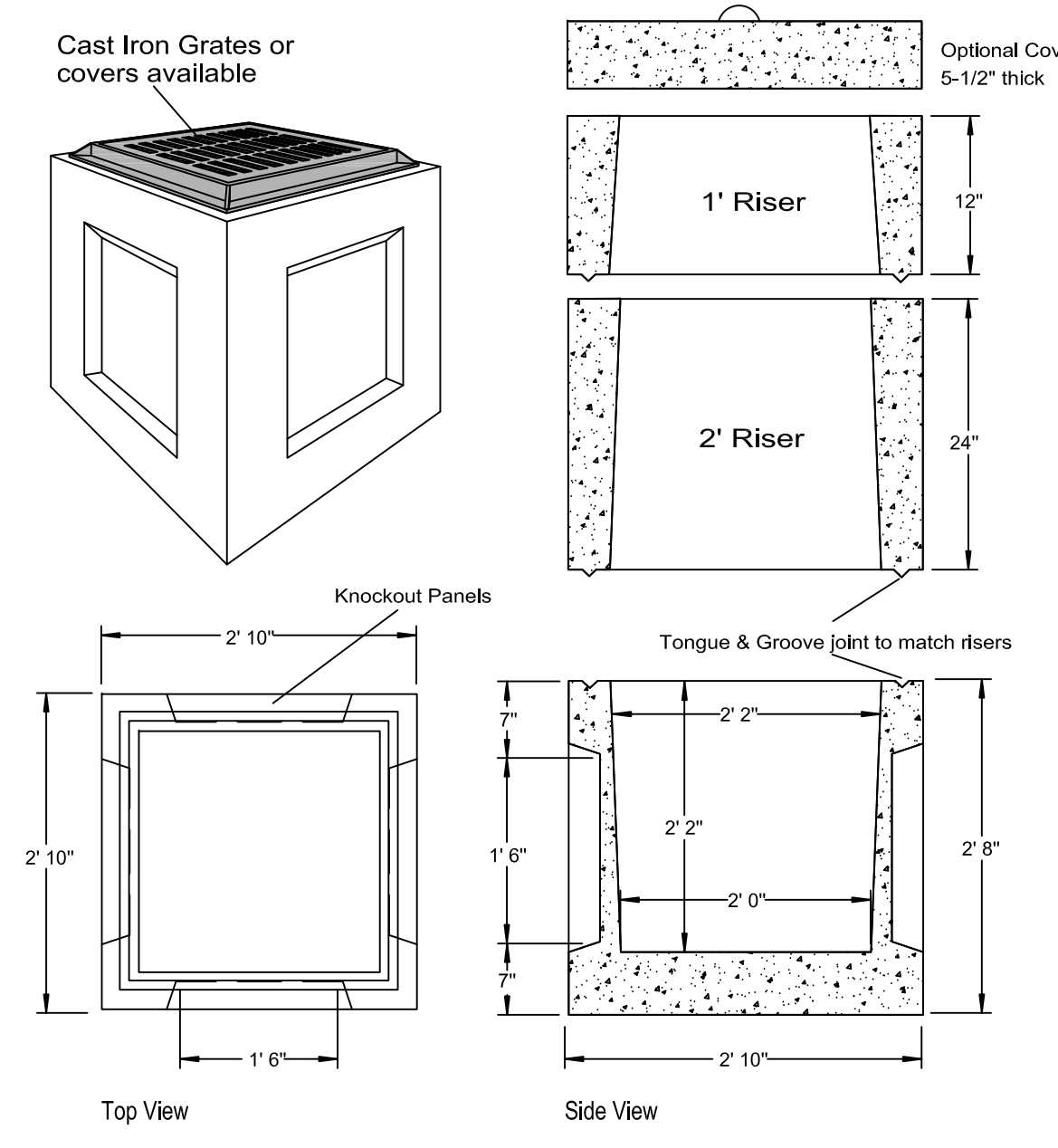
N/F
BARBONE
BROTHERS LLC
L12841 P.1969
6-1-69.1
FM 1/8" LOT
MAP NO. 7191

GRAPHIC SCALE

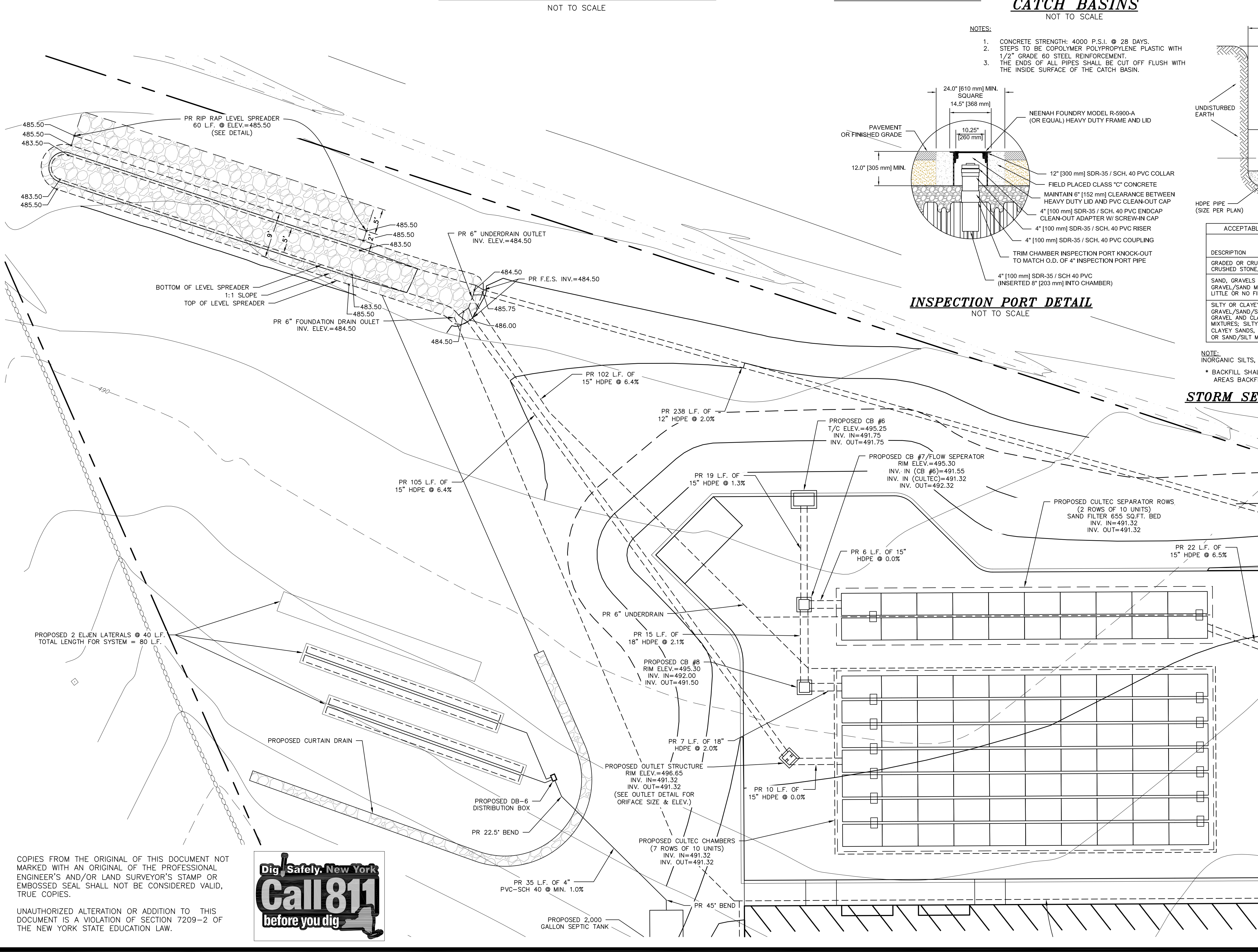
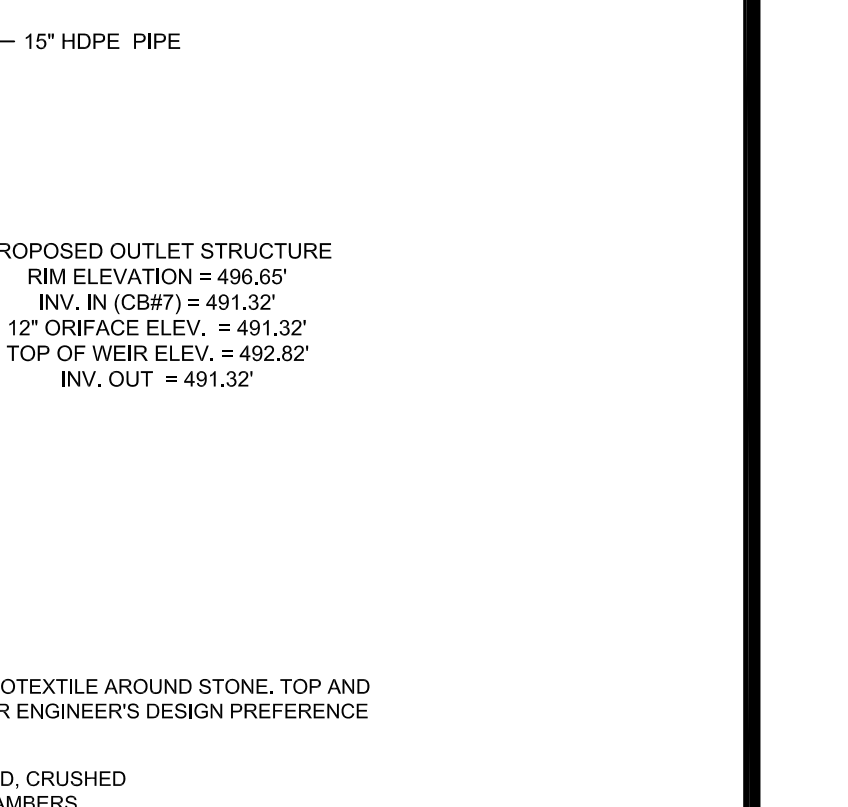
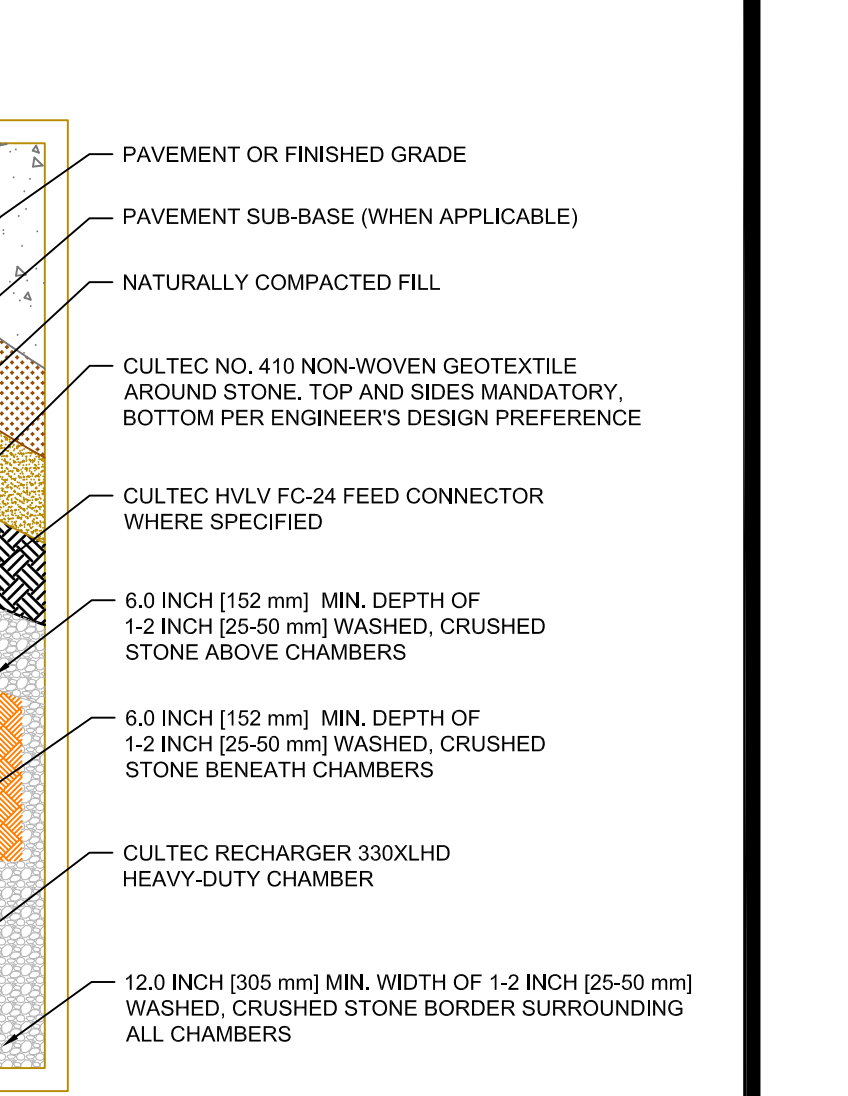
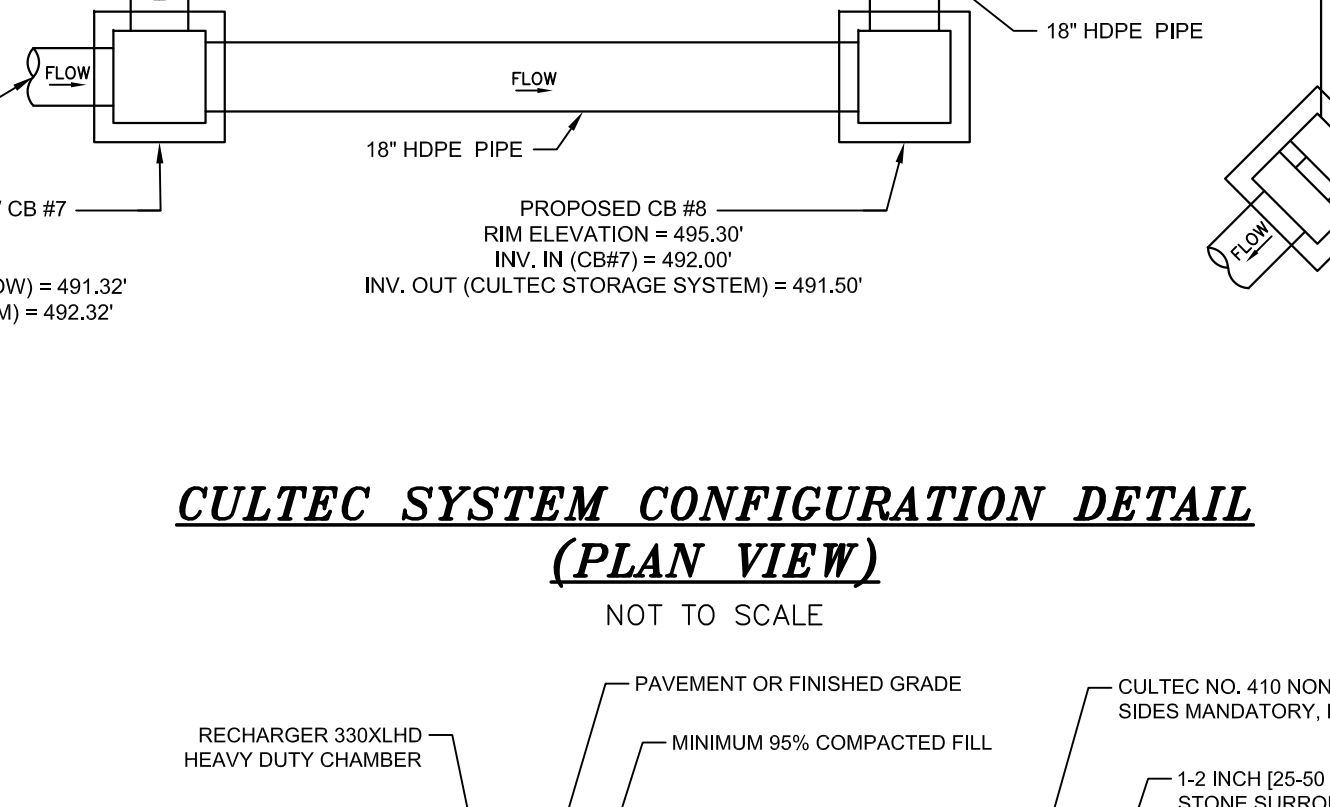
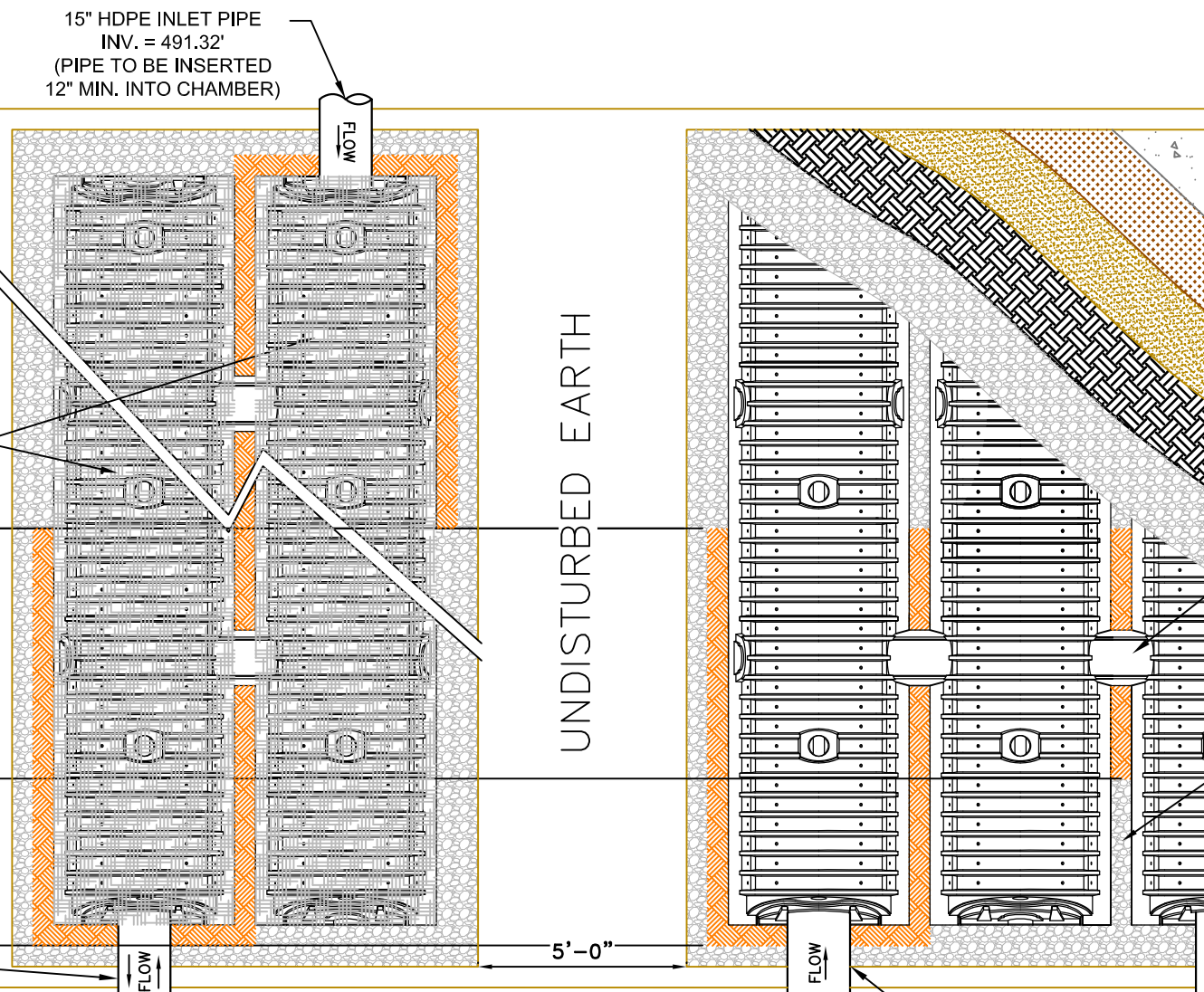
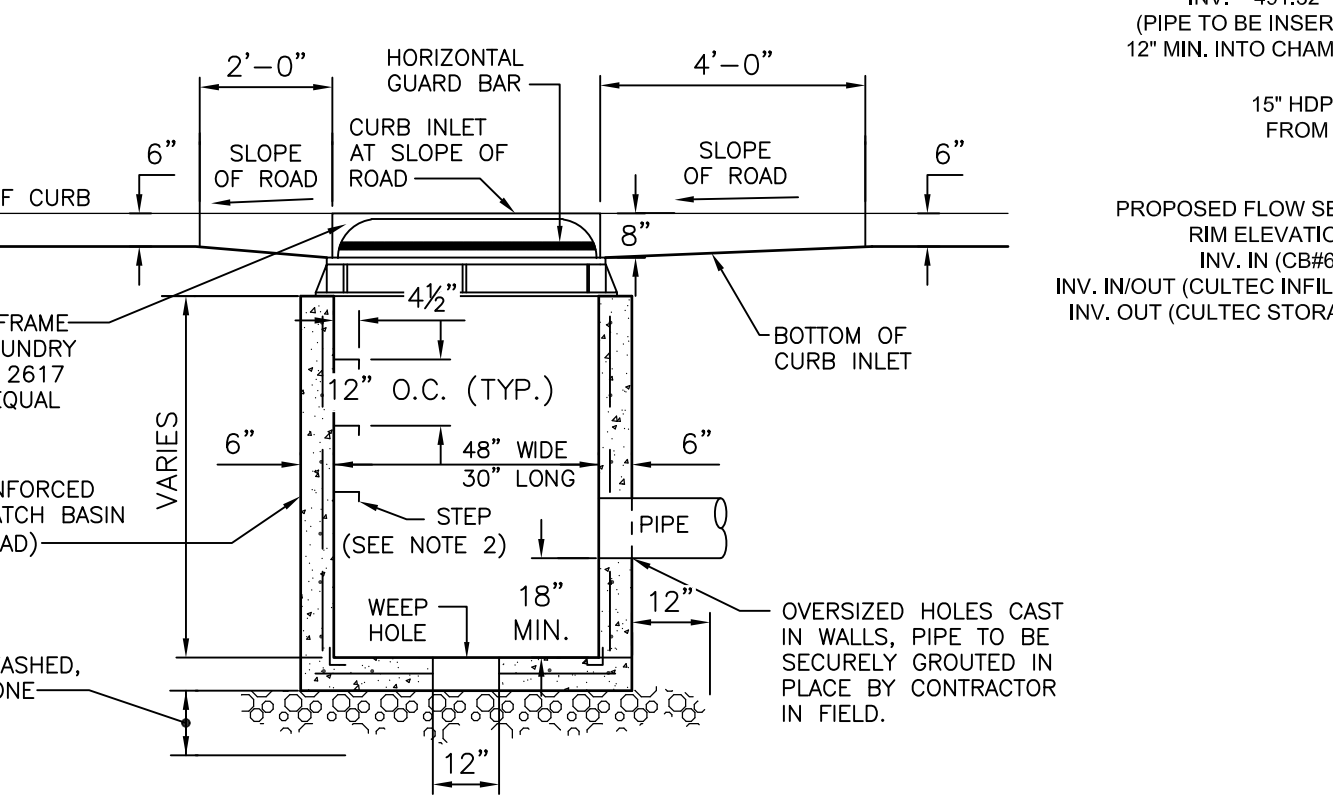
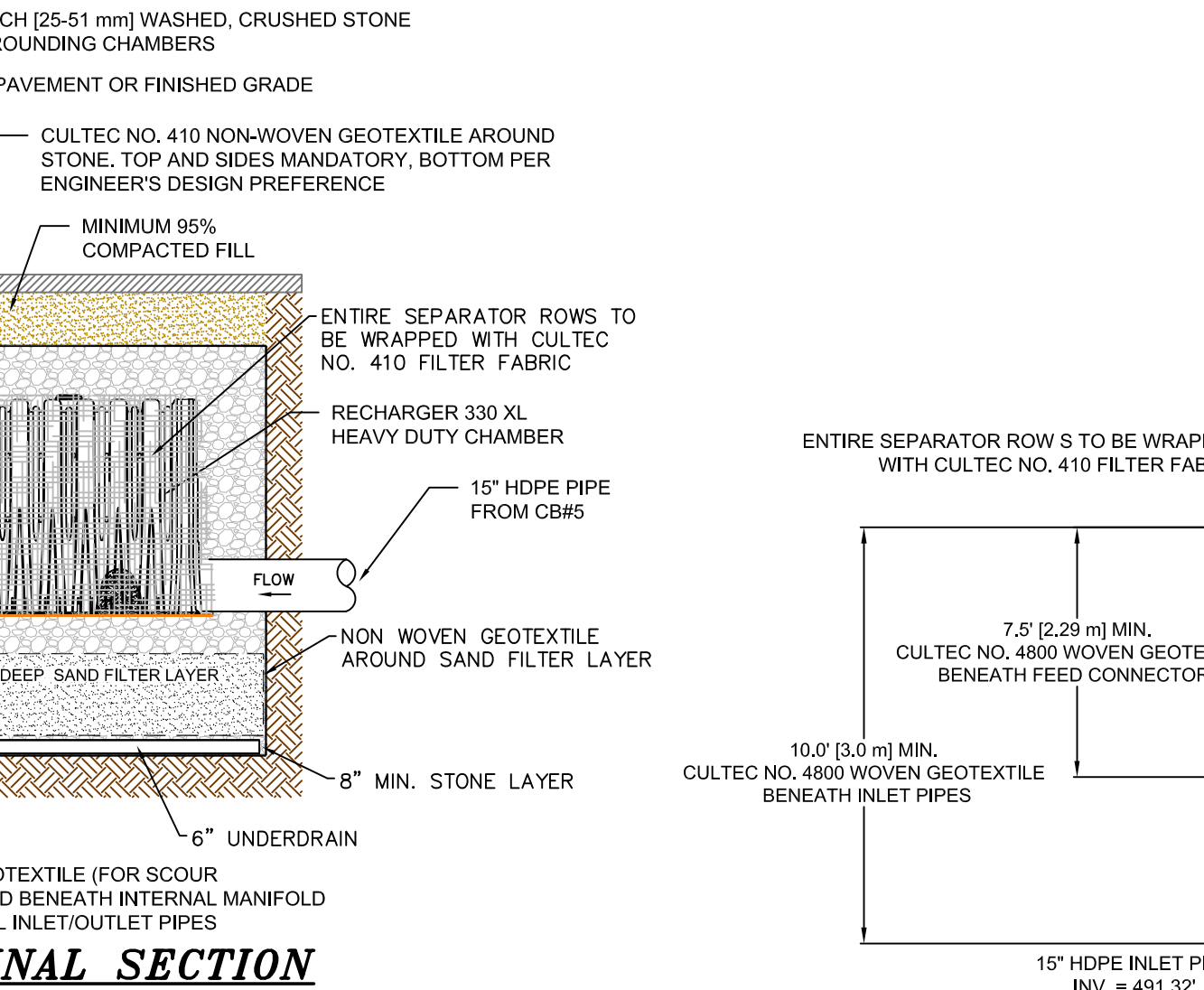
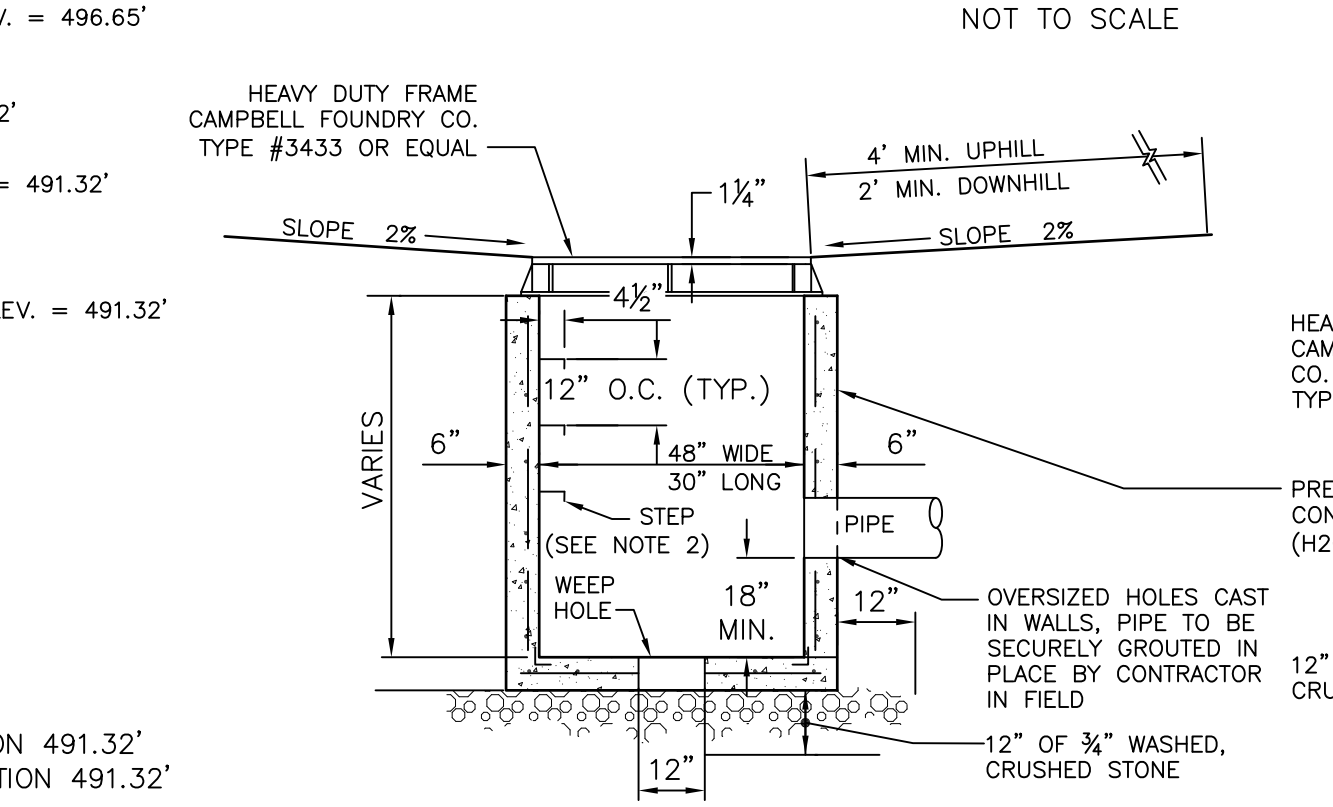
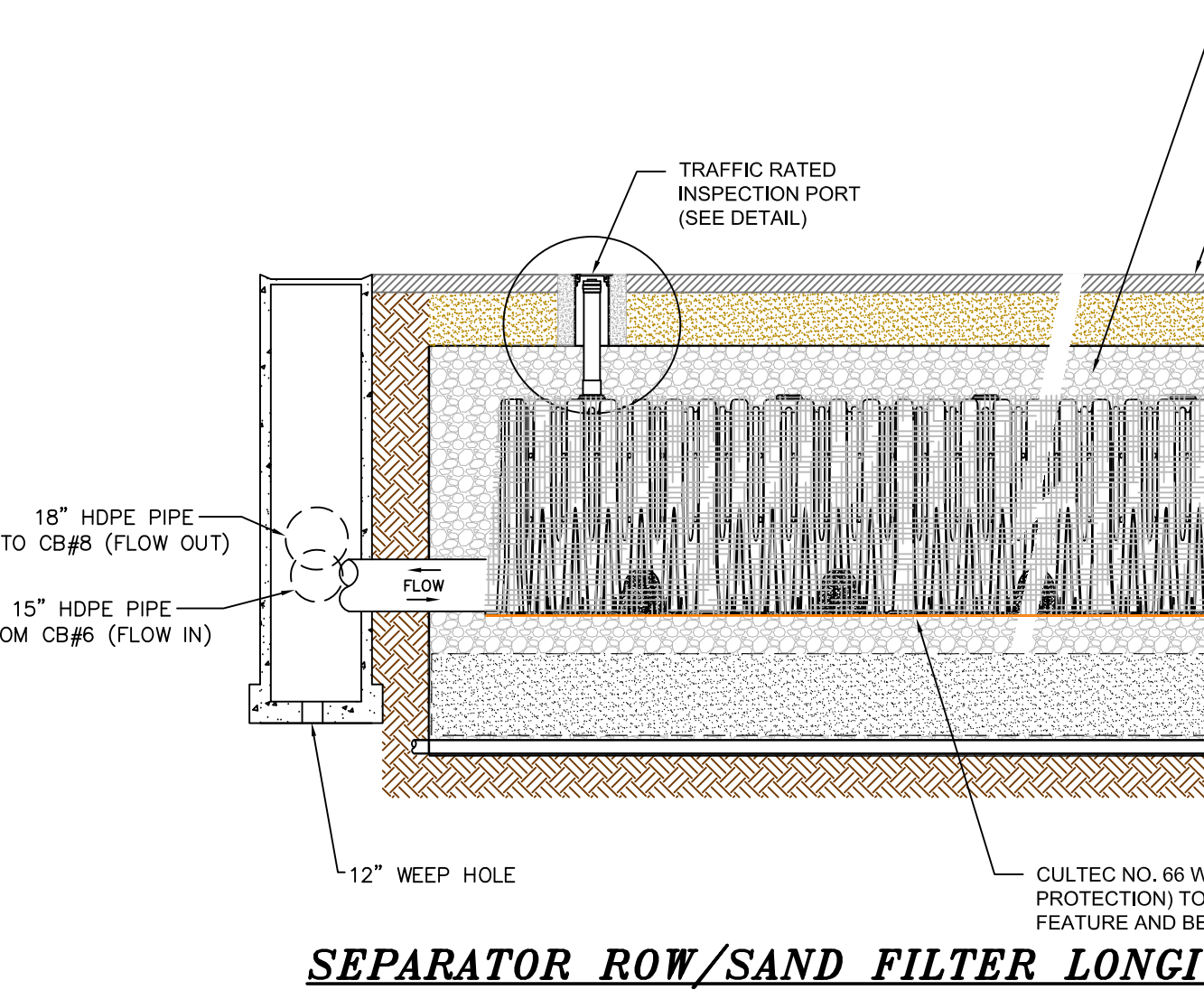
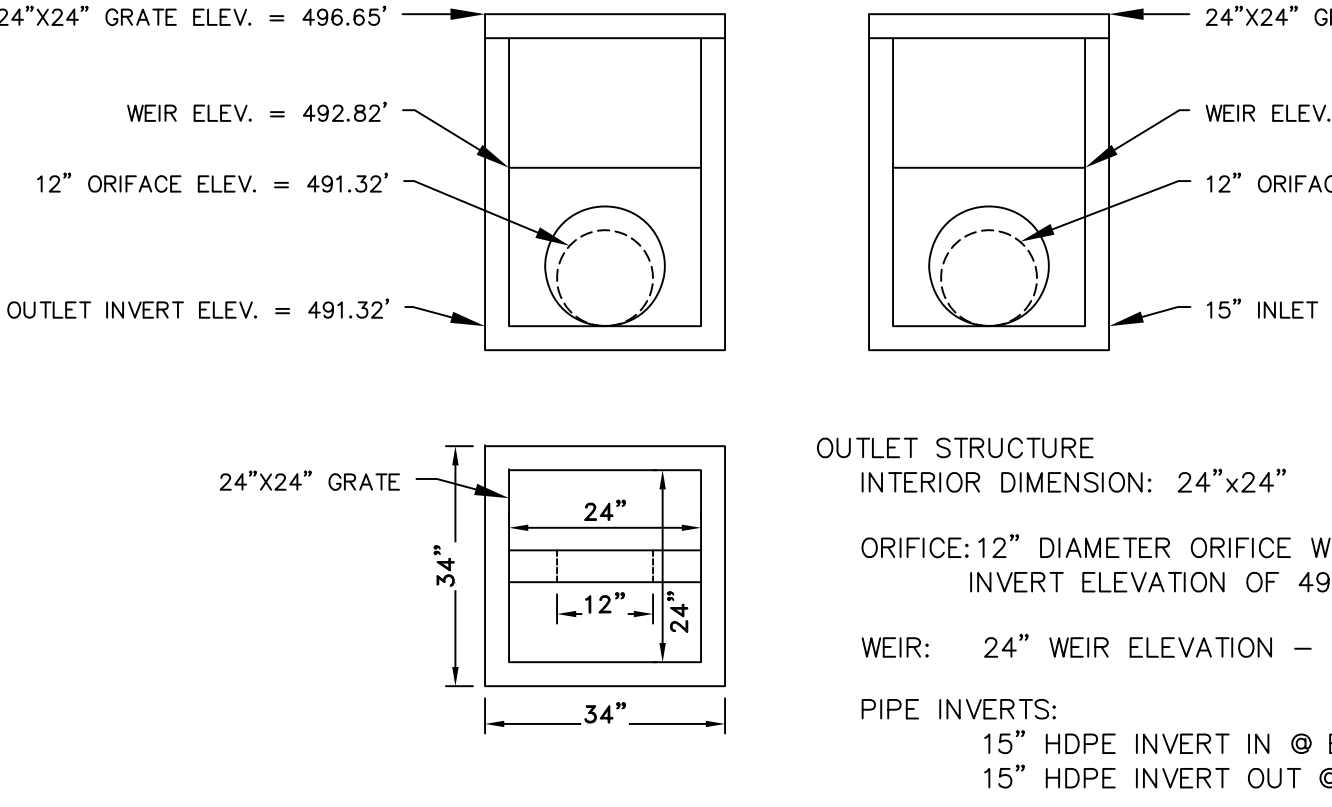
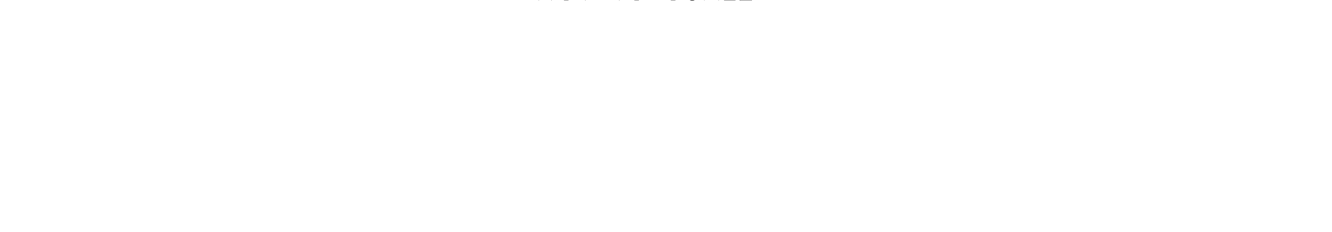
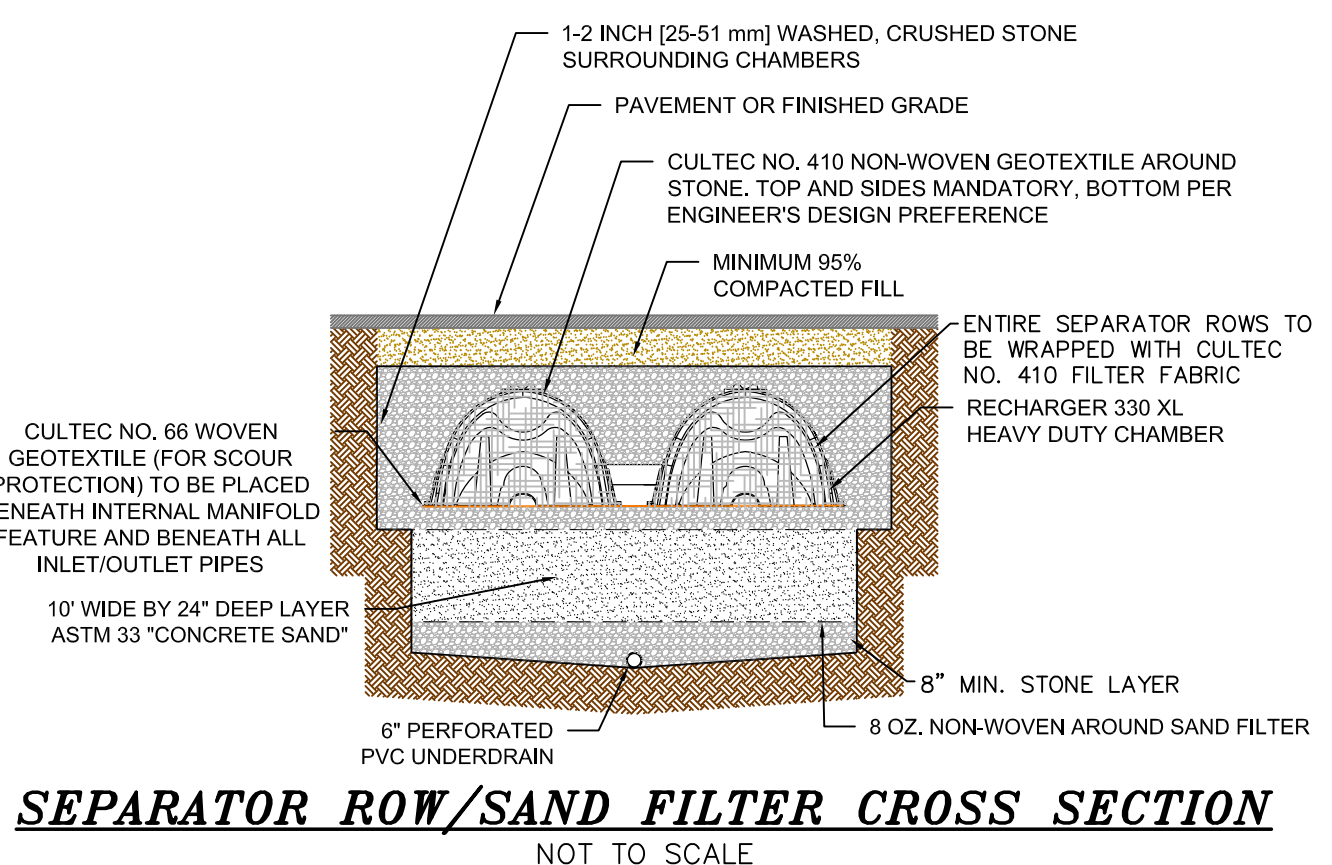


COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

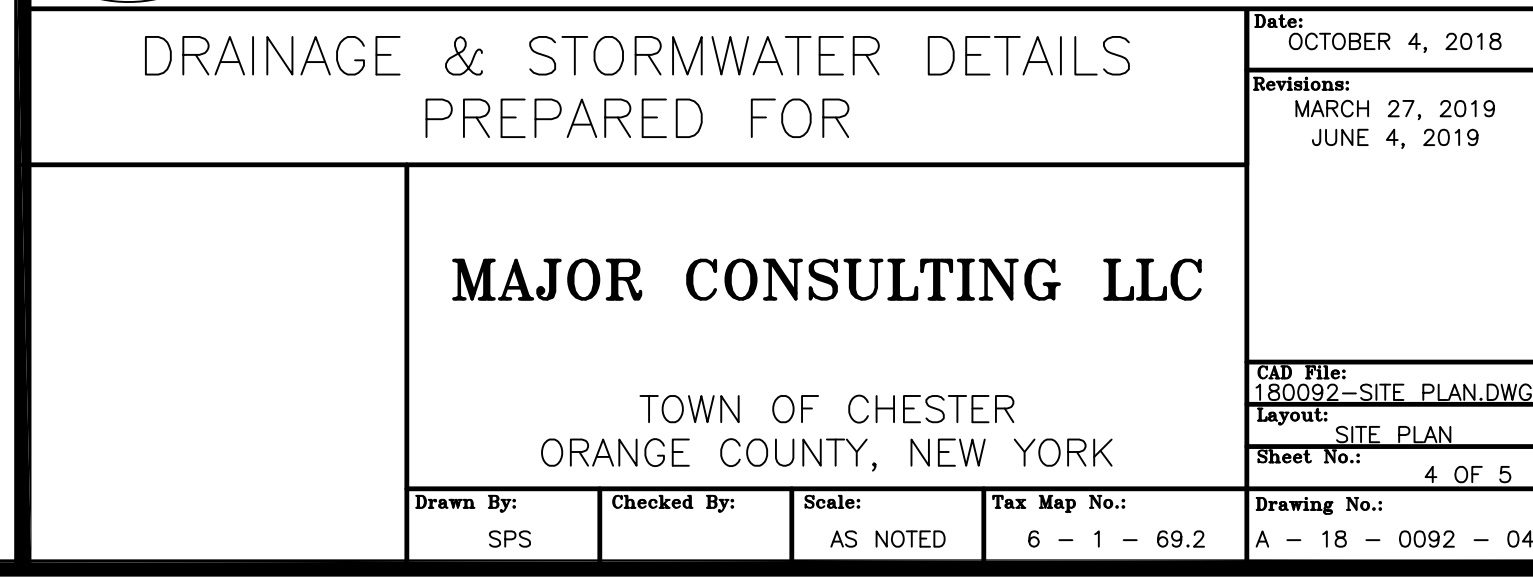
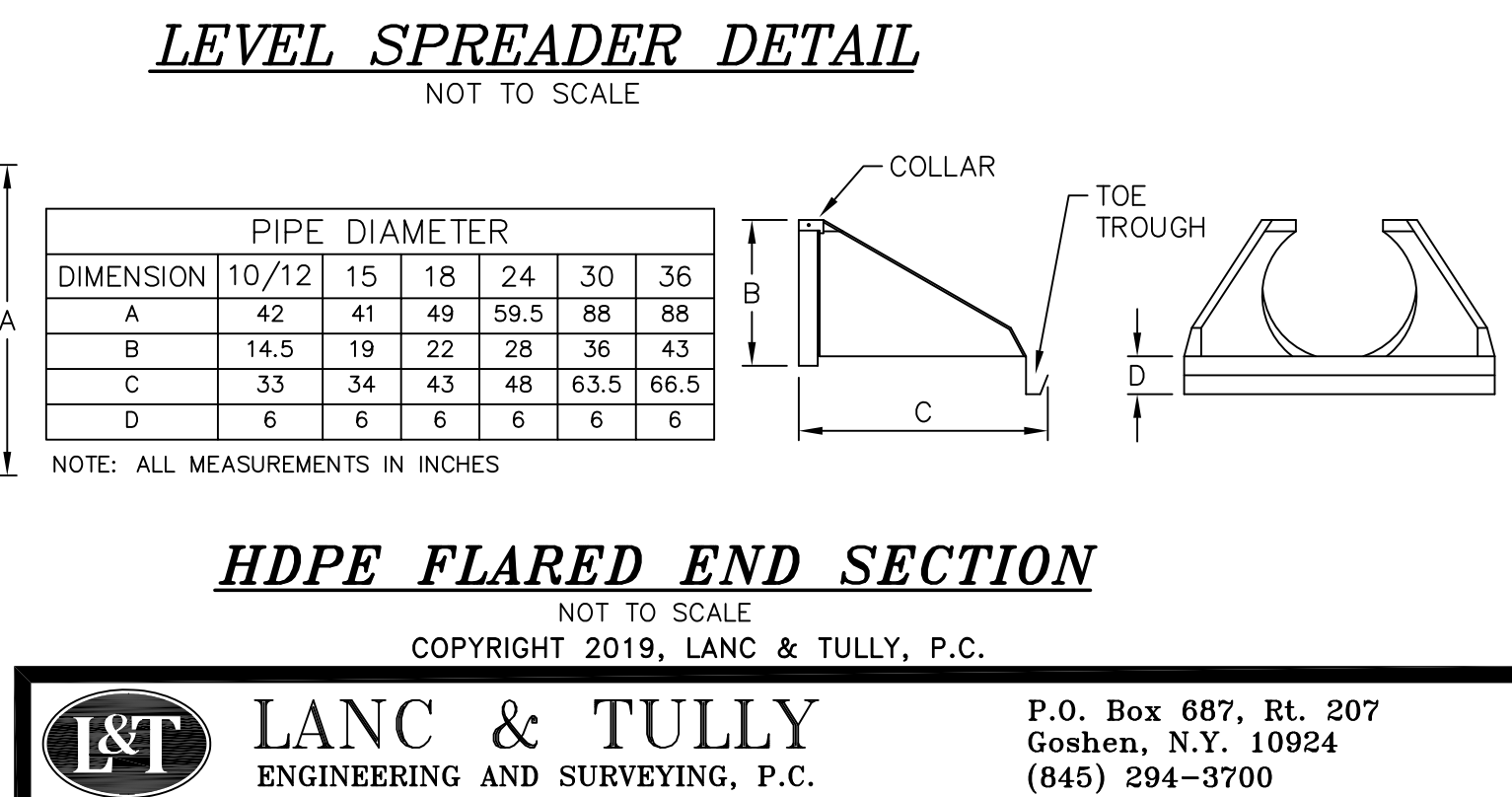
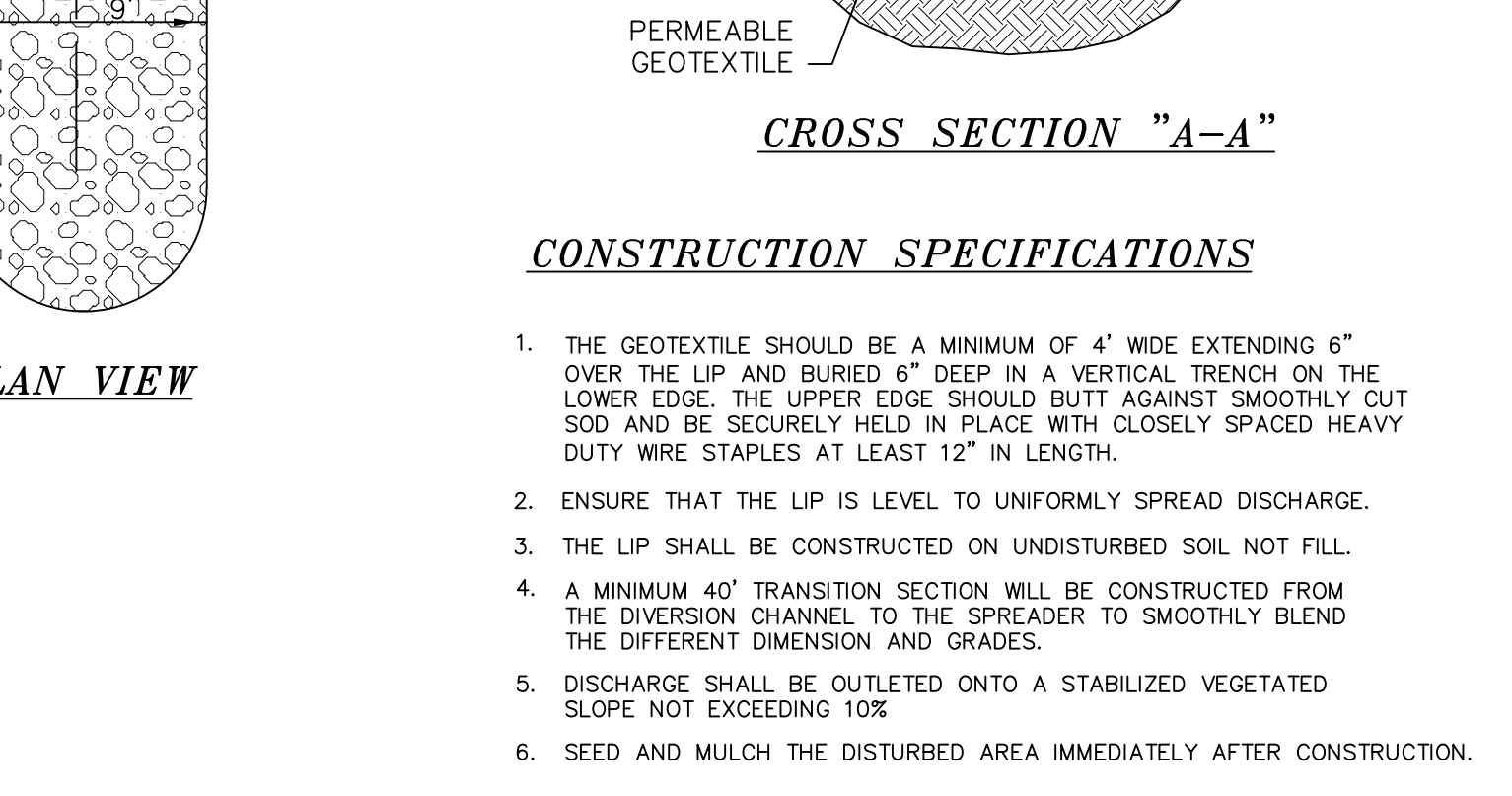
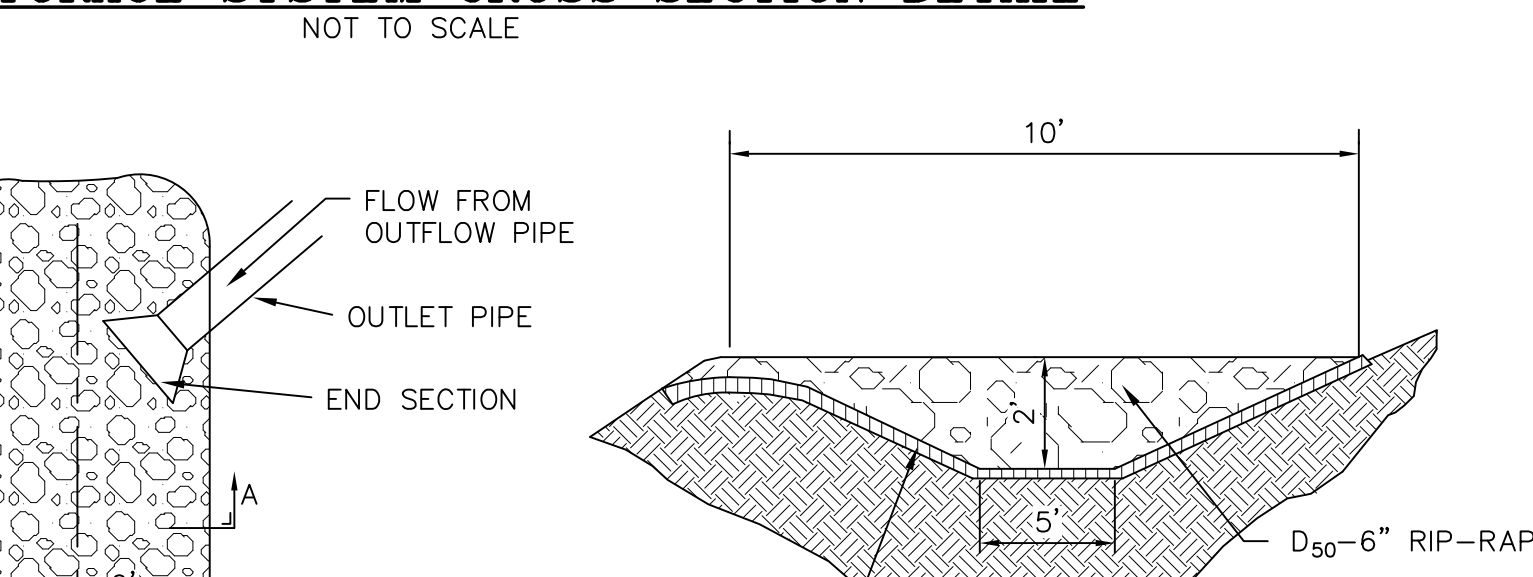
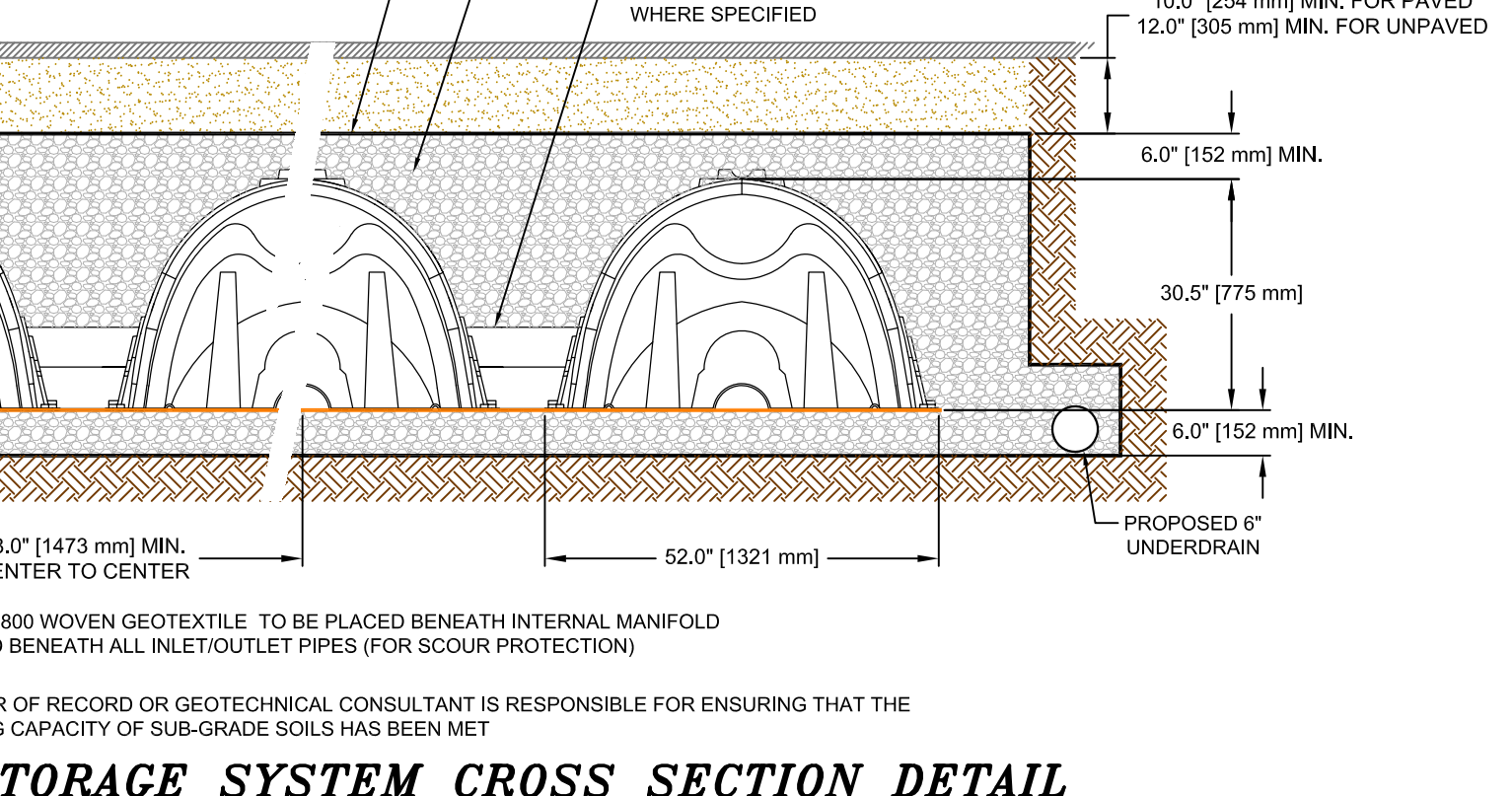
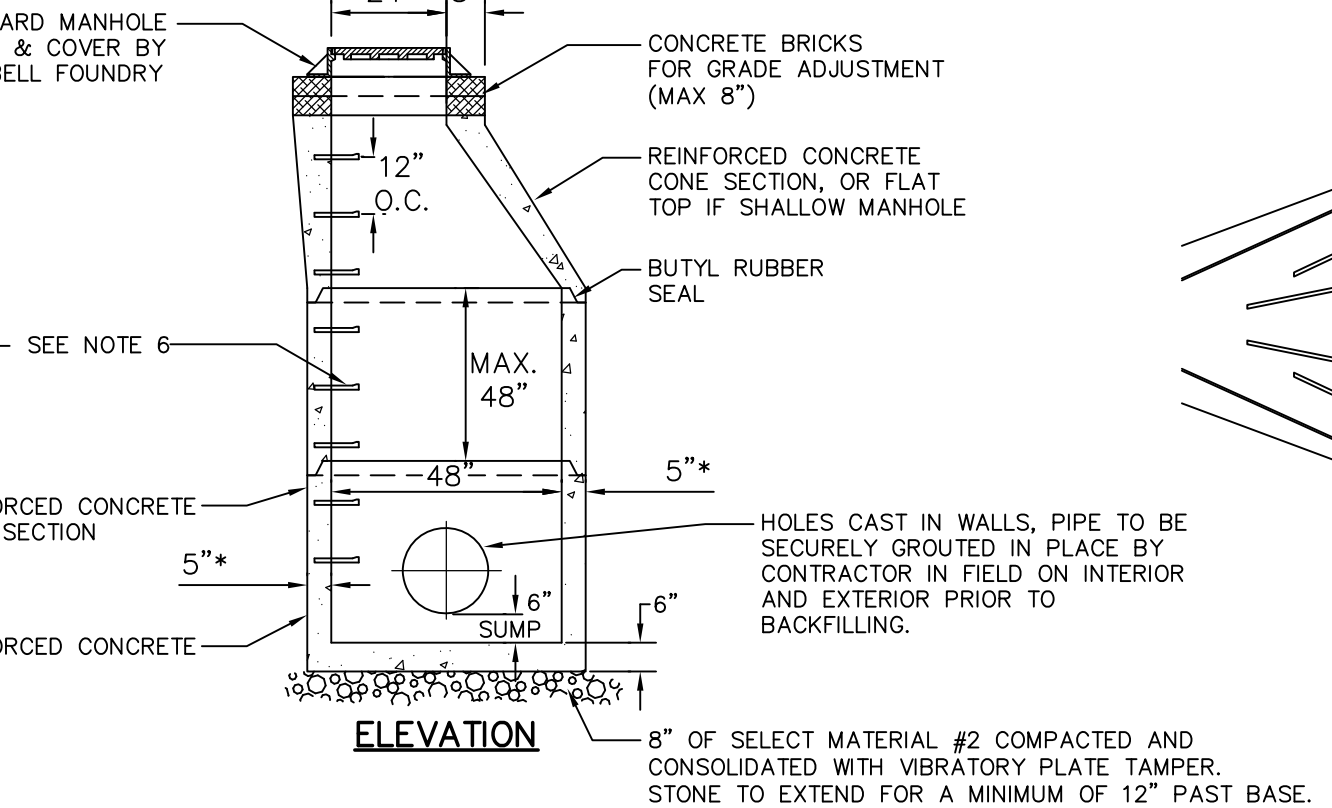
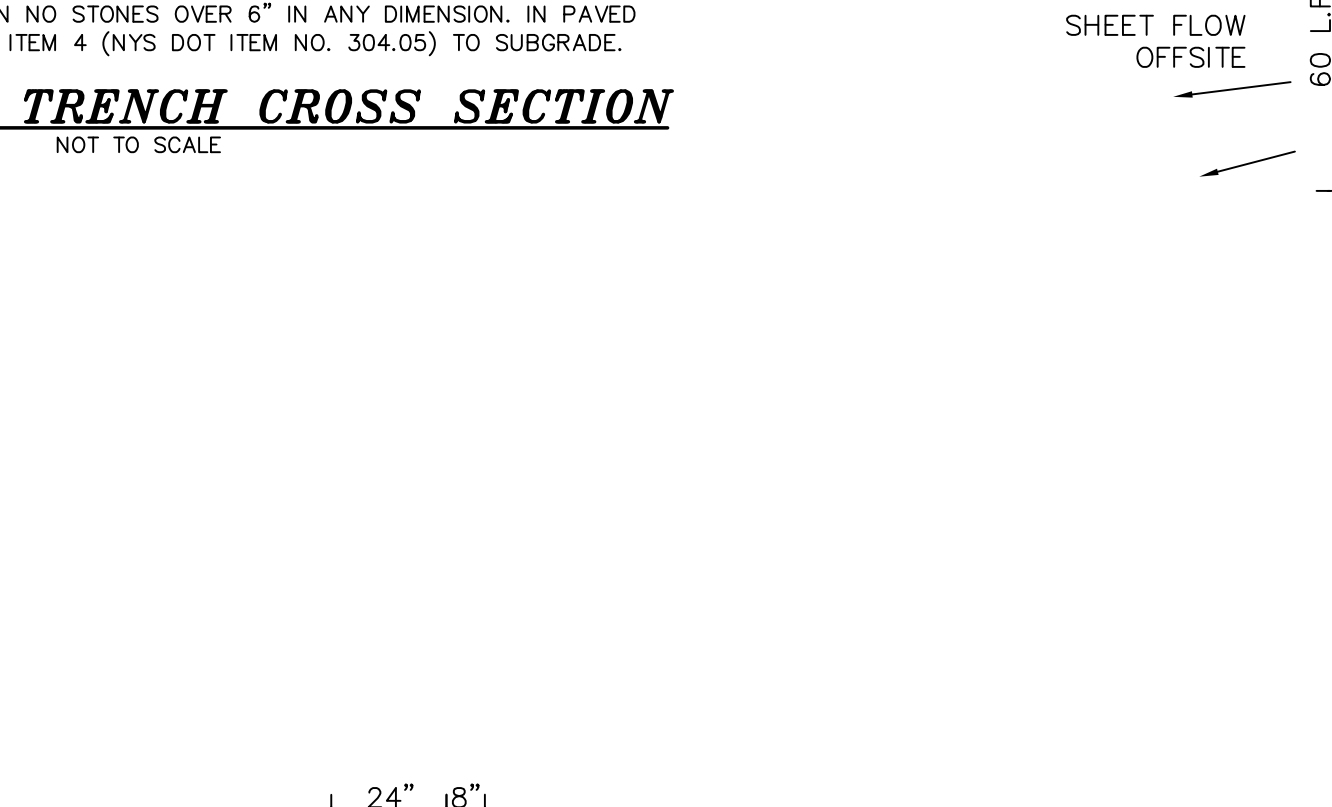
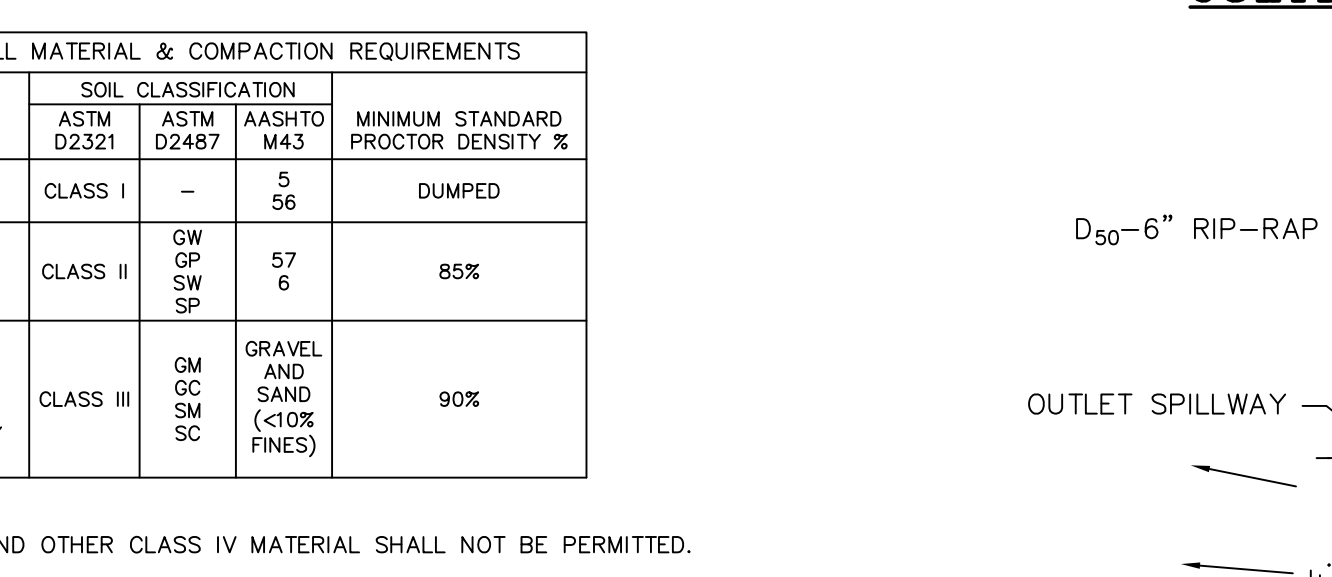
UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.



SPECIFICATIONS	PRECAST CATCH BASIN MODEL CB-2X2
Concrete Min. Strength: 4,000 psi at 28 days	
Reinforcement: #4 Rebar / ASTM A615	
Air Entrainment: 5%	
Construction Joint: Butyl Rubber Sealant	
Weights: Base = 1,300 lbs, Riser = 500 lbs/vf	
Load Rating: H20 / ASTM C857	
	Woodard's Concrete Products, Inc. 629 Lybolt Road, Bullville, NY 10915 (845) 361-3471 / Fax 361-1050
	Page 81 9/9/09
	www.woodardsconcrete.com



DESCRIPTION	ASTM D2321	ASTM D2447	ASTM M43	MINIMUM STANDARD PROCTOR DENSITY %
GRADED OR CRUSHED, CRUSHED STONE, GRAVEL	CLASS I	-	5	56
SAND, GRAVELS AND GRAVEL/SAND MIXTURES; LITTLE OR NO FINES	CLASS II	GW GP SW SP	57	85%
SILTY OR CLAYEY GRAVELS, GRAVEL/SAND/SILT OR GRAVEL AND CLAY MIXTURES; SILTY OR CLAYEY SANDS, SAND/CLAY OR SAND/SILT MIXTURES	CLASS III	GM GC SM SC	GRAVEL AND SAND (<10% FINES)	90%



COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

Dig Safely. New York
Call 811
before you dig

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

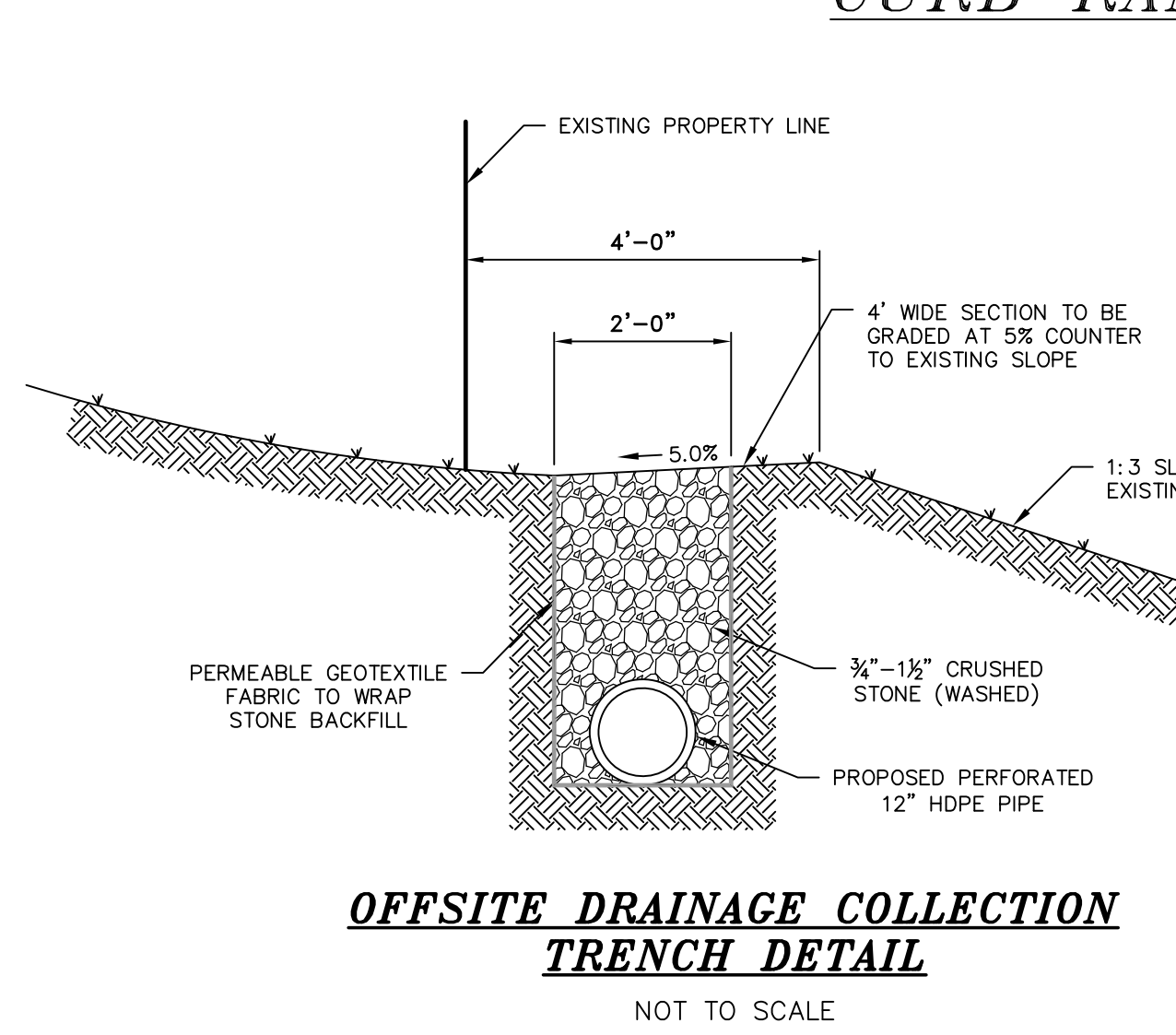
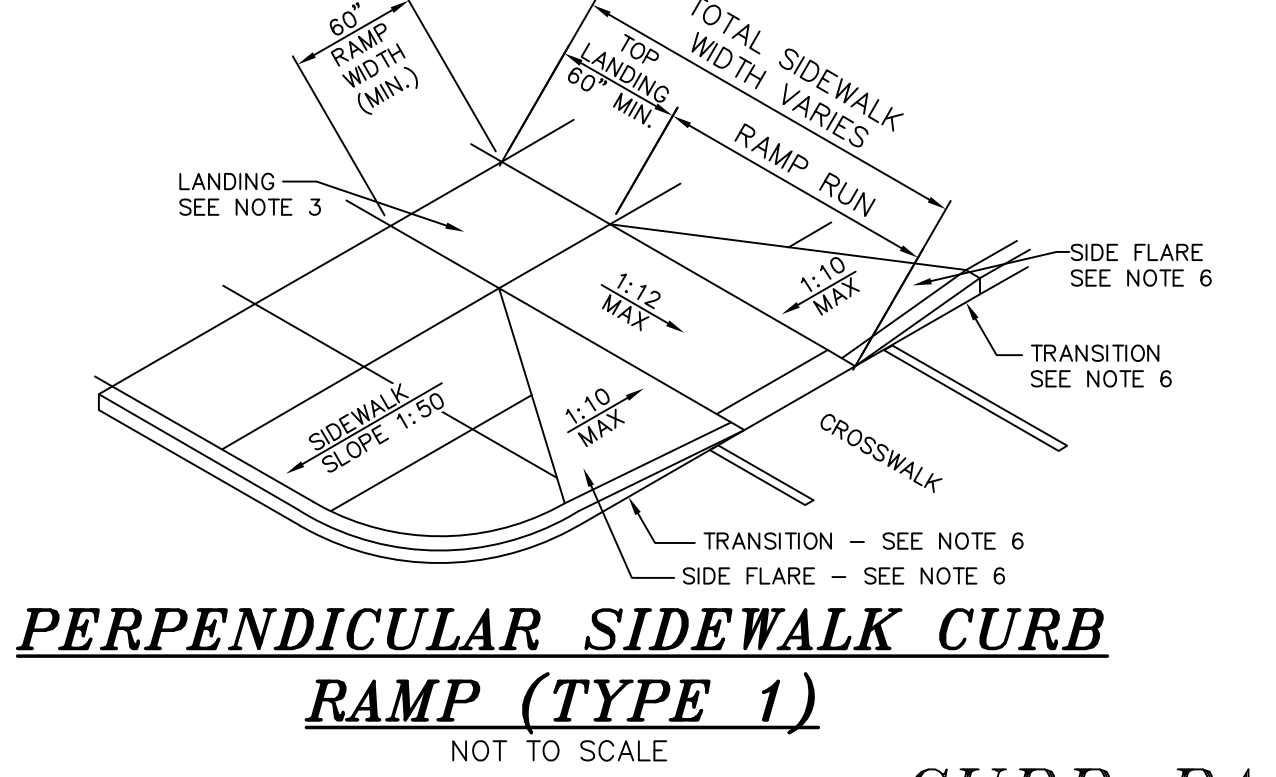
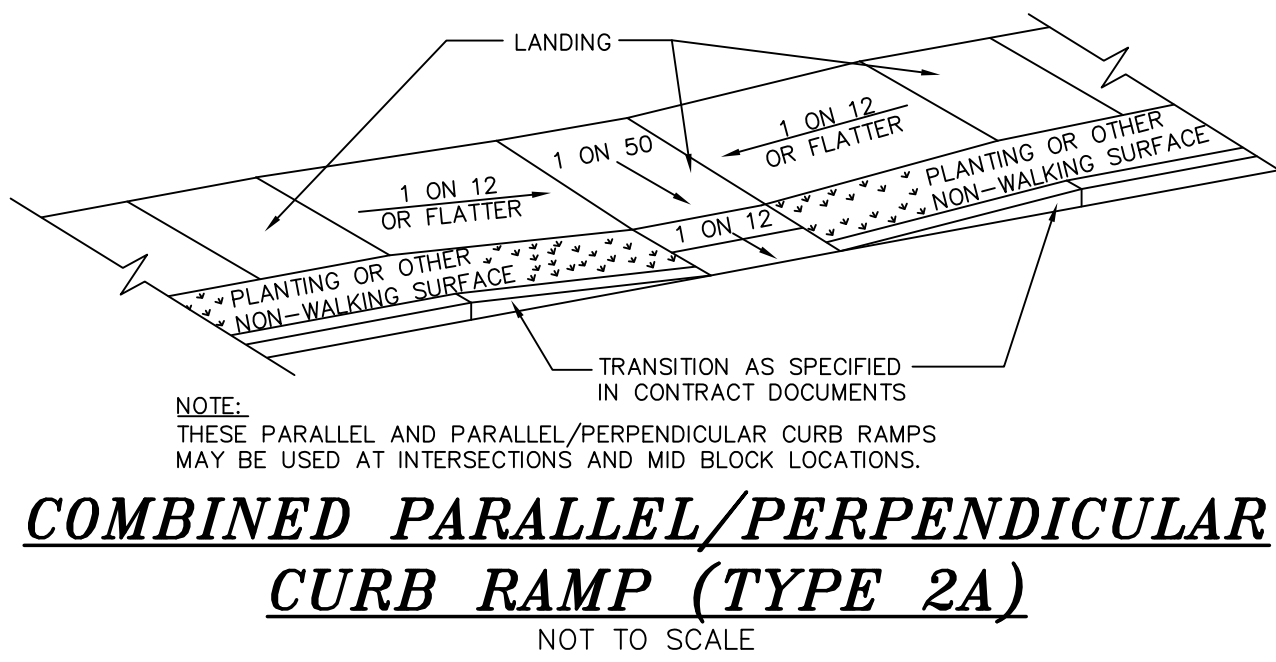
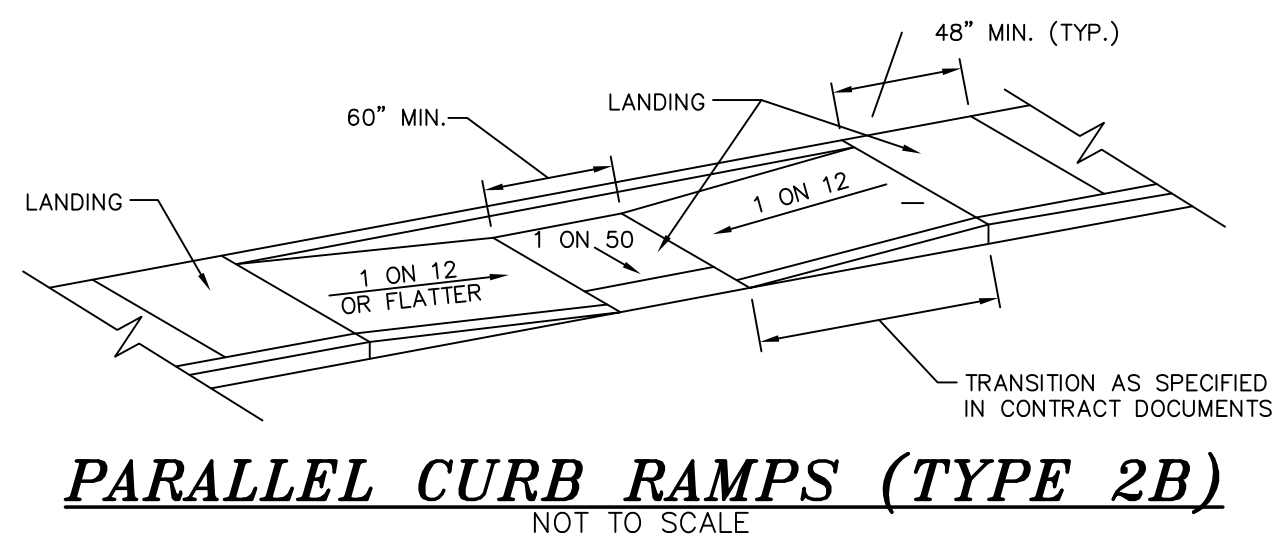
P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

DATE: OCTOBER 4, 2018
Revision: MARCH 27, 2019
JUNE 4, 2019

MAJOR CONSULTING LLC

TOWN OF CHESTER
ORANGE COUNTY, NEW YORK

Drawn By: SPS
Checked By: AS NOTED
Scale: 6" = 1' - 69.2
Tax Map No.: A - 18 - 0092 - 04



PERCOLATION TEST RESULTS AND SYSTEM DESIGN:

PERC TESTS A & B - APRIL 3, 2019 BY LANC AND TULLY ENGINEERING, P.C.

DEPTH (IN INCHES)	PERC. TEST RATE (IN MIN.)	*DESIGN RATE (IN MIN.)	REQUIRED SIZE OF SEWAGE DISPOSAL SYSTEM	SYSTEM TYPE
A	B	A	B	
24	24	3	3	11-15
DESIGN FLOW	DESIGN FLOW	DESIGN FLOW	DESIGN FLOW	DESIGN FLOW
360 GPD	360 GPD	360 GPD	360 GPD	360 GPD
REQUIRED AREA = 360 GPD / 0.80 GPD/SF = 450 SF	REQUIRED AREA = 360 GPD / 0.80 GPD/SF = 450 SF	REQUIRED AREA = 360 GPD / 0.80 GPD/SF = 450 SF	REQUIRED AREA = 360 GPD / 0.80 GPD/SF = 450 SF	REQUIRED AREA = 360 GPD / 0.80 GPD/SF = 450 SF
REQUIRED LENGTH = 450 SF / 6 SF/F = 75 LF	REQUIRED LENGTH = 450 SF / 6 SF/F = 75 LF	REQUIRED LENGTH = 450 SF / 6 SF/F = 75 LF	REQUIRED LENGTH = 450 SF / 6 SF/F = 75 LF	REQUIRED LENGTH = 450 SF / 6 SF/F = 75 LF
2 LAT @ 40 LF = 80 LF	2 LAT @ 40 LF = 80 LF	2 LAT @ 40 LF = 80 LF	2 LAT @ 40 LF = 80 LF	2 LAT @ 40 LF = 80 LF
ELIEN UNITS	ELIEN UNITS	ELIEN UNITS	ELIEN UNITS	ELIEN UNITS

DEEP TEST RESULTS

DEEP TESTS A & B COMPLETED ON APRIL 15, 2019 BY LANC & TULLY, P.C.

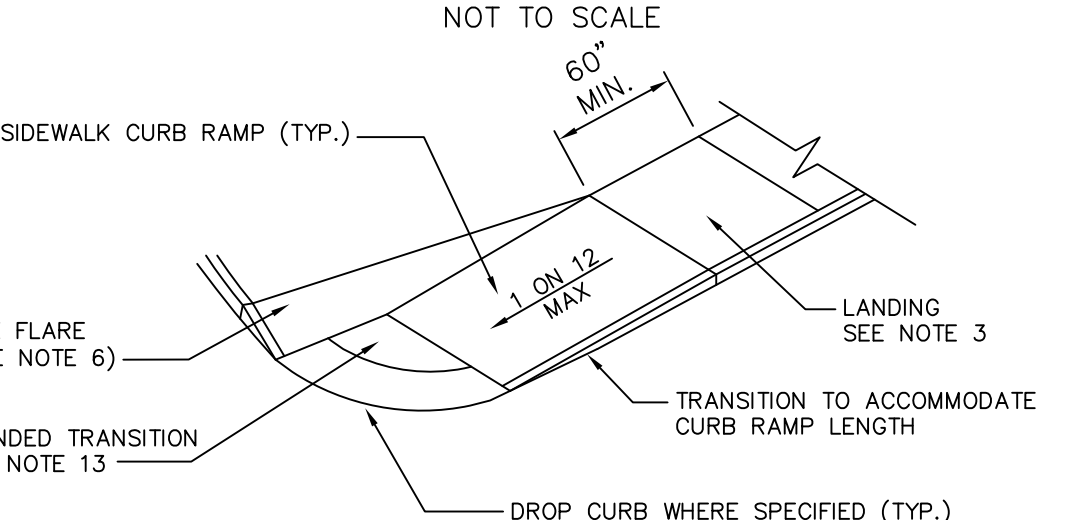
GROUND LEVEL	A	B
TOPSOIL 0'-6"	TOPSOIL 0'-6"	TOPSOIL 0'-6"
1'	1'	1'
2'	2'	2'
3'	3'-0"	3'-2"
4'	4'	4'
5'	5'-0"	5'-3"
6'	6'	6'
NO BEDROCK NO GROUNDWATER NO MOTTLING	NO BEDROCK NO GROUNDWATER NO MOTTLING	NO BEDROCK NO GROUNDWATER NO MOTTLING



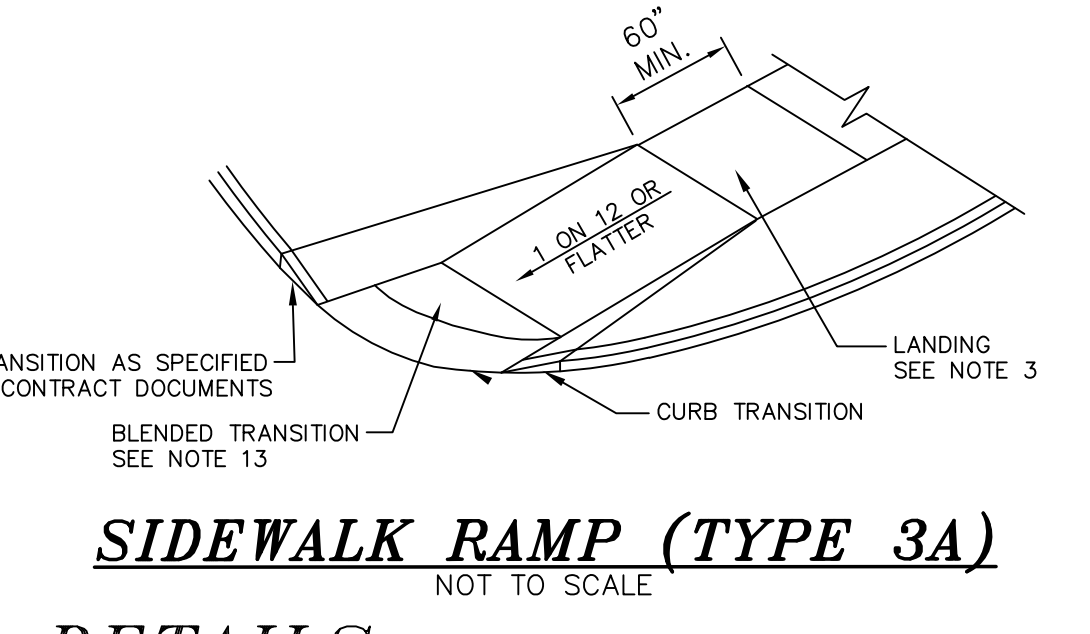
COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

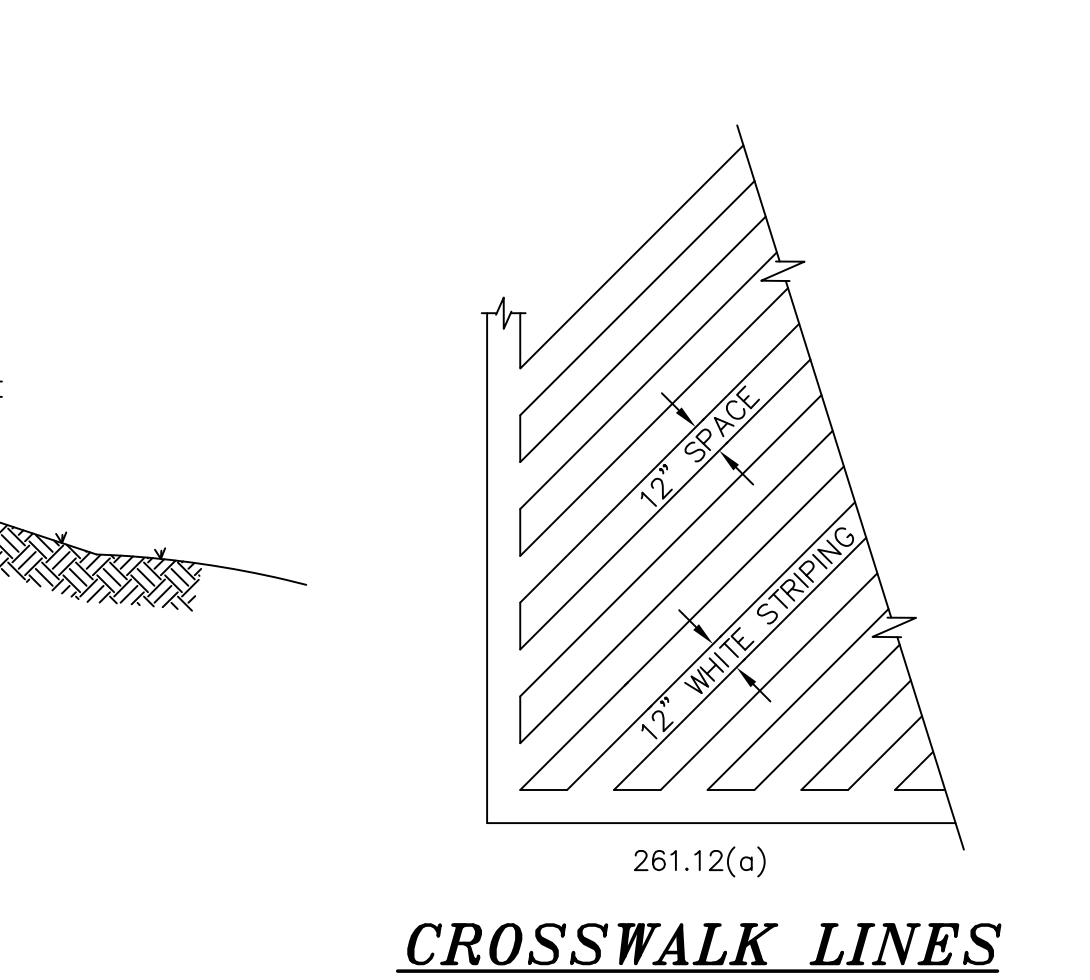
DIAGONAL SIDEWALK CURB RAMP (TYPE 4)



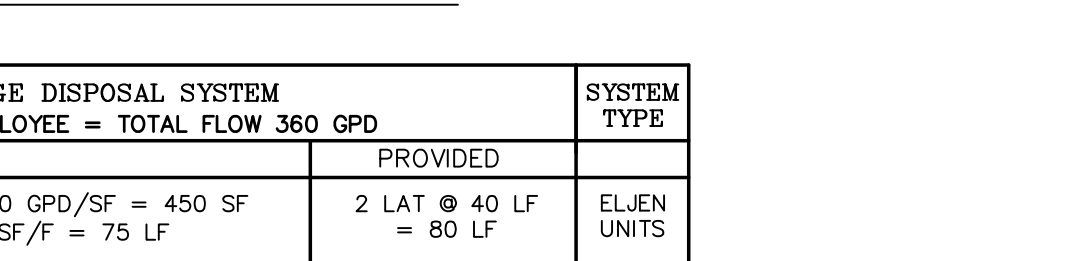
SIDEWALK CURB RAMP (TYPE 3B)



SIDEWALK RAMP (TYPE 3A)



CROSSWALK LINES



HATCH LINES



COUNTER SLOPE CONDITIONS

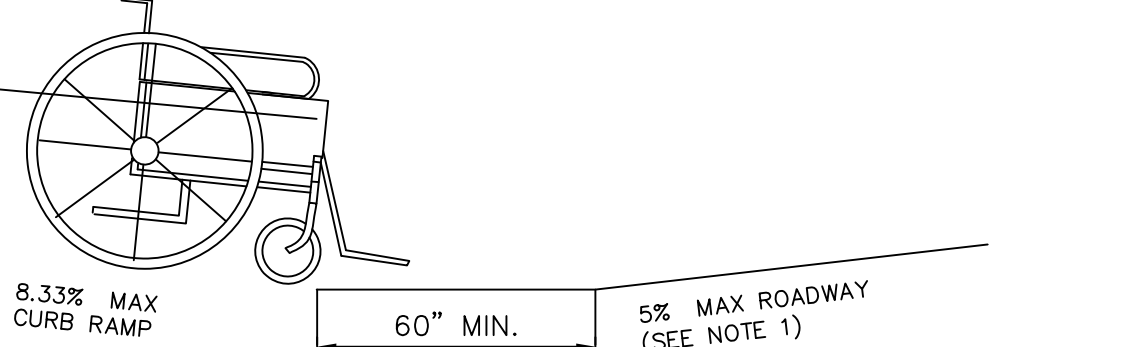


STANDARD SIDEWALK DETAIL



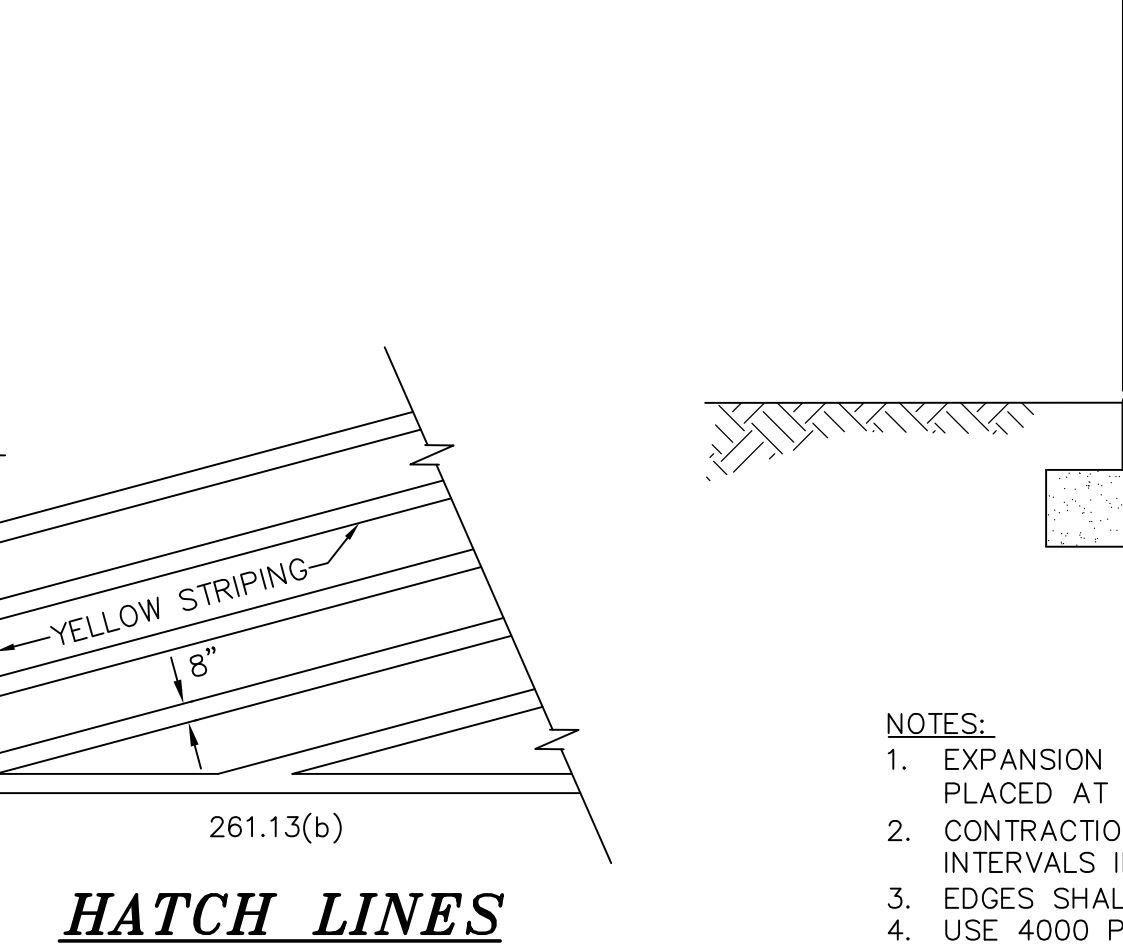
GENERAL NOTES:

- THE PUBLIC SIDEWALK CURB RAMP STANDARDS DEPICTED HERE MAY NOT BE APPROPRIATE FOR ALL LOCATIONS. FIELD CONDITIONS AT INDIVIDUAL LOCATIONS MAY REQUIRE SPECIFIC DESIGNS. DESIGNS MUST BE CONSISTENT WITH THE PROVISIONS OF THIS SHEET TO THE MAXIMUM EXTENT FEASIBLE ON ALTERATION PROJECTS AND WHEN STRUCTURALLY PRACTICABLE ON NEW CONSTRUCTION PROJECTS AS REQUIRED BY THE AMERICAN'S WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES.
- THERE SHALL BE A LANDING AT THE TOP OF EACH CURB RAMP. THERE SHALL BE A LANDING AT THE TOP AND AT THE BOTTOM OF EACH PARALLEL AND PARALLEL/PERPENDICULAR RAMP.
- LANDINGS SHALL HAVE A MINIMUM CLEAR DIMENSION OF A 60" BY 60" SQUARE. THE MAXIMUM CROSS SLOPE AT LANDINGS IS 2 PERCENT IN ANY DIRECTION. LANDINGS MAY OVERLAP WITH ADJACENT LANDINGS OR A SINGLE LANDING LANDINGS MAY OVERLAP WITH THE CLEAR GROUND SPACE REQUIRED AT PEDESTRIAN SIGNAL PUSH BUTTONS.
- CROSS SLOPES: THE MAXIMUM CROSS SLOPE OF CURB RAMP SHALL BE 2 PERCENT. CURB RAMP SURFACES SHALL GENERALLY LIE IN CONTINUOUS PLANES WITH A MINIMUM OF SURFACE WARP.
- THE RUNNING GRADE OF CURB RAMP SHOULD BE AS FLAT AS PRACTICABLE. THE MAXIMUM RUNNING GRADE OF ANY PORTION OF ANY CURB RAMP SHALL BE 1:12 (8.3%). CURB RAMP ARE NOT REQUIRED TO BE LONGER THAN 15'.
- CURB RAMP LOCATED WHERE PEDESTRIANS MAY WALK ACROSS THE CURB RAMP SHALL HAVE FLARED SIDES. THE LENGTH OF THE FLARES SHALL BE AT LEAST TEN (10) TIMES THE CURB HEIGHT, MEASURED ALONG THE CURB LINE. WHEN NECESSARY OR IMPRACTICABLE TO PROVIDE A LANDING THAT IS AT LEAST 60" WIDE (MEASURED FROM THE TOP OF THE RAMP TO THE BACK OF THE SIDEWALK), THE LENGTH OF THE FLARES SHALL BE TWELVE (12) TIMES THE CURB HEIGHT MEASURED ALONG THE CURB LINE.
- THE SURFACE OF ALL CURB RAMP SHALL BE STABLE, FIRM AND SLIP RESISTANT. A COARSE BROOM FINISH RUNNING PERPENDICULAR TO THE SLOPE IS RECOMMENDED ON CONCRETE RAMP SURFACES, EXCLUSIVE OF THE DETECTABLE WARNING FIELDS.
- RAMP TRANSITIONS BETWEEN WALKS, CUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES (1/4" MAX.).
- COORDINATE ALL TRAFFIC CONTROL DEVICES, UTILITY LOCATIONS, SIGNS, STREET FURNITURE AND DRAINAGE TO ENSURE A CONTINUOUS PEDESTRIAN ACCESS ROUTE AT ALL CURB RAMP LOCATIONS. GUIDANCE FOR CROSSWALK MARKINGS AND TRAFFIC CONTROL DEVICES IS PROVIDED IN THE MUTCD. DRAINAGE GRATES AND UTILITY ACCESS COVERS ARE NOT ALLOWED IN RAMP WALKING SURFACES OR LANDINGS.
- WHERE FEASIBLE, E.G. WHERE R.O.W. WIDTH PROVIDES SUFFICIENT SPACE TO INSTALL SIDEWALKS SET BACK FROM THE CURBS, RAMP TYPES 2A AND 3A SHOULD BE INSTALLED AS THE SEPARATION PROVIDED BETWEEN SIDEWALK AND CURB OR TRAVELWAY MAKE FOR AS GREATER PEDESTRIAN SAFETY AND COMFORT.
- AT MARKED CROSSINGS, THE FULL WIDTH OF THE RAMP SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS. THE SIDES OF THE RAMP (THE FLARES) NEED NOT BE WITHIN THE WIDTH OF THE MARKINGS.
- DETAILS ILLUSTRATE THAT DETECTABLE WARNINGS ARE REQUIRED. SEE THE CURRENT DETECTABLE WARNING STANDARD SHEETS 608-01 FOR SPECIFIC DETECTABLE WARNING REQUIREMENTS. DETAILS DO NOT SHOW DROPPED CURBS AT BOTTOMS OF CURB RAMP. DROPPED CURBS MAY BE SPECIFIED.
- SLOPES ON BLENDED TRANSITIONS SHALL NOT BE STEEPER THAN 2% (1 ON 50) IN ANY DIRECTION.



NOTE:
TO AVOID WHEEL CHAIR FOOTREST STRIKING PAVEMENT, PROVIDE 24" LEVEL STRIP (1:50 MAX. IN DIRECTION OF PEDESTRIAN TRAVEL) IF ALGEBRAIC DIFFERENCE BETWEEN CURB RAMP SLOPE & ROADWAY CROSS SLOPE EXCEEDS 11%.

CONCRETE CURB WITHIN PARKING AREAS



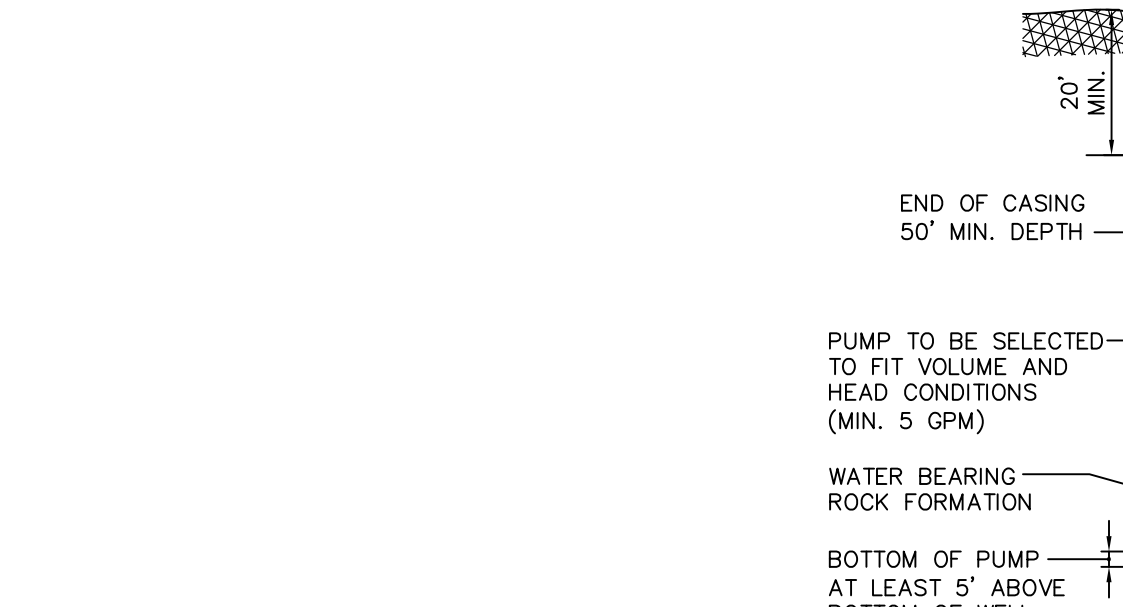
PAVEMENT SECTION DETAIL



PARKING SPACE STRIPING DETAIL



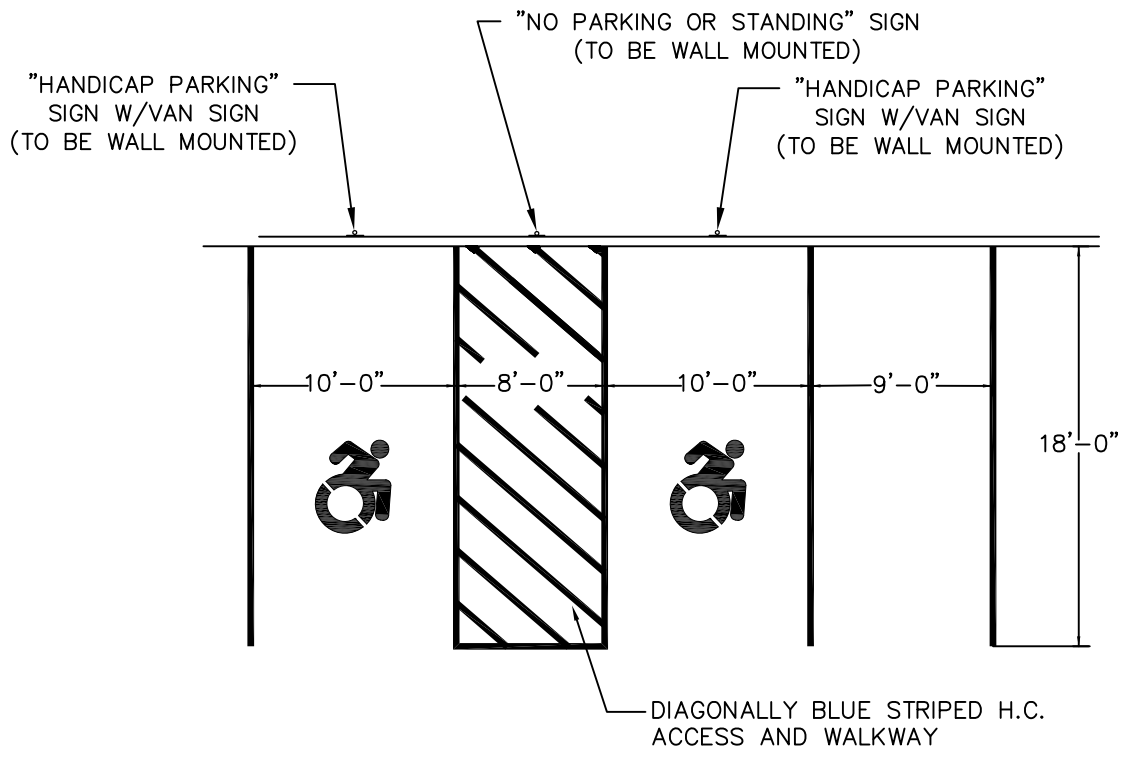
HANDICAP SIGN



PICK UP ENTRANCE



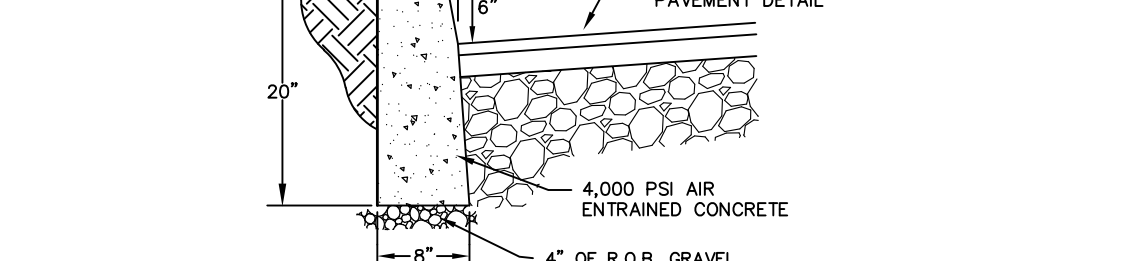
ENCLOSED SIDES



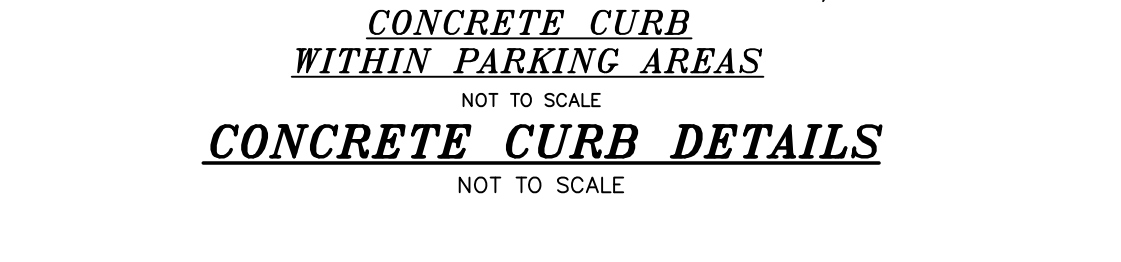
PAVEMENT SECTION DETAIL



PARKING SPACE STRIPING DETAIL



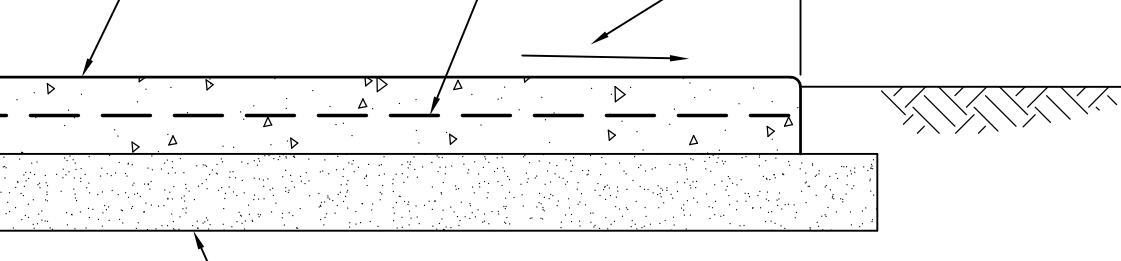
HANDICAP SIGN



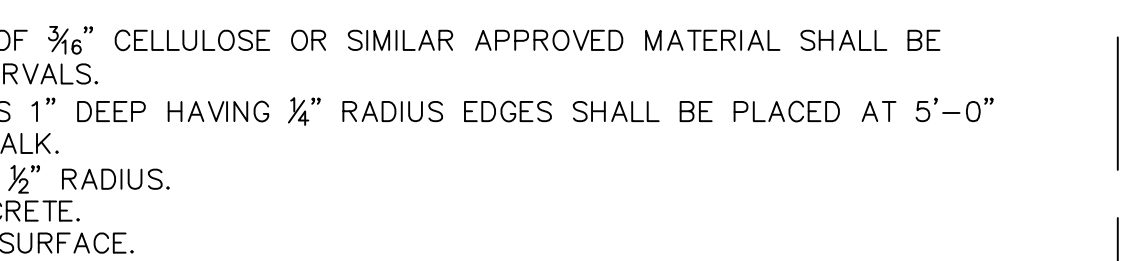
PICK UP ENTRANCE



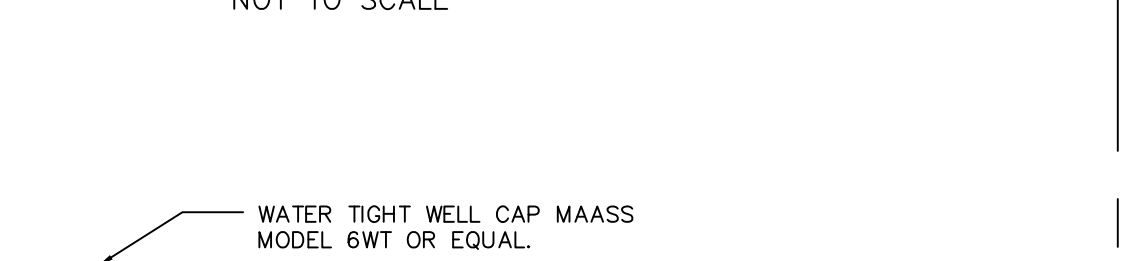
ENCLOSED SIDES



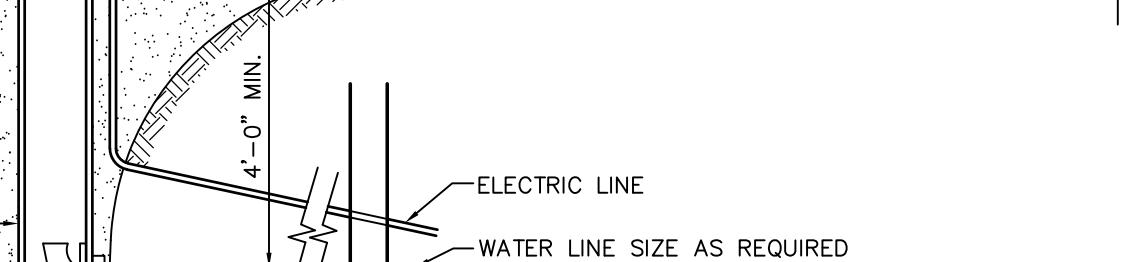
CHAIN LINK REFUSE STORAGE ENCLOSURE DETAIL



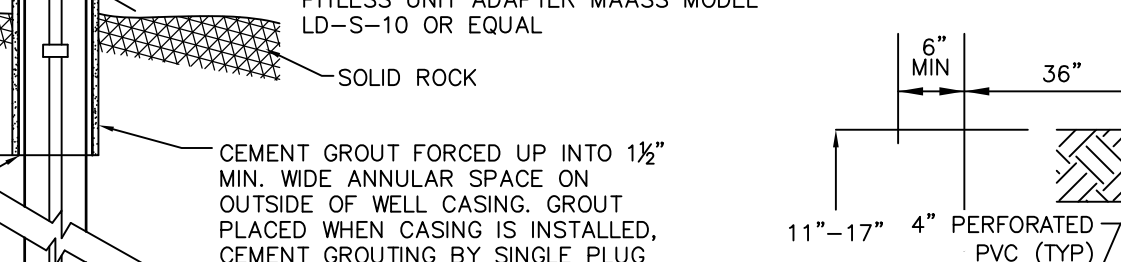
DISTRIBUTION BOX



CLEANOUT DETAIL



2,000 GAL. CONCRETE SEPTIC TANK



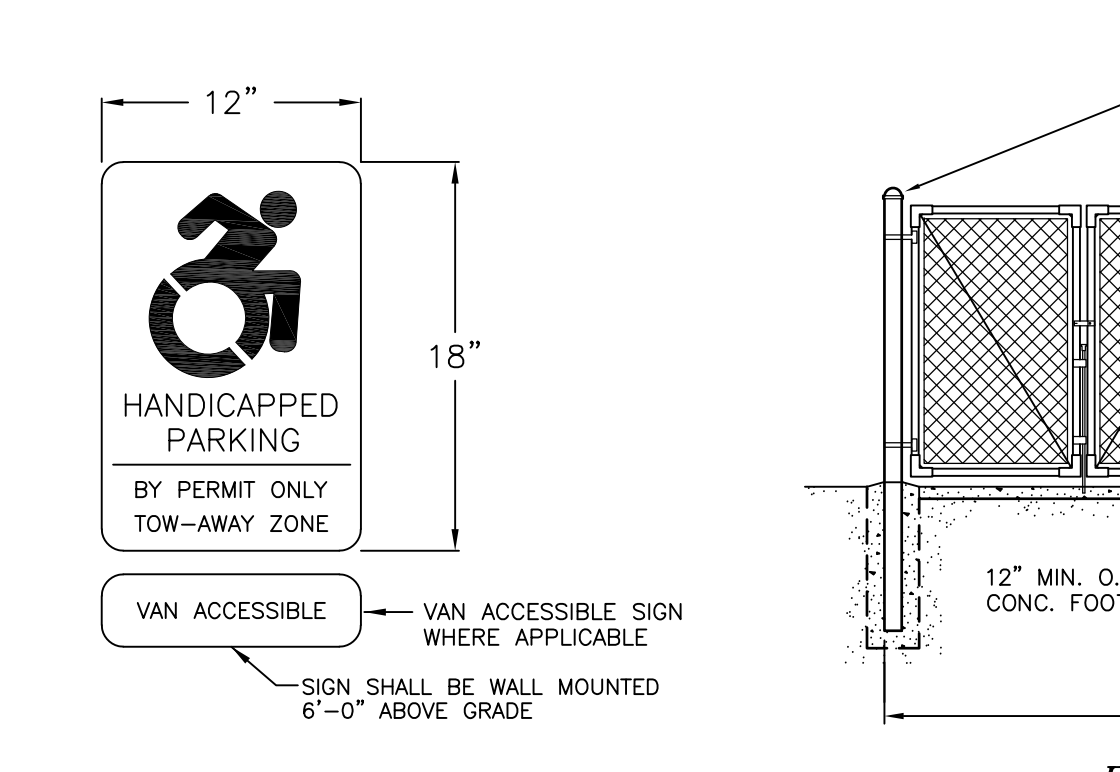
TYPICAL SEPTIC SYSTEM LAYOUT



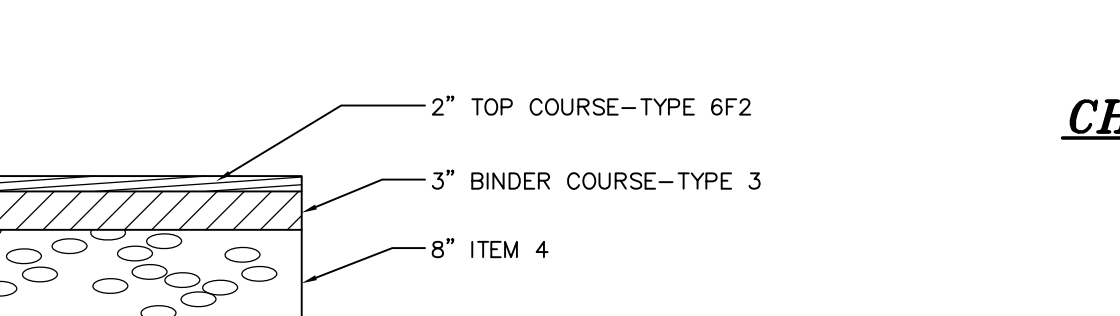
TYPICAL WELL DETAIL



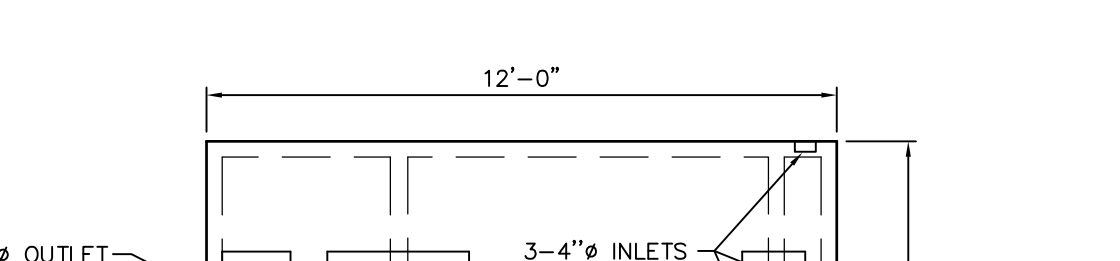
TYPICAL ELJEN TRENCH CROSS SECTION



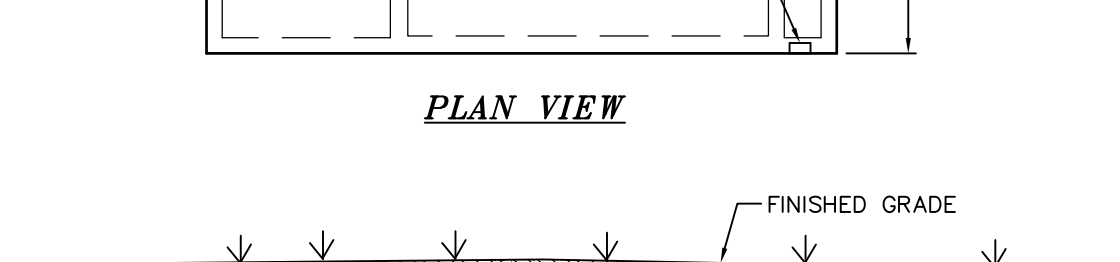
PAVEMENT SECTION DETAIL



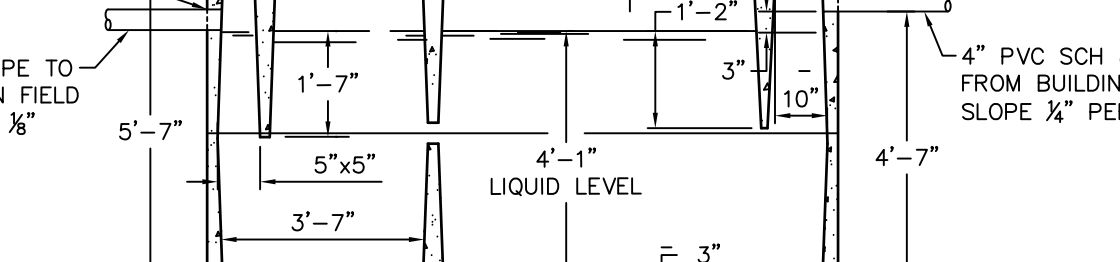
PARKING SPACE STRIPING DETAIL



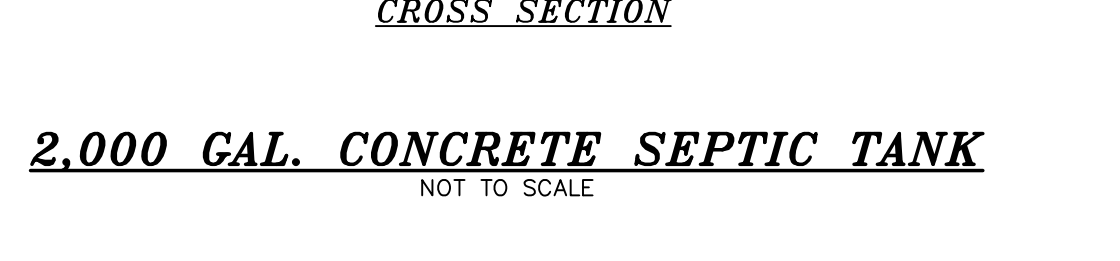
HANDICAP SIGN



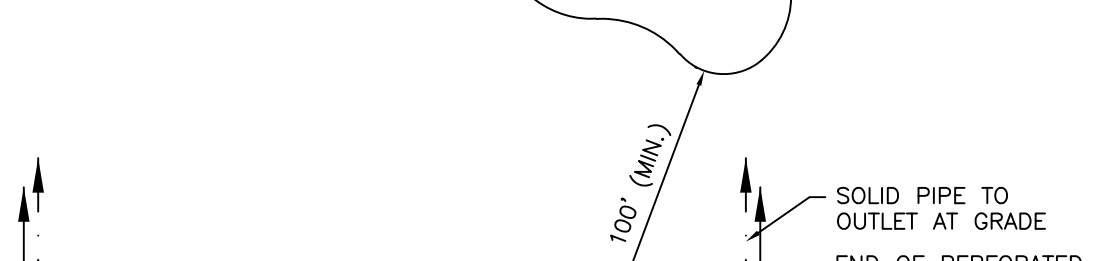
PICK UP ENTRANCE



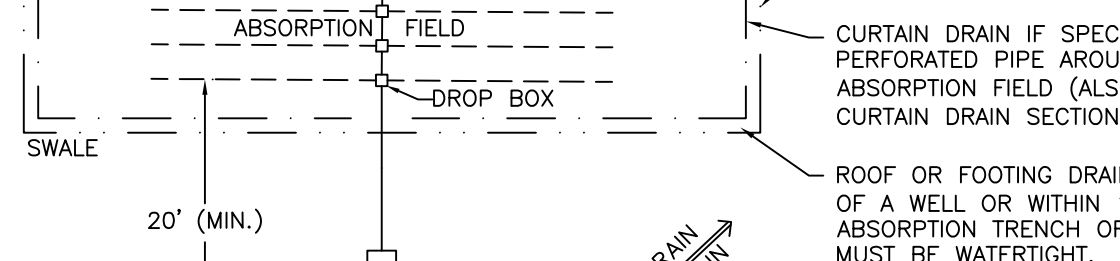
ENCLOSED SIDES



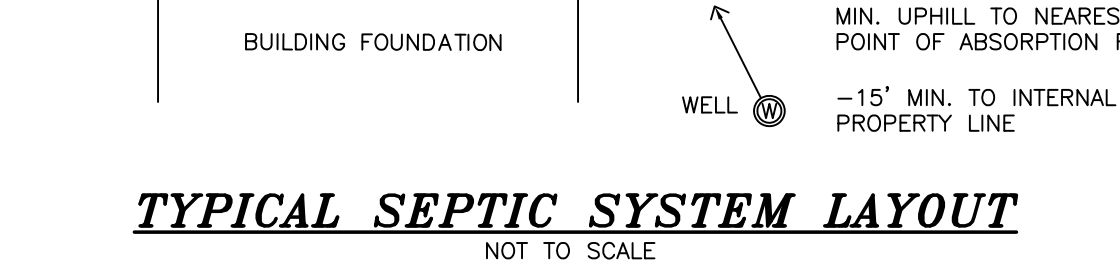
CHAIN LINK REFUSE STORAGE ENCLOSURE DETAIL



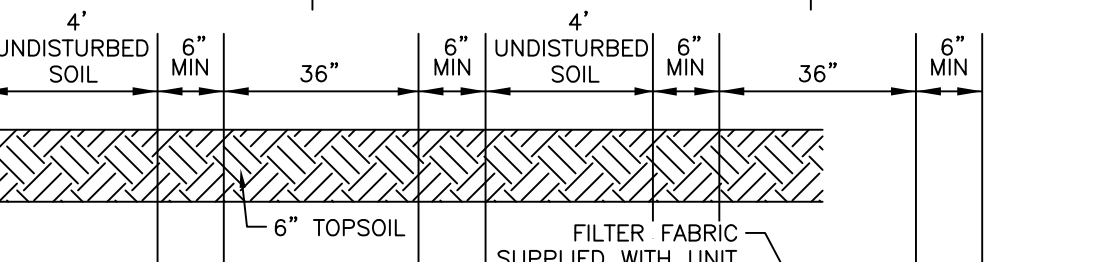
DISTRIBUTION BOX



CLEANOUT DETAIL



2,000 GAL. CONCRETE SEPTIC TANK



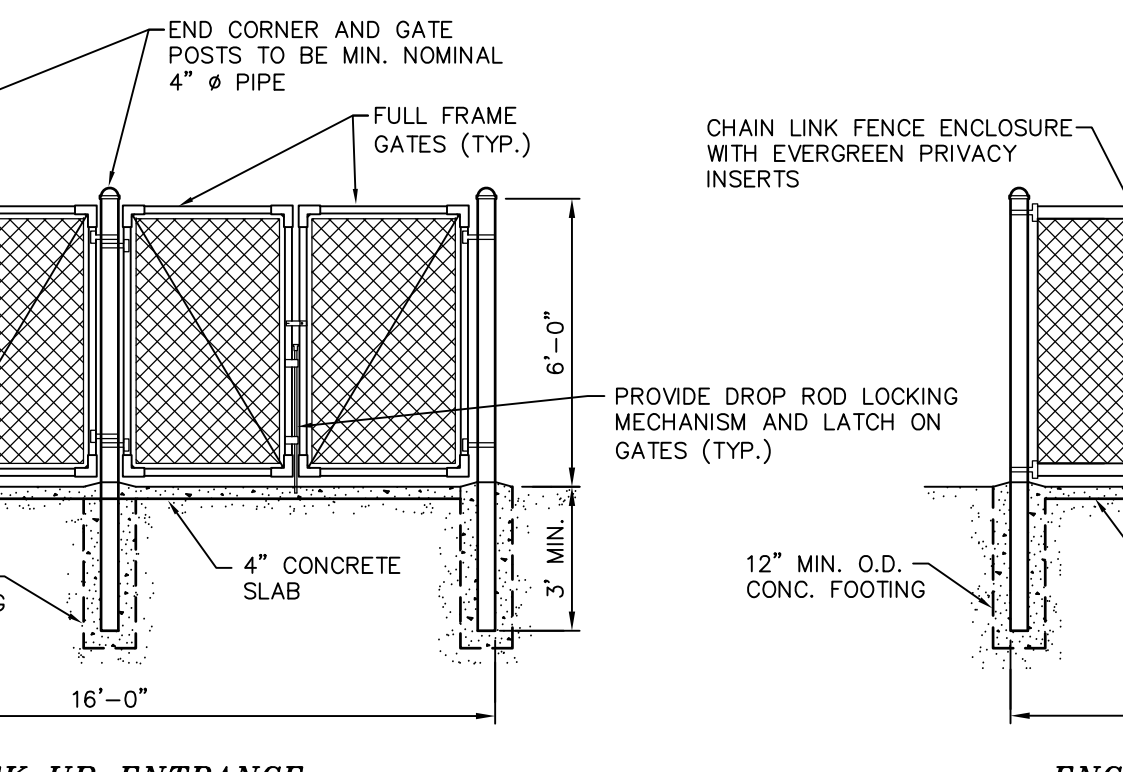
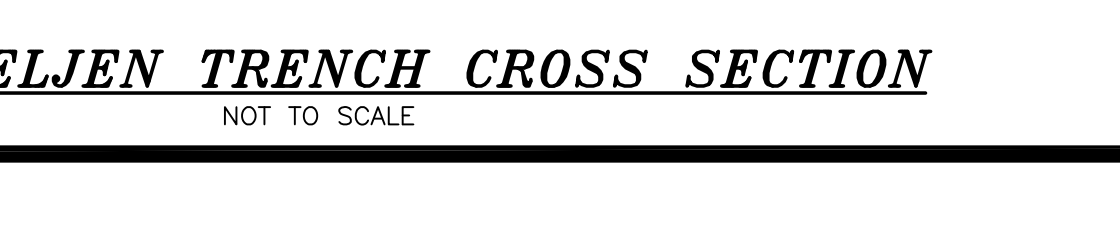
TYPICAL SEPTIC SYSTEM LAYOUT



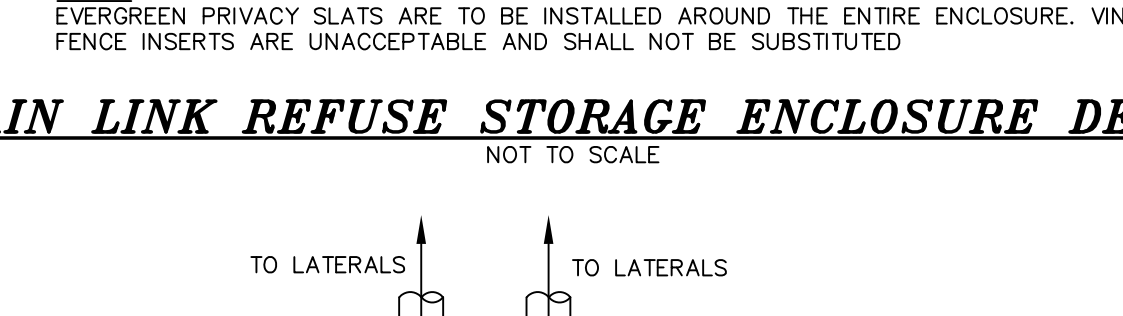
TYPICAL WELL DETAIL



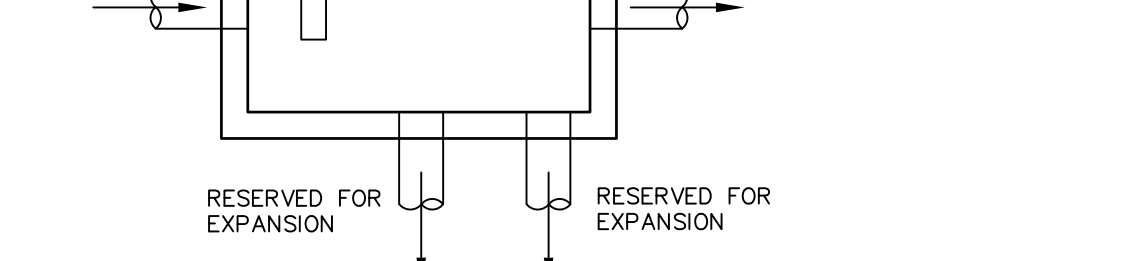
TYPICAL ELJEN TRENCH CROSS SECTION



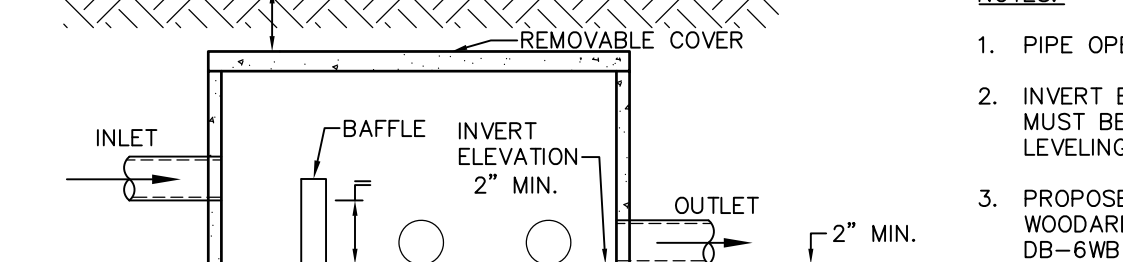
PAVEMENT SECTION DETAIL



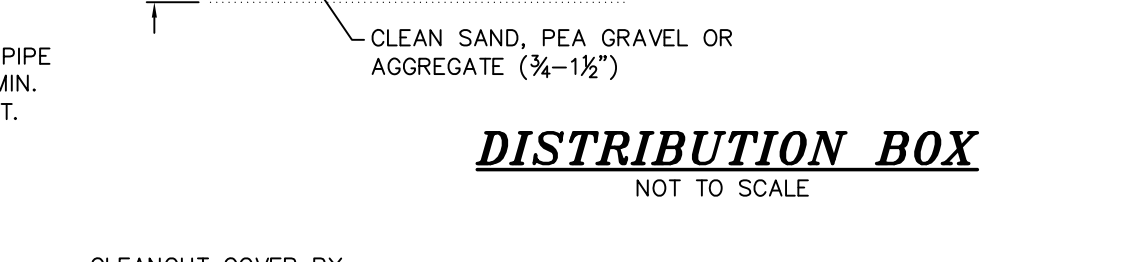
PARKING SPACE STRIPING DETAIL



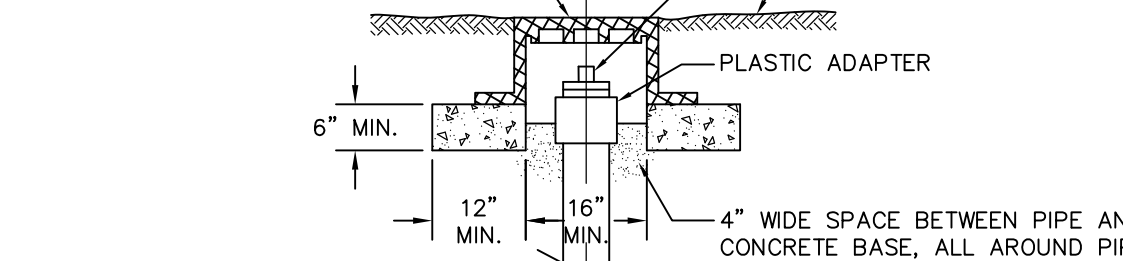
HANDICAP SIGN



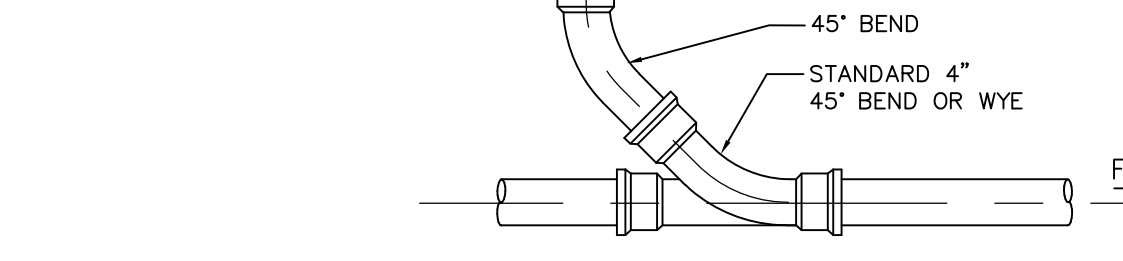
PICK UP ENTRANCE



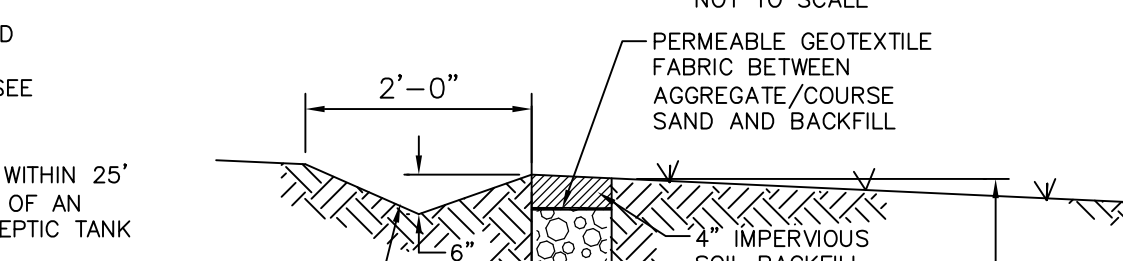
ENCLOSED SIDES



CHAIN LINK REFUSE STORAGE ENCLOSURE DETAIL



DISTRIBUTION BOX



CLEANOUT DETAIL

