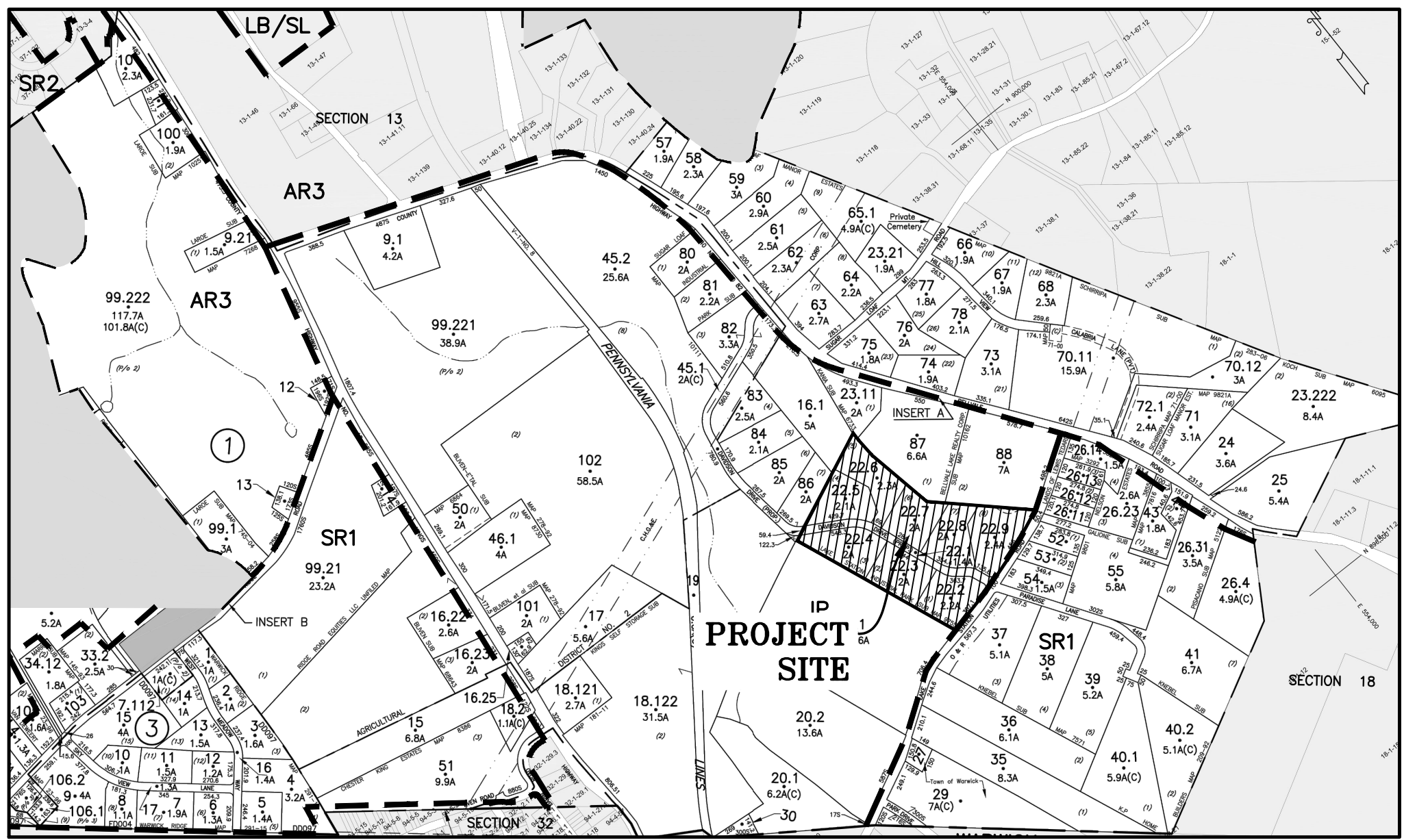


SITE PLAN & LOT LINE COMBINATION FOR  
DAVIDSON DRIVE HOLDINGS, LLC  
LAKE STATION ROAD  
TOWN OF CHESTER, ORANGE COUNTY, NY.



LOCATION MAP  
SCALE: 1"=400'  
SOURCE: TAX MAPS

TAX MAP NUMBER

SECTION: 17  
BLOCK: 1  
LOT: 22.1, 22.2, 22.3, 22.4,  
22.5, 22.6, 22.7, 22.8

DEED REFERENCE

LIBER: 14568  
PAGE: 351

TOTAL TRACT AREA

699,971± S.F.  
= 16.07± ACRES

OWNER & APPLICANT

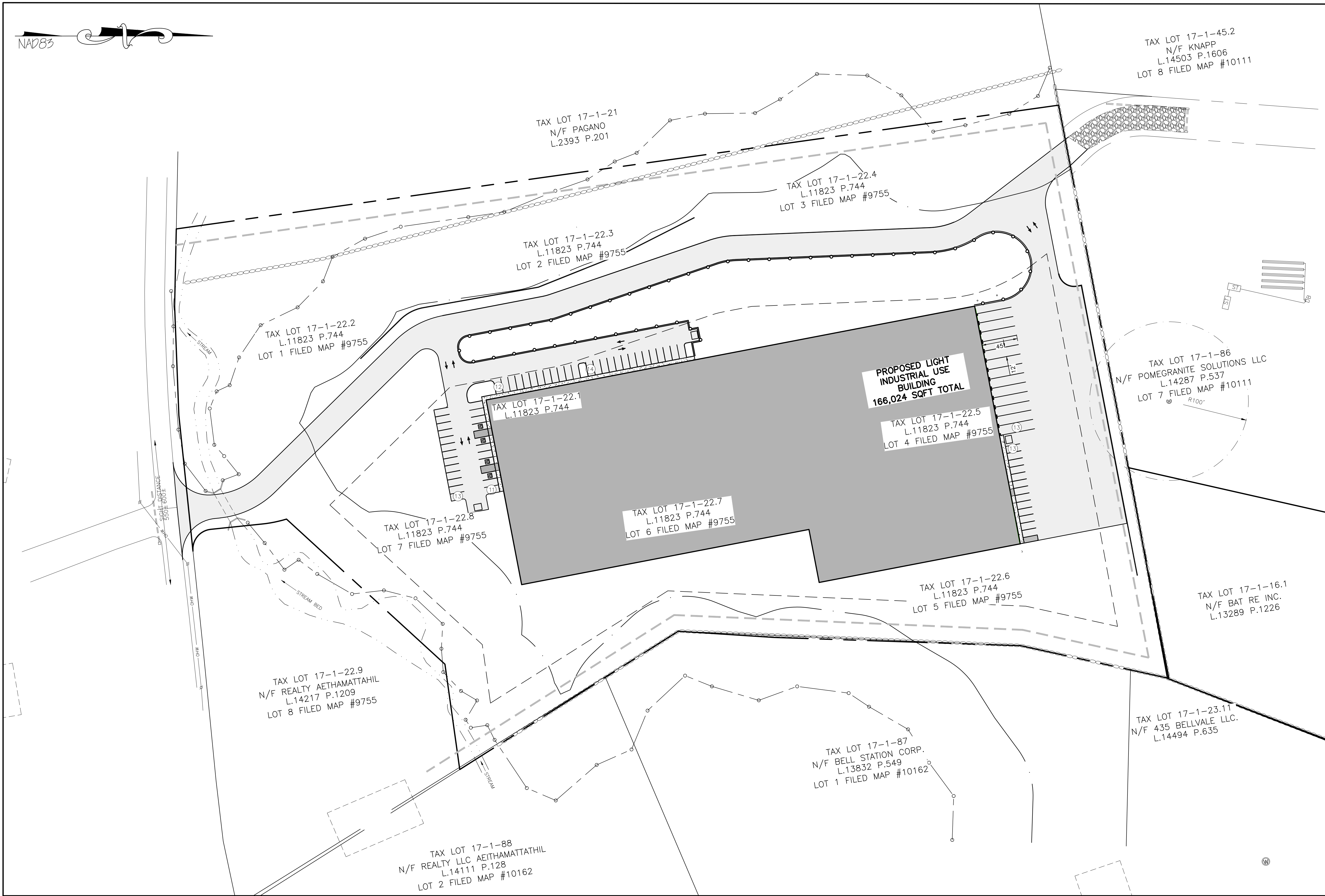
DAVIDSON DRIVE HOLDINGS, LLC  
99 FOREST ROAD UNIT 103  
MONROE, NY 10950

DRAWING LIST

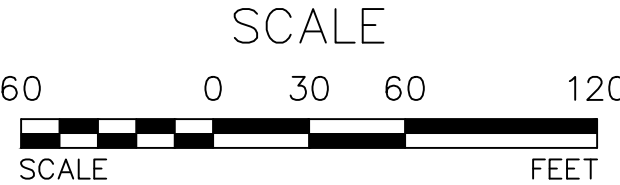
SHEET #	SHEET TITLE	ORIGINAL DATE/ LAST REVISED DATE
01 OF 17	TITLE SHEET	2-17-21/9-16-21
02 OF 17	EXISTING CONDITIONS MAP	2-17-21/9-16-21
03 OF 17	SLOPE ANALYSIS	2-17-21/9-16-21
04 OF 17	SITE PLAN	2-17-21/9-16-21
05 OF 17	CONCEPT GRADING & UTILITY PLAN	2-17-21/9-16-21
06 OF 17	DRIVEWAY PROFILES	2-17-21/9-16-21
07 OF 17	DRAINAGE PROFILES 1	2-17-21/9-16-21
08 OF 17	DRAINAGE PROFILES 2	2-17-21/9-16-21
09 OF 17	EROSION AND SEDIMENT CONTROL PLAN	2-17-21/9-16-21
10 OF 17	EROSION AND SEDIMENT CONTROL DETAILS	2-17-21/9-16-21
11 OF 17	LIGHTING PLAN	7-30-21/9-16-21
12 OF 17	LANDSCAPING PLAN	7-30-21/9-16-21
13 OF 17	LANDSCAPING DETAILS	7-30-21/9-16-21
14 OF 17	TRUCK TURNING DIAGRAM	2-17-21/9-16-21
15 OF 17	SDS DETAILS	2-17-21/9-16-21
16 OF 17	CONSTRUCTION DETAILS	2-17-21/9-16-21
17 OF 17	STORMWATER CONSTRUCTION DETAILS	2-17-21/9-16-21

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TITLE SHEET  
SCALE: 1"=60'



TOWN OF CHESTER PLANNING BOARD APPROVAL



OWNER'S CONSENT NOTE:

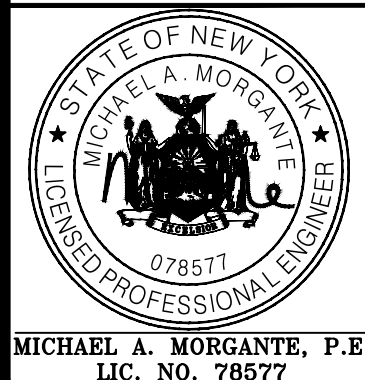
THE UNDERSIGNED OWNERS OF THE PROPERTY HEREON STATE THAT THEY ARE FAMILIAR WITH THIS PLAN, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON AND TO THE FILING OF THIS PLAN IN THE OFFICE OF THE CLERK OF THE COUNTY OF ORANGE, IF SO REQUIRED.

SIGNATURE OF OWNER(S) \_\_\_\_\_ DATE \_\_\_\_\_

REVISION	BY	DATE	DESCRIPTION
3.	MM	9/16/21	PREPARATION OF PRELIMINARY PLANS
2.	MM	5/19/21	REVISION PER PB MTG. & COMMENT LETTERS
1.	MM	3/23/21	ROAD LAYOUT REVISION PER PB MTG.

THIS SHEET IS NOT VALID WITHOUT ALL OF THE SHEETS THAT COMPRISE THE SET

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P.O. BOX 340 MONROE, N.Y.  
T: 845-782-8114 E: MAM@ARDENCONSULTING.NET



SITE PLAN & LOT LINE COMBINATION FOR  
DAVIDSON DRIVE HOLDINGS, LLC  
LAKE STATION ROAD  
TOWN OF CHESTER, COUNTY OF ORANGE, NY

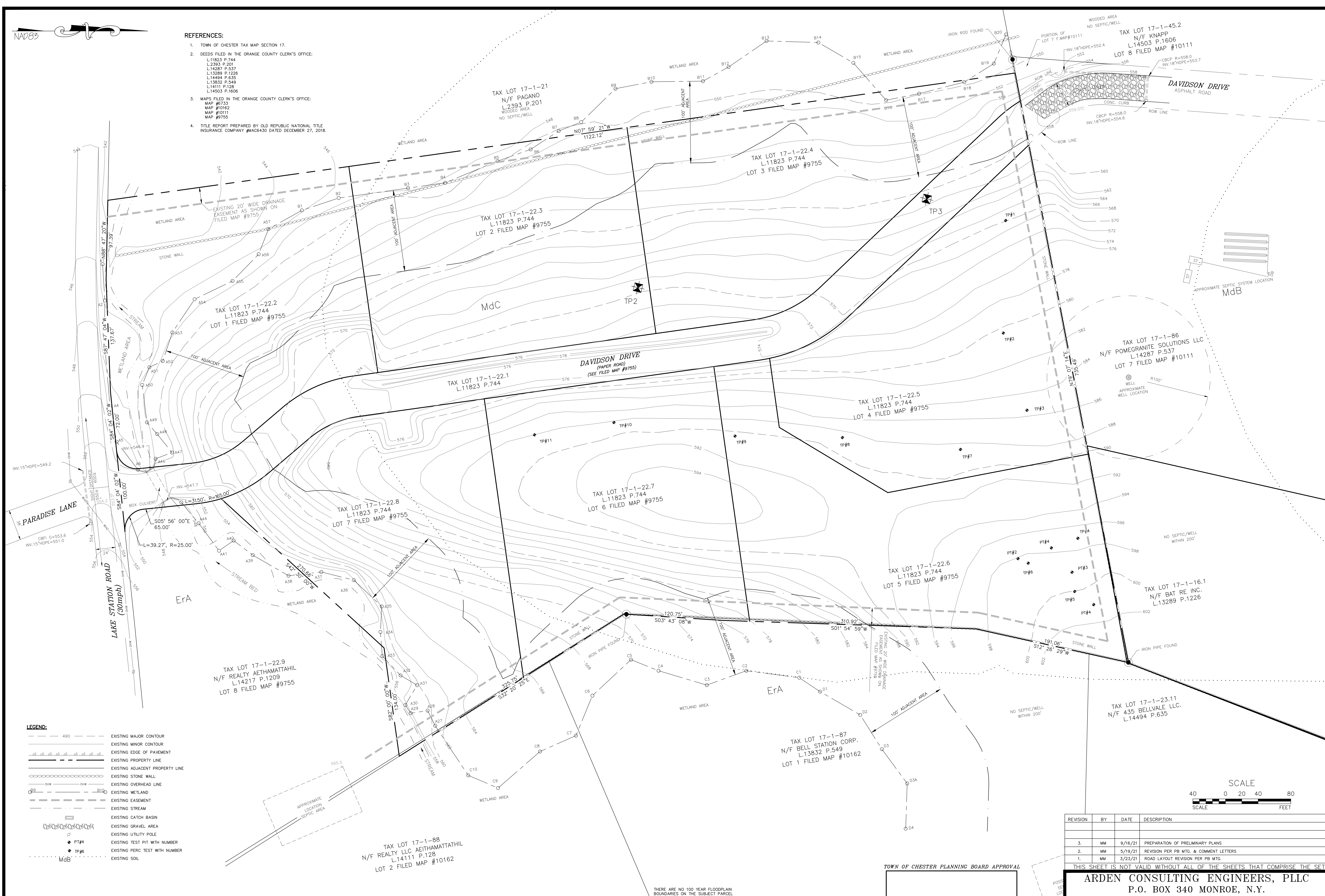
TITLE SHEET

JOB#:  
20-030  
SCALE:  
AS NOTED  
DATE:  
2-17-21  
DRAWN:  
MM  
CHECKED:  
MM  
SUBSET NO.  
01 OF 17



# REFERENCES:

1. TOWN OF CHESTER TAX MAP SECTION 17.
2. DEEDS FILED IN THE ORANGE COUNTY CLERK'S OFFICE:  
L.11823 P.744  
L.2393 P.201  
L.14287 P.537  
L.13288 P.1226  
L.14494 P.635  
L.13832 P.549  
L.14111 P.128  
L.14503 P.1606
3. MAPS FILED IN THE ORANGE COUNTY CLERK'S OFFICE:  
MAP #9733  
MAP #10162  
MAP #10111  
MAP #9755
4. TITLE REPORT PREPARED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY #MAC6430 DATED DECEMBER 27, 2018.



- LEGEND:**
- 490 --- EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - EXISTING EDGE OF PAVEMENT
  - EXISTING PROPERTY LINE
  - EXISTING ADJACENT PROPERTY LINE
  - EXISTING STONE WALL
  - EXISTING OVERHEAD LINE
  - EXISTING WETLAND
  - EXISTING EASEMENT
  - EXISTING STREAM
  - EXISTING CATCH BASIN
  - EXISTING GRAVEL AREA
  - EXISTING UTILITY POLE
  - EXISTING TEST PIT WITH NUMBER
  - EXISTING PERC TEST WITH NUMBER
  - EXISTING SOIL

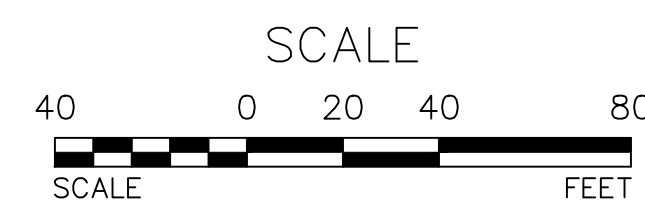
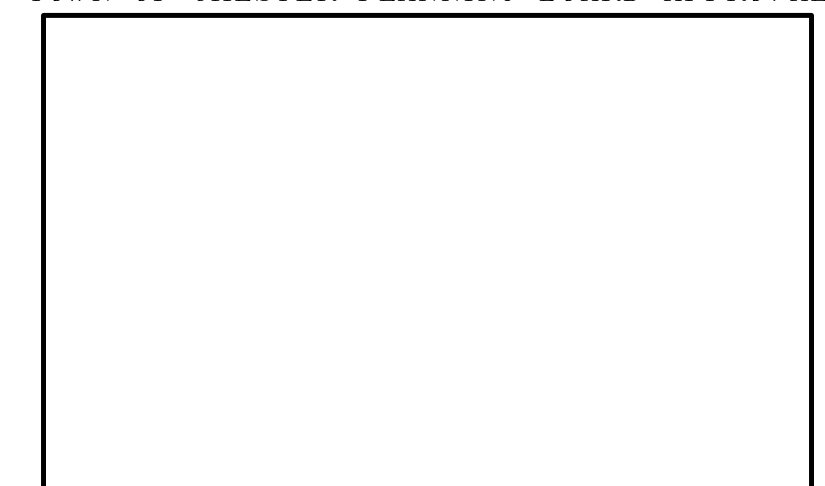
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## EXISTING CONDITIONS MAP

SCALE: 1"=40'

TOWN OF CHESTER PLANNING BOARD APPROVAL



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**SITE PLAN & LOT LINE COMBINATION FOR DAVIDSON DRIVE HOLDINGS, LLC**  
LAKE STATION ROAD  
TOWN OF CHESTER, COUNTY OF ORANGE, NY




**EXISTING CONDITIONS MAP**

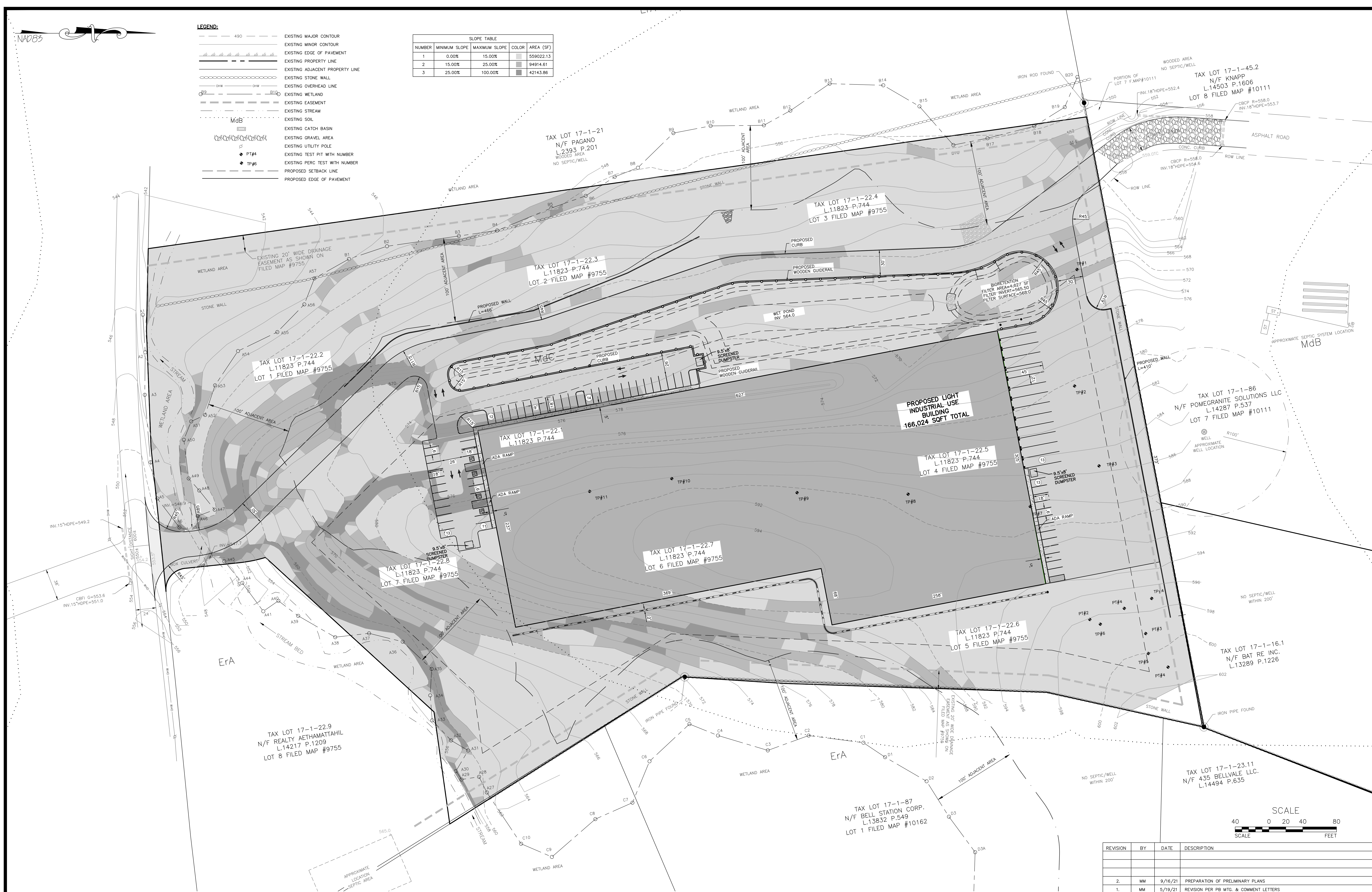
JOB#: 20-030  
SCALE: AS NOTED  
DATE: 2-17-21  
DRAWN: MM  
CHECKED: MM  
SHEET NO. 02 OF 17

MICHAEL A. MORGANTE, P.E.  
LIC. NO. 78577



	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING EDGE OF PAVEMENT
	EXISTING PROPERTY LINE
	EXISTING ADJACENT PROPERTY LINE
	EXISTING STONE WALL
	EXISTING OVERHEAD LINE
	EXISTING WETLAND
	EXISTING EASEMENT
	EXISTING STREAM
	EXISTING SOIL
	EXISTING CATCH BASIN
	EXISTING GRAVEL AREA
	EXISTING UTILITY POLE
	EXISTING TEST PIT WITH NUMBER
	EXISTING PERC TEST WITH NUMBER
	PROPOSED SETBACK LINE
	PROPOSED EDGE OF PAVEMENT

SLOPE TABLE				
NUMBER	MINIMUM SLOPE	MAXIMUM SLOPE	COLOR	AREA (SF)
1	0.00%	15.00%		559022.13
2	15.00%	25.00%		94914.61
3	25.00%	100.00%		42143.86



SLOPE ANALYSIS  
SCALE: 1"=40'

TOWN OF CHESTER PLANNING BOARD APPROVAL

SCALE

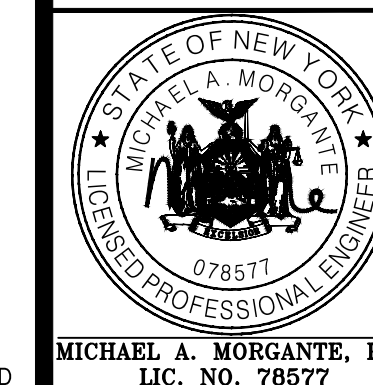
40 0 20 40 80

SCALE EFFECT

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SITE PLAN & LOT LINE COMBINATION FOR  
DAVIDSON DRIVE HOLDINGS, LLC  
LAKE STATION ROAD  
TOWN OF CHESTER, COUNTY OF ORANGE, N

## SLOPE ANALYSIS

JOB#:  
20-030  
SCALE:  
AS NOTED  
DATE:  
2-17-21  
DRAWN:  
MM  
CHECKED:  
MM  
SHEET NO.  
03 OF 17

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TABLE OF ZONING REQUIREMENTS:

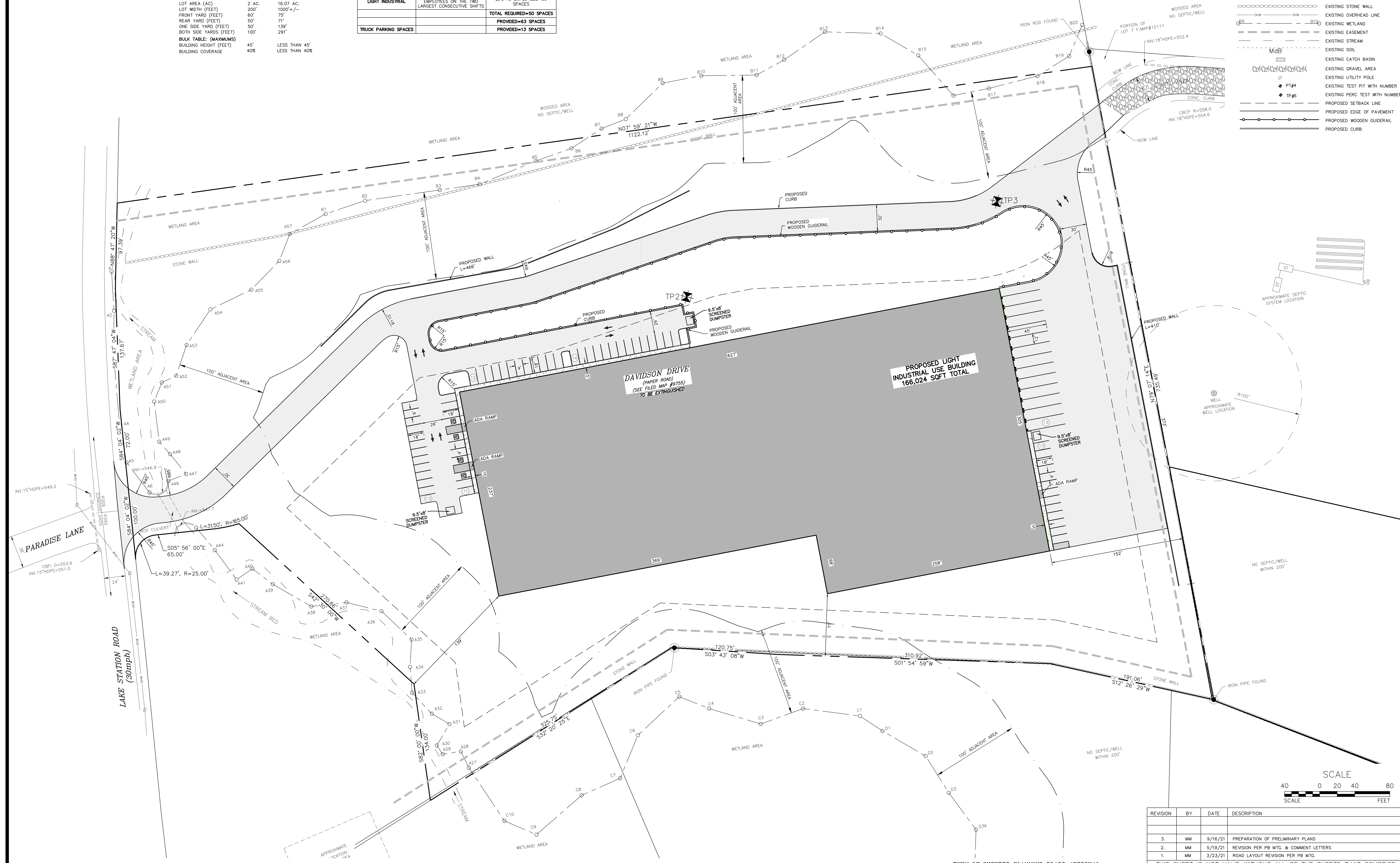
ZONE 1P (LIGHT ENTERPRISE)

LIGHT INDUSTRIAL USE BUILDING

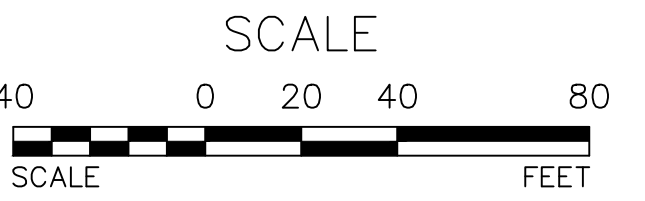
LOT DIMENSIONS		
BULK TABLE: (MINIMUMS)	REQUIRED	PROVIDED
LOT AREA (AC)	2 AC	16.07 AC
LOT WIDTH (FEET)	200'	1000'+/-
FRONT YARD (FEET)	60'	75'
REAR YARD (FEET)	50'	71'
ONE SIDE YARD (FEET)	50'	139'
BOTH SIDE YARDS (FEET)	100'	291'
BULK TABLE: (MAXIMUMS)		
BUILDING HEIGHT (FEET)	45'	LESS THAN 45'
BUILDING COVERAGE	40%	LESS THAN 40%

PARKING CALCULATION TABLE		
PROPOSED USE	PARKING REQUIREMENT	REQUIRED SPACES
OFFICE	ONE SPACE/200 SQ.FT.	4,000/200=20 SPACES
LIGHT INDUSTRIAL	2 SPACES PER 3 EMPLOYEES ON THE TWO LARGEST CONSECUTIVE SHIFTS	2/3*45 EMPLOYEES=30 SPACES
		<b>TOTAL REQUIRED=50 SPACES</b>
		<b>PROVIDED=63 SPACES</b>
TRUCK PARKING SPACES		<b>PROVIDED=13 SPACES</b>

- LEGEND:
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  - EXISTING MINOR CONTOUR
  - EXISTING EDGE OF PAVEMENT
  - EXISTING PROPERTY LINE
  - EXISTING ADJACENT PROPERTY LINE
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  - EXISTING SOIL
  - EXISTING CATCH BASIN
  - EXISTING GRAVEL AREA
  - EXISTING UTILITY POLE
  - EXISTING TEST PIT WITH NUMBER
  - EXISTING PERC TEST WITH NUMBER
  - PROPOSED SETBACK LINE
  - PROPOSED EDGE OF PAVEMENT
  - PROPOSED WOODEN GUIDERAIL
  - PROPOSED CURB



SITE PLAN  
SCALE: 1"=40'



REVISION	BY	DATE	DESCRIPTION
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SITE PLAN & LOT LINE COMBINATION FOR  
DAVIDSON DRIVE HOLDINGS, LLC  
LAKE STATION ROAD  
TOWN OF CHESTER, COUNTY OF ORANGE, NY

SITE PLAN

JOB#:  
20-030  
SCALE:  
AS NOTED  
DATE:  
12-17-21  
DRAWN:  
MM  
CHECKED:  
MM  
SHEET NO.  
04 OF 17

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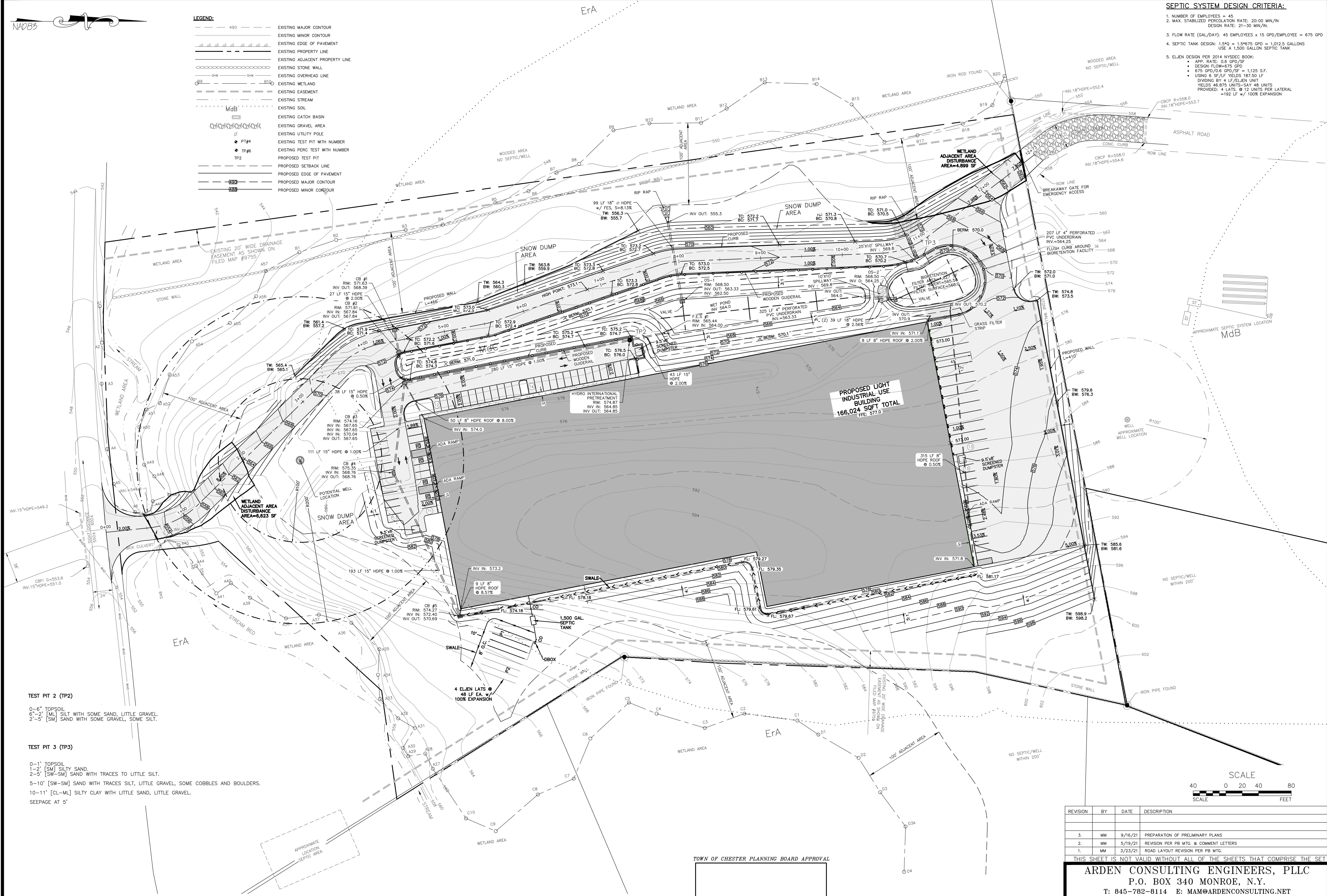
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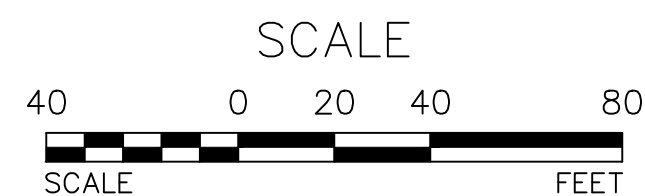
- 490 --- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING EDGE OF PAVEMENT
- EXISTING PROPERTY LINE
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- EXISTING EASEMENT
- EXISTING STREAM
- EXISTING SOIL
- EXISTING CATCH BASIN
- EXISTING GRAVEL AREA
- EXISTING UTILITY POLE
- EXISTING TEST PIT WITH NUMBER
- EXISTING PERC TEST WITH NUMBER
- PROPOSED TEST PIT
- PROPOSED SETBACK LINE
- PROPOSED EDGE OF PAVEMENT
- 490 --- PROPOSED MAJOR CONTOUR
- 488 --- PROPOSED MINOR CONTOUR

SEPTIC SYSTEM DESIGN CRITERIA:

1. NUMBER OF EMPLOYEES = 45
2. MAX. STABILIZED PERCOLATION RATE: 20.00 MIN/IN  
DESIGN RATE: 21-30 MIN/IN
3. FLOW RATE (GAL/DAY): 45 EMPLOYEES x 15 GPD/EMPLOYEE = 675 GPD
4. SEPTIC TANK DESIGN: 1.5"Q = 1.5x675 GPD = 1,012.5 GALLONS  
USE A 1,500 GALLON SEPTIC TANK
5. ELVEN DESIGN PER 2014 NYSDEC BOOK:
  - APP. RATE: 0.6 GPD/SF
  - DESIGN FLOW=675 GPD
  - 675 GPD/0.6 GPD/SF = 1,125 S.F.
  - USING 6 SF/LF YIELDS 187.50 LF
  - DIVIDING BY 4 LF/ELVEN UNIT
  - YIELDS 46.875 UNITS-SAY 48 UNITS
  - PROVIDED: 4 LATS. @ 12 UNITS PER LATERAL
  - =192 LF @ 100% EXPANSION



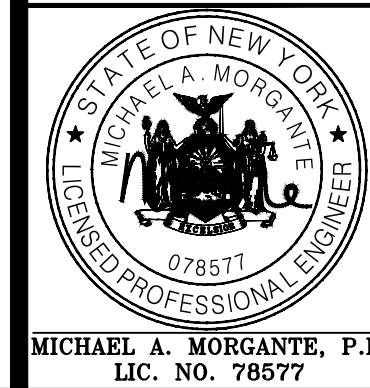
TOWN OF CHESTER PLANNING BOARD APPROVAL



REVISION	BY	DATE	DESCRIPTION
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**SITE PLAN & LOT LINE COMBINATION FOR**  
**DAVIDSON DRIVE HOLDINGS, LLC**  
LAKE STATION ROAD  
TOWN OF CHESTER, COUNTY OF ORANGE, NY

**GRADING & UTILITY**  
**PLAN**

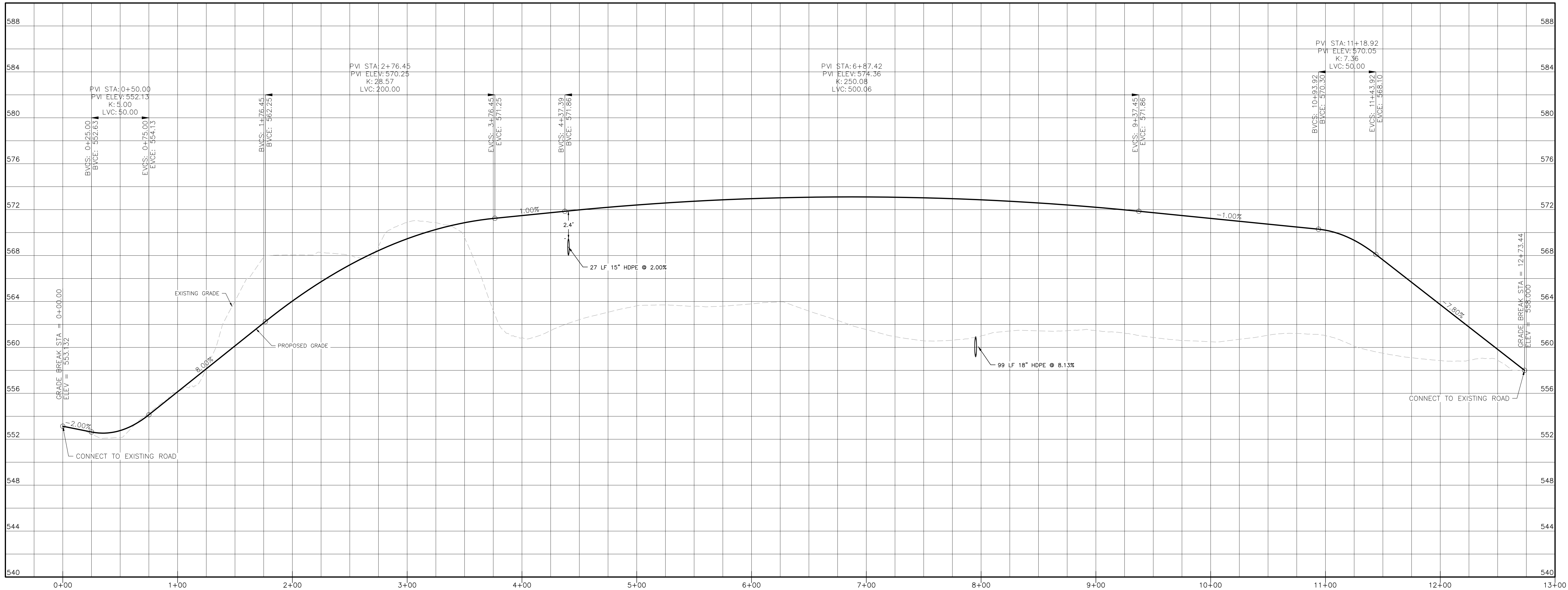
**JOB#:**  
20-030  
**SCALE:**  
AS NOTED  
**DATE:**  
12-17-21  
**DRAWN:**  
MM  
**CHECKED:**  
MM  
**SHEET NO.:**  
05 OF 17

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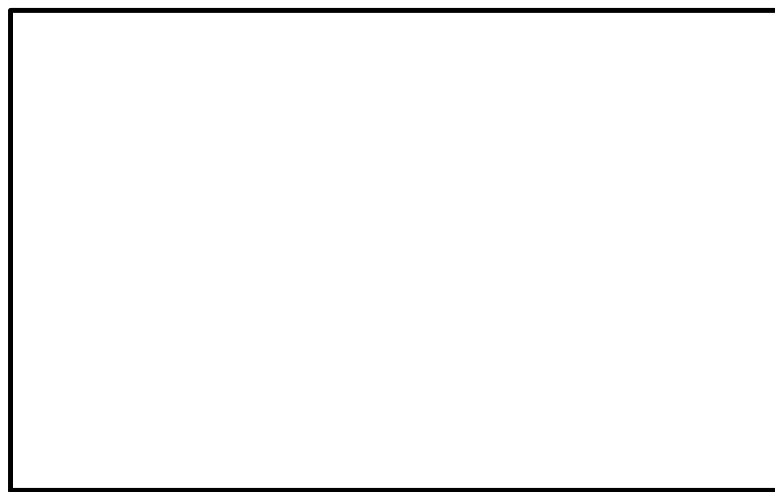
THE PROPOSED SEWAGE DISPOSAL SYSTEM AND WATER SUPPLY SYSTEM SHOWN HAS BEEN DESIGNED IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS ESTABLISHED BY THE NEW YORK STATE DEPARTMENT OF HEALTH FOR RESIDENTIAL LOTS. THE DESIGNS ARE BASED UPON ACTUAL SOIL AND SITE CONDITIONS FOUND UPON THE LOTS AT THE DESIGN LOCATION DURING THE TIME OF THE DESIGN.





DRIVEWAY PROFILE  
HORIZONTAL SCALE: 1"=40'  
VERTICAL SCALE: 1"=4'

TOWN OF CHESTER PLANNING BOARD APPROVAL



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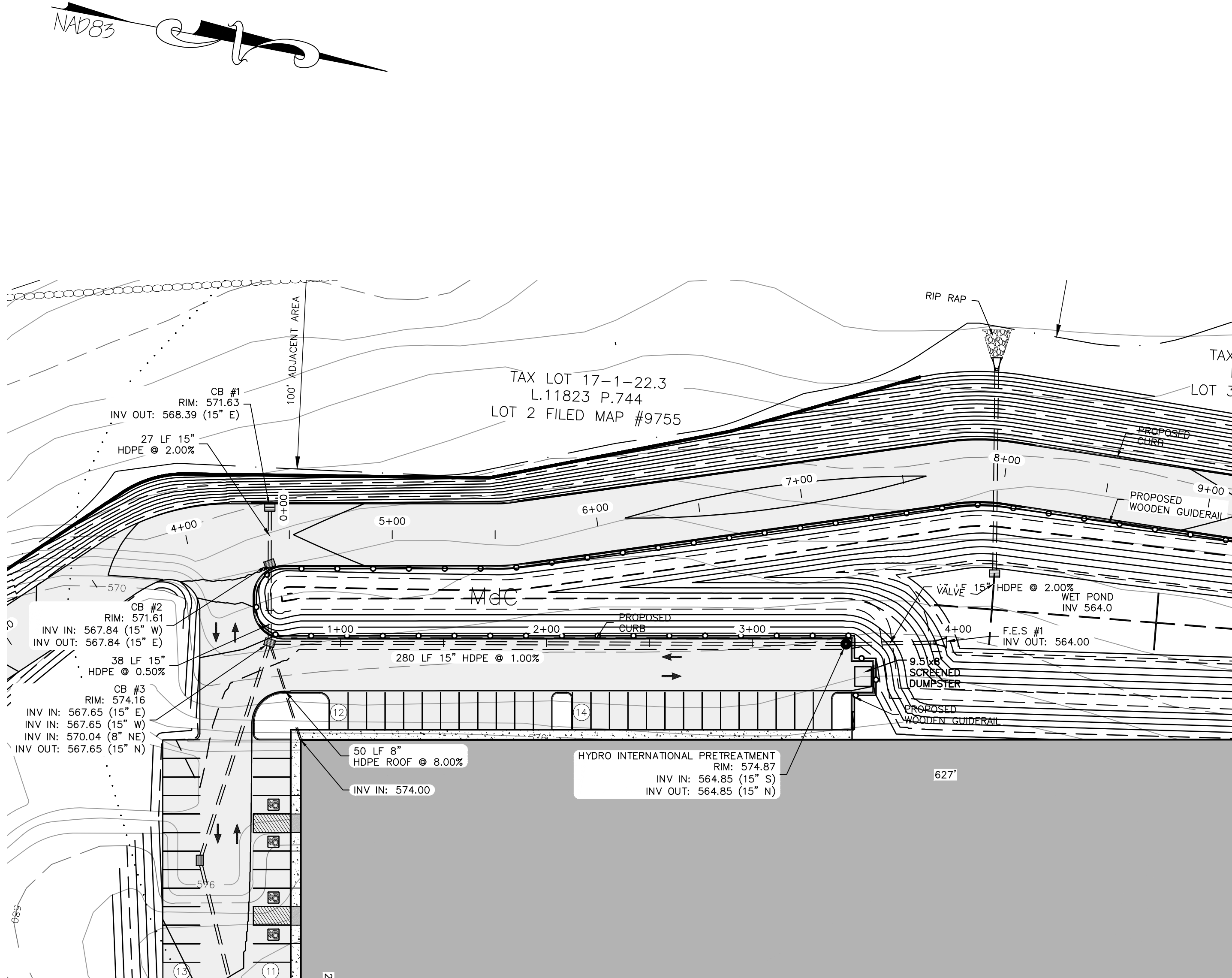
DRIVEWAY PROFILES

JOB#: 20-0380  
SCALE: AS NOTED  
DATE: 12-17-21  
DRAWN: MM  
CHECKED: MM  
SHEET NO. 06 OF 17

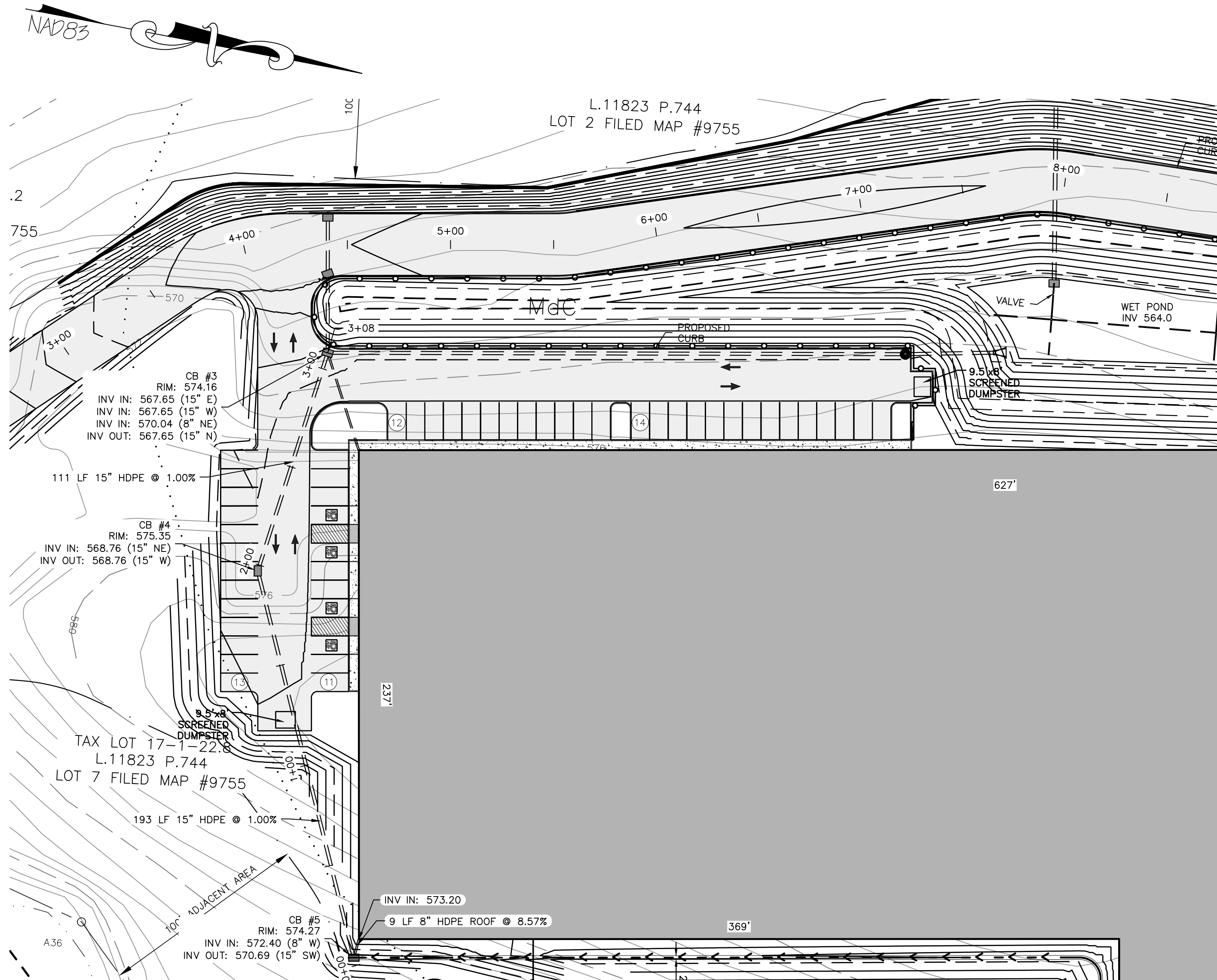
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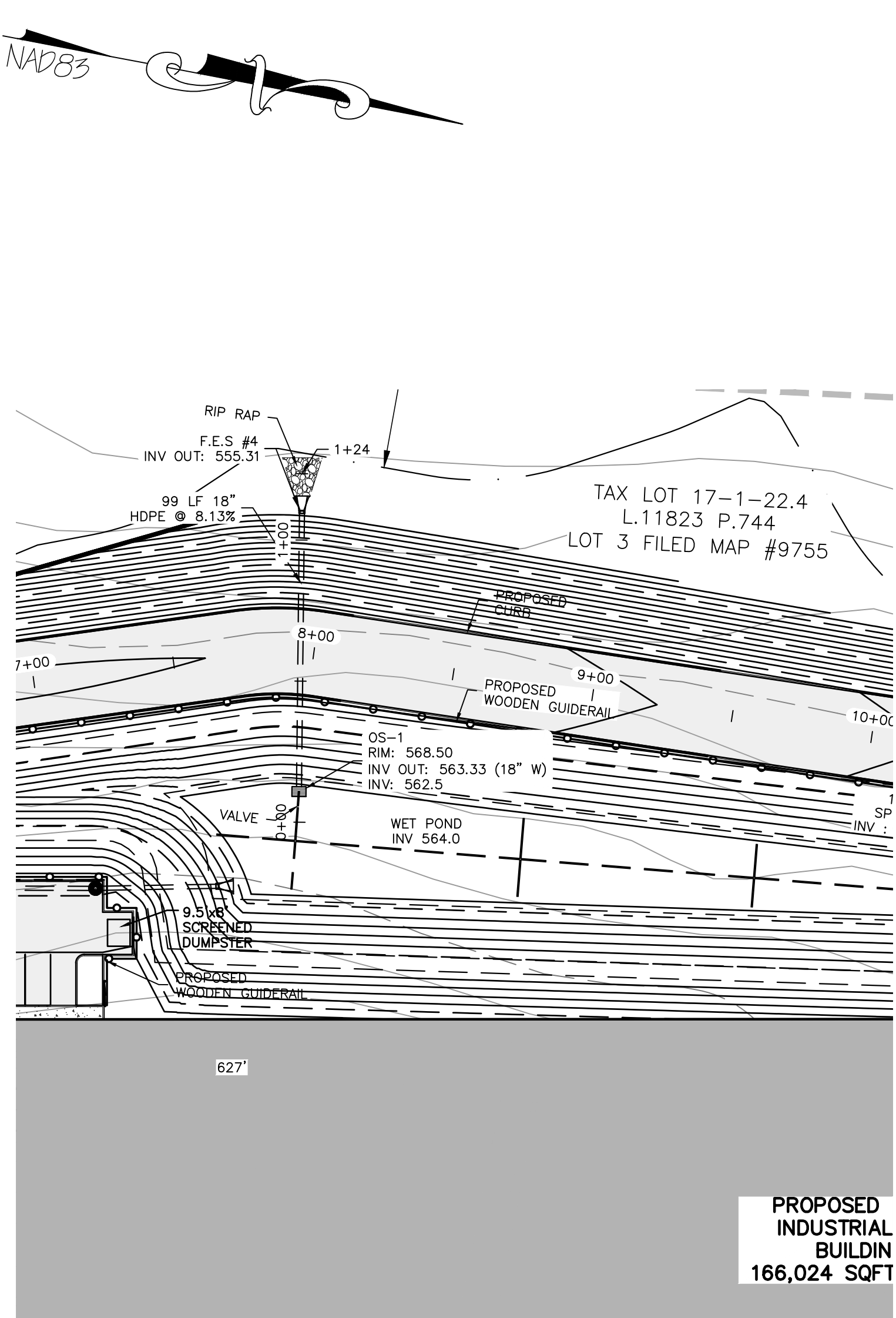




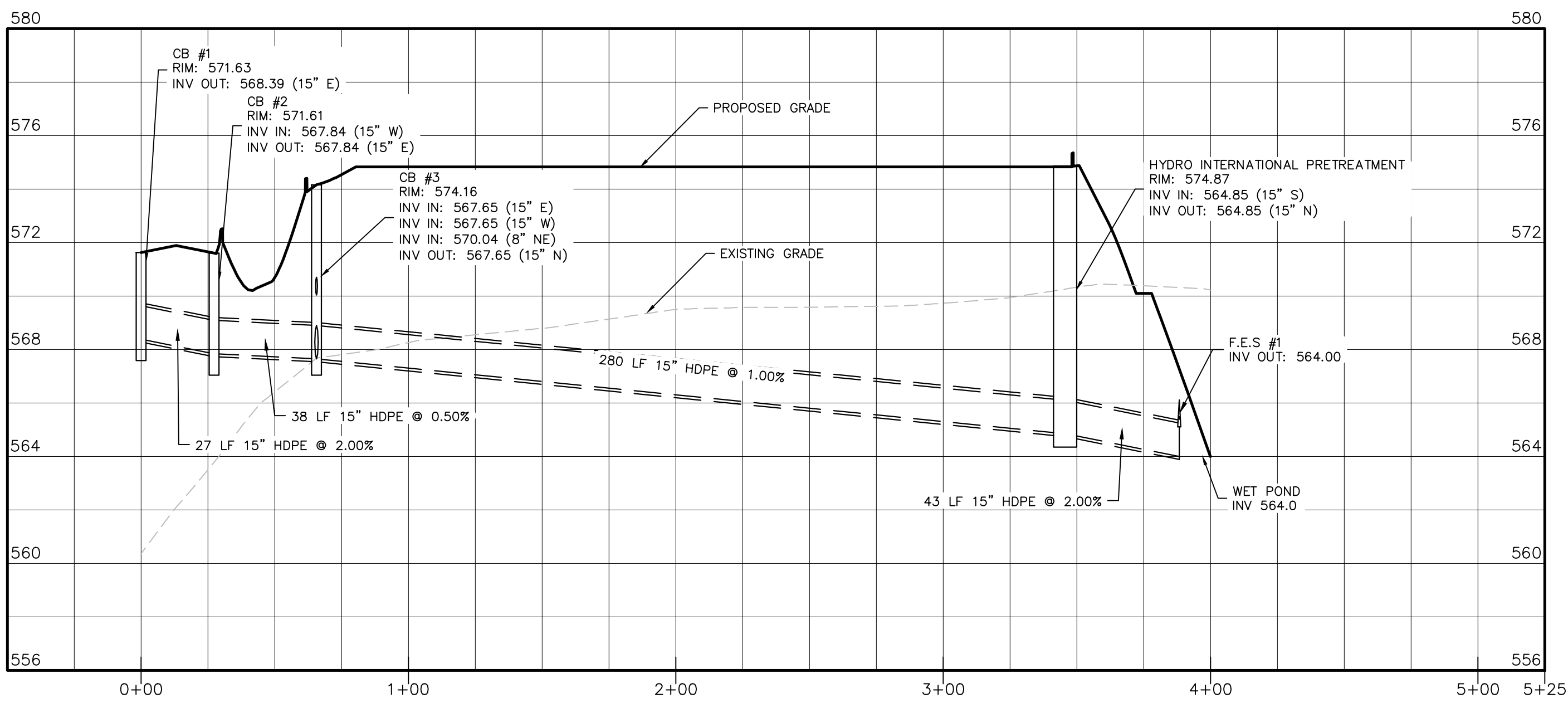
DRAINAGE PLAN #1  
SCALE: 1"=40'



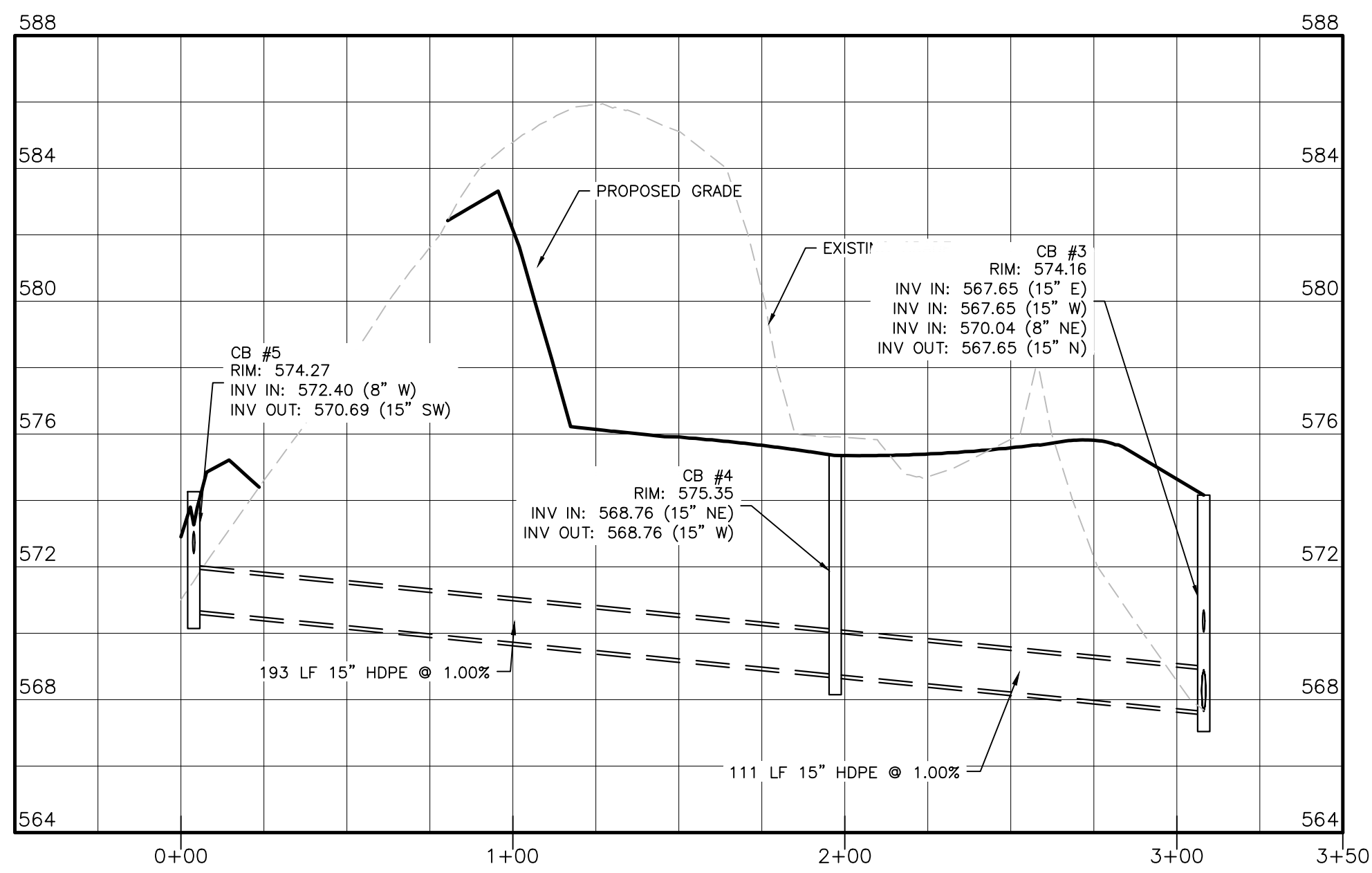
DRAINAGE PLAN #2  
SCALE: 1"=40'



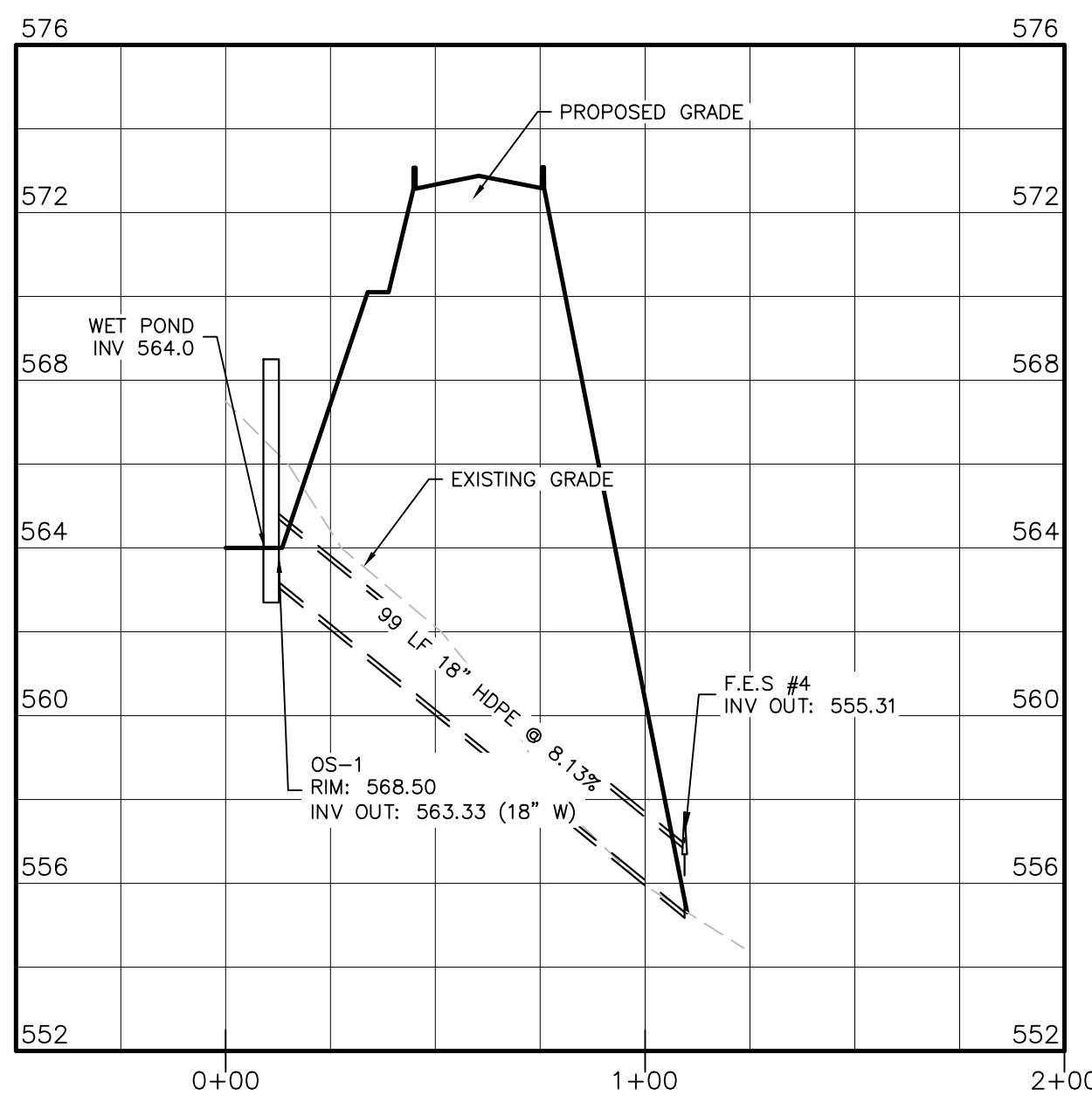
DRAINAGE PLAN #3  
SCALE: 1"=40'



DRAINAGE PROFILES #1  
HORIZONTAL SCALE: 1"=40'  
VERTICAL SCALE: 1"=4'



DRAINAGE PROFILES #2  
HORIZONTAL SCALE: 1"=40'  
VERTICAL SCALE: 1"=4'



DRAINAGE PROFILES #3  
HORIZONTAL SCALE: 1"=40'  
VERTICAL SCALE: 1"=4'

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MICHAEL A. MORGANTE, P.E.  
LIC. NO. 78577

SITE PLAN & LOT LINE COMBINATION FOR  
DAVIDSON DRIVE HOLDINGS, LLC  
LAKE STATION ROAD  
TOWN OF CHESTER, COUNTY OF ORANGE, NY

DRAINAGE PROFILES 1

JOB#:  
20-030  
SCALE:  
AS NOTED  
DATE:  
2-17-21  
DRAWN:  
MM  
CHECKED:  
MM  
SHEET NO.  
07 OF 17

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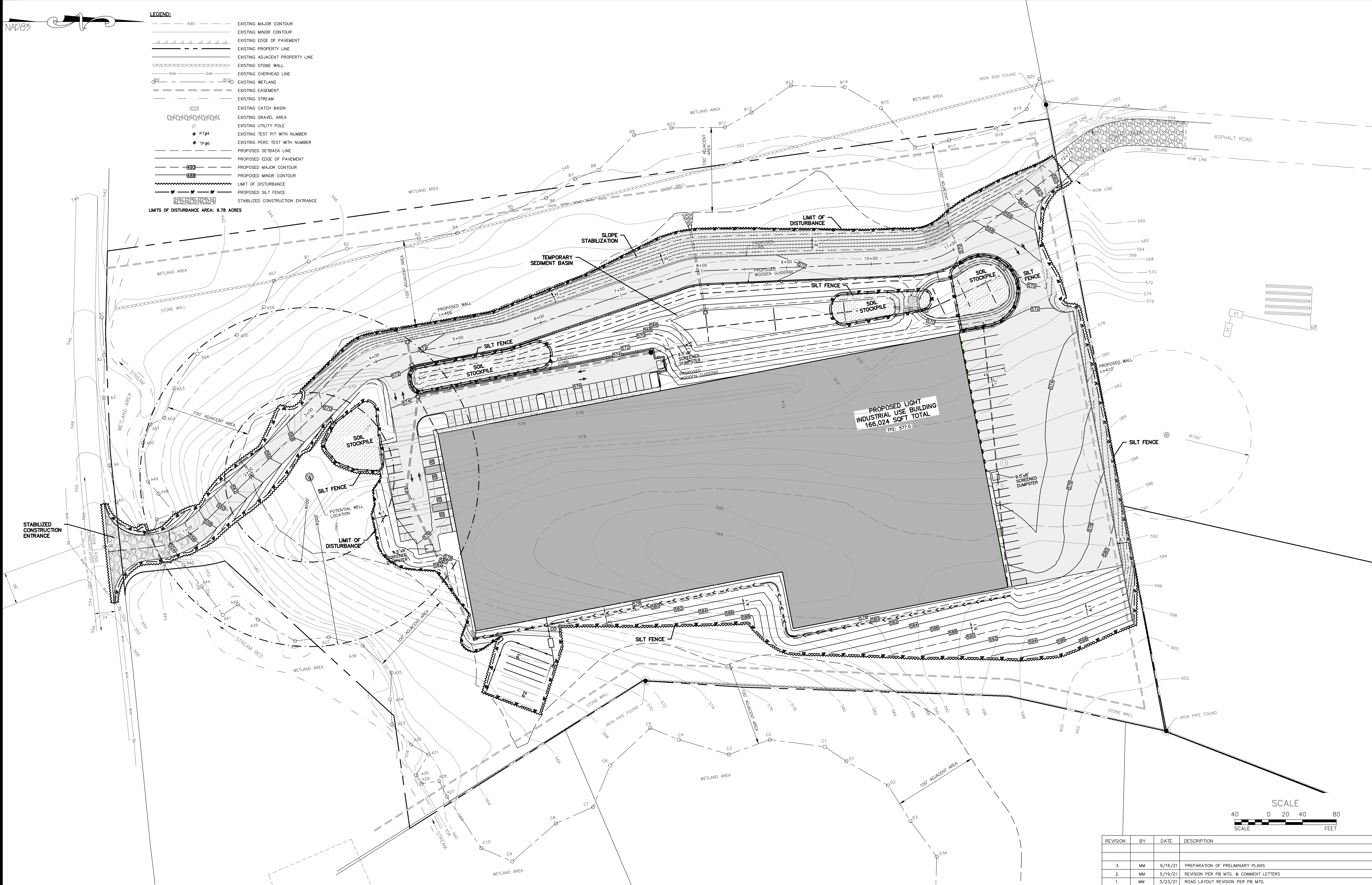






- LEGEND:
- 490 --- EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - EXISTING EDGE OF PAVEMENT
  - EXISTING PROPERTY LINE
  - EXISTING ADJACENT PROPERTY LINE
  - EXISTING STONE WALL
  - EXISTING OVERHEAD LINE
  - EXISTING WETLAND
  - EXISTING EASEMENT
  - EXISTING STREAM
  - EXISTING CATCH BASIN
  - EXISTING GRAVEL AREA
  - EXISTING UTILITY POLE
  - PT#4 EXISTING TEST PIT WITH NUMBER
  - TP#5 EXISTING PERC TEST WITH NUMBER
  - PROPOSED SETBACK LINE
  - PROPOSED EDGE OF PAVEMENT
  - PROPOSED MAJOR CONTOUR
  - PROPOSED MINOR CONTOUR
  - LIMIT OF DISTURBANCE
  - PROPOSED SILT FENCE
  - STABILIZED CONSTRUCTION ENTRANCE

LIMITS OF DISTURBANCE AREA: 9.78 ACRES



EROSION AND SEDIMENT CONTROL PLAN  
SCALE: 1"=40'

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TOWN OF CHESTER PLANNING BOARD APPROVAL



REVISION	BY	DATE	DESCRIPTION
3.	MM	9/16/21	PREPARATION OF PRELIMINARY PLANS
2.	MM	5/19/21	REVISION PER PB MTG. & COMMENT LETTERS
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SITE PLAN & LOT LINE COMBINATION FOR  
**DAVIDSON DRIVE HOLDINGS, LLC**  
LAKE STATION ROAD  
TOWN OF CHESTER, COUNTY OF ORANGE, NY

**EROSION AND SEDIMENT CONTROL PLAN**

JOB#: 20-030  
SCALE: AS NOTED  
DATE: 12-17-21  
DRAWN: MM  
CHECKED: MM  
SHEET NO. 09 OF 17



BEST MANAGEMENT PRACTICES FOR SITE FACILITY MAINTENANCE.

THE OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF ALL SITE RELATED FACILITIES, INCLUDING THE STORM WATER SEDIMENT AND DETENTION BASINS AND THE FOLLOWING MEASURES AND/OR STRUCTURES, AS APPLICABLE AND SHOWN ON THE PLANS:

WATER QUALITY INLETS

1. WATER QUALITY INLETS SHALL BE CLEANED OUT AT LEAST TWICE A YEAR TO REMOVE POLLUTANTS. REMOVED MATERIAL SHOULD BE TAKEN TO A TREATMENT PLANT OR APPROVED LANDFILL FOR DISPOSAL.
2. STORM WATER INLETS THROUGHOUT THE SITE SHALL BE INSPECTED ANNUALLY FOR ACCUMULATED SEDIMENT OR OTHER PROBLEMS AND REPAIRED AS NECESSARY.

PARKING AND ROADWAY PAVEMENTS

1. PARKING AREA AND ROADWAY PAVEMENTS SHALL BE SWEEPED ON A REGULAR BASIS TO REMOVE ACCUMULATED SEDIMENT. COLLECTED SEDIMENT SHALL BE REMOVED TO AN APPROVED DISPOSAL SITE WHICH WILL NOT ALLOW THE RE-ENTRANCE OF SILT INTO THE STORM WATER DRAINAGE SYSTEM.

VEGETATIVE STABILIZATION

1. ALL VEGETATIVE PLANTING ON AREAS WHICH HAVE BEEN DISTURBED AND ARE FINISH GRADED SHALL BE INSPECTED AFTER EACH RAIN EVENT. PLANTING (OR SEEDING) SHALL BE MAINTAINED IN A VIABLE CONDITION TO STABILIZE THE SOIL AND TO PREVENT SOIL EROSION. RESTORE ALL SITE PLANTING AND/OR SEEDING WHICH HAS BEEN DAMAGED TO A VIABLE CONDITION.
2. IF VEGETATIVE STABILIZATION HAS BEEN DAMAGED FROM STORM WATER EROSION, CORRECT UPSTREAM CONDITIONS WHICH CAUSED THE EROSION. CHECK DAMS MAY BE REQUIRED IN DRAINAGE WAYS, AND STONE OUTFALL APRONS MAY BE REQUIRED TO BE REPAIRED AT STORM WATER OUTLETS.

CONSTRUCTION ACTIVITY

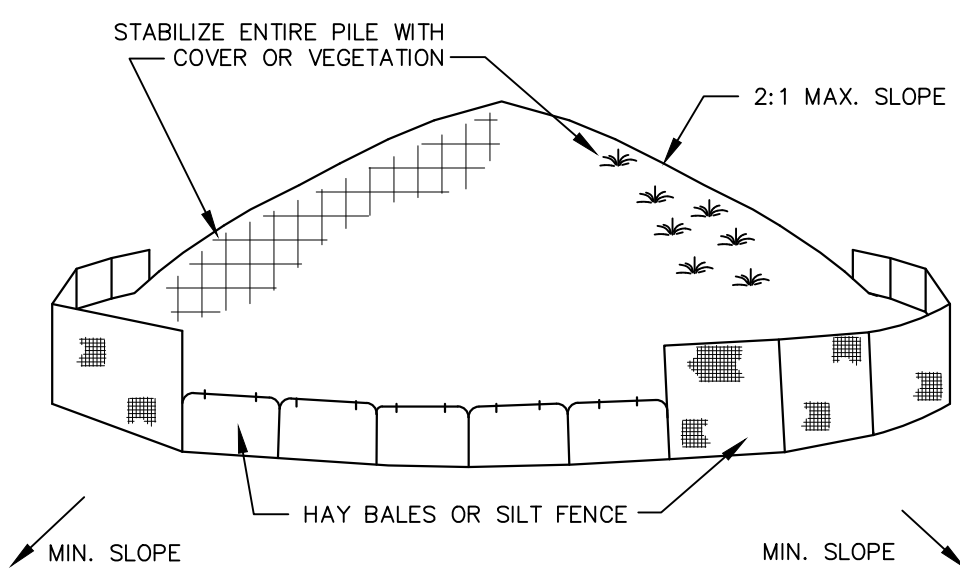
1. CONSTRUCTION ACTIVITIES WILL OCCUR DURING WEEKDAYS COMMENCING AT 7:00 AM AND TERMINATING AT 6:00 PM

EROSION AND SILTATION CONTROL NOTES:

1. GRADED AREAS – UPPER ELEVATIONS: PROVIDE TEMPORARY DRAINAGE SWALES, 1% GRADE MIN., TO DIRECT RUNOFF AWAY FROM CONSTRUCTION SITES, DISCHARGE AREAS AND ENERGY DISPERSION REQUIREMENTS TO BE ACCEPTABLE TO OWNERS.
2. GRADED AREAS – LOWER ELEVATIONS: PROVIDE DRAINAGE SWALES, 1% MIN. GRADES, WITH STAKED AND SECURED HAY BALE BERMS TO PREVENT DOWN STREAM AND DOWN GRADIENT SILTATION.

SEDIMENT & EROSION CONTROL NOTES & CONSTRUCTION SEQUENCING

1. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES FOR ALL ROAD AND DRIVE ENTRANCES. STREETS SHALL BE CLEANED DAILY.
2. INSTALL SEDIMENT BARRIERS/SWALES/DITCHES/DIKES AT DOWN SLOPE AREAS FROM ALL PROPOSED GRADING OPERATIONS, AND INSTALL OTHER SEDIMENTATION AND EROSION CONTROL STRUCTURES OR MEASURES AS SHOWN ON THE DRAWINGS.
3. LAND DISTURBANCE SHALL BE LIMITED TO ONLY THAT AREA NECESSARY FOR DEVELOPMENT. NO MORE THAN FIVE (5) ACRES OF UNPROTECTED SOIL SHALL BE DISTURBED AT ONE TIME. PREVIOUS EARTHWORK SHALL BE STABILIZED AS SPECIFIED BEFORE ADDITIONAL AREA IS EXPOSED. EXISTING DWELLINGS AND STRUCTURES SHALL BE REMOVED PRIOR TO ANY SITE CLEARING AND SOIL DISTURBANCE.
4. CLEAR EXISTING TREES AND VEGETATION FROM AREAS TO BE EXCAVATED OR FILLED, THEN STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE DISTURBED. SEED STOCKPILED TOPSOIL WITH TEMPORARY RYEGRASS COVER AS SPECIFIED BELOW (SEE NOTE 8), AND ERECT A SILT FENCE AROUND THE STOCKPILE.
5. PROTECT ALL TREES WHICH ARE TO REMAIN AND WHICH ARE IN OR NEAR CONSTRUCTION AREAS.
6. PERFORM NECESSARY EXCAVATION OR FILL OPERATIONS TO BRING SITE TO DESIRED SUBGRADE.
7. INSTALL SEDIMENT BARRIERS AROUND ALL STORM DRAIN INLETS, OR MODIFY SEDIMENT CONTROL MEASURES INSTALLED IN #2 ABOVE AND MAINTAIN UNTIL ALL DISTURBED AREAS ARE STABILIZED WITH VEGETATION AND ALL PAVEMENTS ARE PAVED WITH A BASE COURSE.
8. TEMPORARILY SEED ALL DISTURBED AREAS WHICH WILL REMAIN UNDISTURBED FOR A PERIOD OF 15 DAYS OR MORE AND WHICH WILL NOT BE UNDER CONSTRUCTION WITHIN 30 DAYS IN ACCORDANCE WITH SPECIFICATION FOR VEGETATIVE ESTABLISHMENT.
9. IF CONSTRUCTION IS SUSPENDED OR COMPLETED, ALL DISTURBED AREAS SHALL BE SEEDDED AND MULCHED IMMEDIATELY. ALL SLOPES STEEPER THAN ONE ON THREE (V/H) AND PERIMETER TRENCHES AND TRAP EMBANKMENTS SHALL, ON COMPLETION, BE IMMEDIATELY STABILIZED WITH TEMPORARY SEEDING AND MULCHING.
10. AFTER COMPLETION OF SITE CONSTRUCTION, FINE GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED WITH PERMANENT LAWN MIX AS DISCUSSED ON THE SPECIFICATIONS FOR FOR VEGETATIVE ESTABLISHMENT ON THIS SHEET.
11. DURING THE PROGRESS OF CONSTRUCTION, MAINTAIN ALL SEDIMENT TRAPS, BARRIERS, AND FILTERS AS NECESSARY TO PREVENT THEIR BEING CLOGGED UP WITH SEDIMENT.
12. AFTER PAVEMENTS ARE INSTALLED AND PERMANENT VEGETATIVE COVER AND PLANTINGS ARE ESTABLISHED, REMOVE SEDIMENT BARRIERS AND SEED THOSE DISTURBED AREAS.
13. MAINTAIN ALL SEEDDED AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE COVER.
14. STRUCTURAL MEASURES MUST BE MAINTAINED TO BE EFFECTIVE. IN GENERAL, THESE MEASURES MUST BE PERIODICALLY INSPECTED TO INSURE STRUCTURAL INTEGRITY, TO DETECT VANDALISM DAMAGE, AND FOR CLEANING AND REPAIR WHENEVER NECESSARY.
15. DURING CONSTRUCTION, ALL STRUCTURES SHOULD BE INSPECTED WEEKLY AND AFTER EVERY RAIN. REMOVE ACCUMULATED SEDIMENT AND STOCKPILE AND STABILIZE IN AN AREA NOT SUBJECT TO FURTHER EROSION.
16. AFTER CONSTRUCTION IS COMPLETED, PERMANENT SEDIMENT OR EROSION CONTROL STRUCTURES SHOULD BE INSPECTED AT LEAST SEMI-ANNUALLY AND AFTER EVERY RAIN.

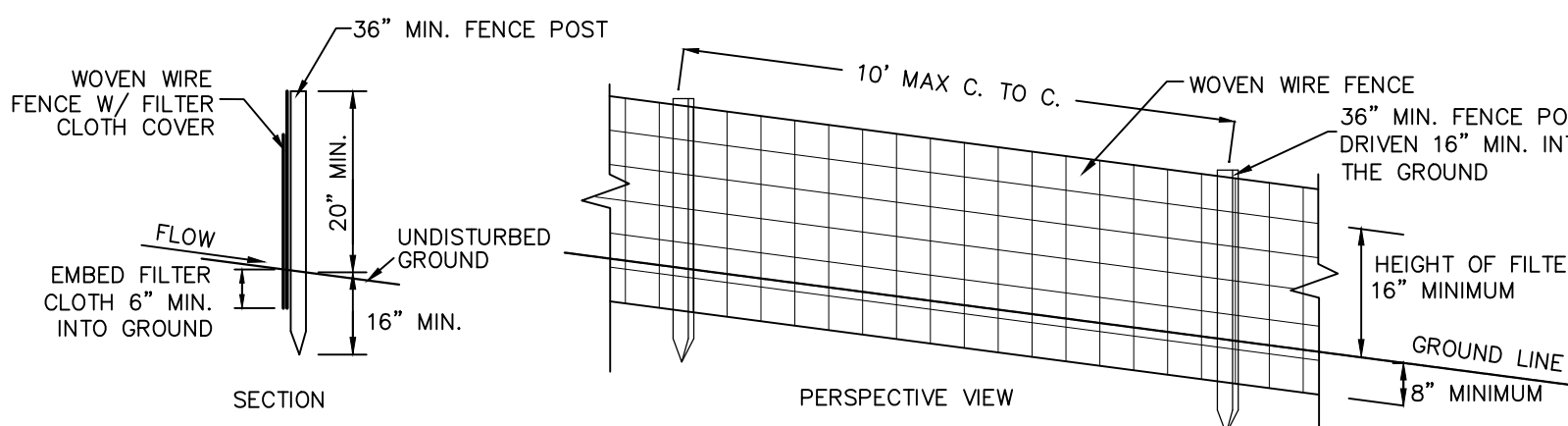


INSTALLATION NOTES:

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE
2. MAXIMUM SLOPE OF STOCKPILES SHALL BE 2:1.
3. UPON COMPLETION OF SOIL STOCKPILING EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR HAY BALES, THEN STABILIZED WITH VEGETATION OR COVERED.
4. SEE SPECIFICATIONS FOR INSTALLATION OF SILT FENCE.

SOIL STOCKPILE DETAIL

NOT TO SCALE



CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POST WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE. POST: STEEL EITHER "T" OR "U" TYPE OR 2" HARDWOOD FENCE: WOVEN WIRE, 14 1/2 GA. 6" MAX. MESH OPENING. FILTER CLOTH: FILTER X, MESH 100X, STABILINKA 1140N OR APPROVED EQUAL PREFABRICATED UNIT: GEOFAB, ENVROFENCE, OR APPROVED EQUAL.

SILT FENCE DETAIL

NOT TO SCALE

SPECIFICATIONS FOR VEGETATIVE ESTABLISHMENT.

1. PERMANENT SEEDING:
  - a. SEEDING PREPARATION: AREA TO BE SEEDDED SHALL BE LOOSE AND FRIABLE TO A DEPTH OF AT LEAST 3 INCHES. THE TOP LAYER SHALL BE LOOSEENED BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING OCCURS. FOR SITES LESS THAN 5 ACRES, APPLY 100 POUNDS OF DOLOMITIC LIMESTONE AND 21 POUNDS OF 10-20-20 FERTILIZER PER 1,000 SF. HARROW OR DISK LIME AND FERTILIZER INTO THE SOIL TO A DEPTH OF AT LEAST 3 INCHES ON SLOPES FLATTER THAN 3:1.
  - b. SEEDING: APPLY 4-6 POUNDS PER 1,000 SF OF SEED MIX BETWEEN FEBRUARY 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 31. APPLY SEED UNIFORMLY ON A MOIST FIRM SEEDBED WITH A CYCLONE SEEDER DRILL, CULTIPACKR SEEDER OR HYDROSEEDER (SLURRY INCLUDES SEEDS AND FERTILIZER, RECOMMENDED ON STEEP SLOPES ONLY). MAXIMUM SEED DEPTH SHOULD BE 1/4 INCH IN CLAYEY SOILS AND 1/2 INCH IN SANDY SOILS WHEN USING OTHER THAN THE HYDROSEEDER METHOD. IRRIGATE IF SOIL MOISTURE IS DEFICIENT TO SUPPORT ADEQUATE GROWTH UNTIL VEGETATION IS FIRMLY ESTABLISHED. SELECT SEED MIXTURES FROM SECTION 3, NYS GUIDELINES FOR URBAN EROSION & SEDIMENT CONTROL.
  - c. MULCHING: MULCH SHALL BE APPLIED TO ALL SEEDDED AREAS IMMEDIATELY AFTER SEEDING. DURING THE TIME PERIODS WHEN SEEDING IS NOT PERMITTED, MULCH SHALL BE APPLIED IMMEDIATELY AFTER GRADING. MULCH SHALL BE UNROTTED, UNCHOPPED, SMALL GRAIN STRAW APPLIED AT A RATE OF 2 TONS PER ACRE OR 90 POUNDS PER 1,000 SQUARE FEET (2 BALES). IF A MULCH ANCHORING TOOL IS USED, APPLY 2.5 TONS PER ACRE. MULCH MATERIALS SHALL BE RELATIVELY FREE OF ALL KINDS OF WEEDS AND SHALL BE COMPLETELY FREE OF PROHIBITED NOXIOUS WEEDS. SPREAD MULCH UNIFORMLY, MECHANICALLY, OR BY HAND TO A DEPTH OF 1-2 INCHES.
  - d. SECURING STRAW MULCH: STRAW MULCH SHALL BE SECURED IMMEDIATELY FOLLOWING MULCH APPLICATIONS TO MINIMIZE MOVEMENT OF WIND OR WATER. THE FOLLOWING METHODS ARE PERMITTED:
    - i. USE A MULCH ANCHORING TOOL WHICH IS DESIGNED TO PUNCH AND ANCHOR FABRIC TYPE MULCH INTO THE SOIL SURFACE TO A MINIMUM DEPTH OF 2 INCHES. THIS IS THE MOST EFFECTIVE METHOD FOR SECURING MULCH. HOWEVER, IT IS LIMITED TO RELATIVELY FLAT AREAS WHERE EQUIPMENT CAN OPERATE SAFELY.
    - ii. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. IF MIXED WITH WATER, USE 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.
    - iii. LIQUID BINDERS MAY BE USED AND APPLIED HEAVIER AT THE EDGES WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF SLOPES. THE REMAINDER OF THE AREA SHOULD APPEAR UNIFORM AFTER BINDER APPLICATION.
    - iv. LIGHTWEIGHT NETTING, MAY BE USED TO SECURE MULCH. THE NETTING WILL BE STAPLED TO THE GROUND ACCORDING TO MANUFACTURERS' RECOMMENDATIONS.

2. TEMPORARY SEEDING:
  - a. LIME: 100 POUNDS OF DOLOMITIC LIMESTONE PER 1,000 SF
  - a. FERTILIZER: 15 POUNDS OF 10-10-10 PER 1,000 SF
  - a. SEED: PERENNIAL RYE-0.92 POUNDS PER 1,000 SF

3. FILL:
  - a. NO FILLS MAY BE PLACED ON FROZEN GROUND. ALL FILL TO BE PLACED IN APPROXIMATELY HORIZONTAL LAYERS, EACH LAYER HAVING A LOOSE THICKNESS OF NOT MORE THAN 8 INCHES. ALL FILL IN ROADWAYS AND PARKING AREAS IS TO BE CLASSIFIED TYPE 2 COMPACTED TO 90% DENSITY. COMPACTION TO BE DETERMINED BY ASTM D-1557-86T (MODIFIED PROCTOR). ANY FILL WITHIN THE BUILDING AREA IS TO BE COMPACTED TO A MINIMUM OF 95% AS DETERMINED BY METHODS PREVIOUSLY MENTIONED. FILLS FOR POND EMBANKMENTS SHALL BE COMPACTED AS PER THE PROJECT ENGINEER'S SPECIFICATIONS. ALL OTHER FILLS SHALL BE COMPACTED SUFFICIENTLY SO AS TO BE STABLE AND PREVENT EROSION AND SLIPPAGE.

4. PERMANENT SOD:
  - a. INSTALLATION OF SOD SHOULD FOLLOW THE PERMANENT SEEDING DATES. PERMANENT SOD IS TO BE STATE APPROVED SOD; LIME AND FERTILIZER PER PERMANENT SEEDING SPECIFICATIONS AND LIGHTLY IRRIGATE SOIL PRIOR TO LAYING SOD. SOD IS TO BE LAID ON THE CONTOUR WITH ALL ENDS TIGHTLY BUTTING. JOINTS ARE TO BE STAGGERED BETWEEN ROWS. WATER AND ROLL OR TAMP SOD TO INSURE POSITIVE ROOT CONTACT WITH THE SOIL. ALL SLOPES STEEPER THAN 3:1, AS SHOWN, ARE TO BE PERMANENTLY SODDED OR PROTECTED WITH APPROVED EROSION CONTROL NETTING. ADDITIONAL WATERING FOR ESTABLISHMENT MAY BE REQUIRED. SOD IS NOT TO BE APPLIED ON FROZEN GROUND. SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (DRY OR WET) AND/OR EXTREME TEMPERATURE MAY ADVERSELY AFFECT ITS SURVIVAL. IN THE ABSENCE OF ADEQUATE RAINFALL, IRRIGATION SHOULD BE PERFORMED TO INSURE ESTABLISHED SOD.

SLOPE STABILIZATION, SEEDING METHOD & MULCHING

SLOPES OR 4:1 OR GREATER (HORIZONTAL - VERTICAL)

SLOPES SHALL BE HYDROSEEDDED WITH THE MIXTURES AND RATES INDICATED IN THE PERMANENT SEEDING MIXTURE SCHEDULE. STRAW OR HAY MULCH SHALL BE APPLIED AT A RATE OF 2,000 LBS./ACRE. STRAW OR HAY MULCH SHALL BE ANCHORED WITH BIO-MAT NETTING AS MANUFACTURED BY ROLANKA INTERNATIONAL OR APPROVED EQUIVALENT. NETTING TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS.

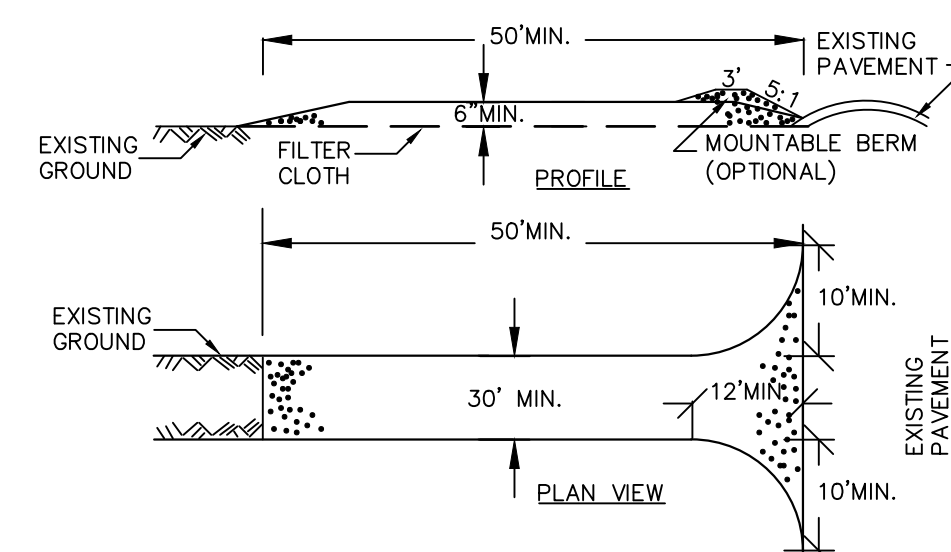
GENTLE SLOPE AND FLAT AREAS

AREA SHALL BE SEEDDED BY HYDROSEEDING OR BROADCASTING WITH THE MIXTURES AND RATES INDICATED ON THE PERMANENT SEEDING MIXTURE SCHEDULE. HYDROSEEDDED AREAS SHALL BE MULCHED WITH A WOOD FIBER MULCH APPLIED AT A RATE OF 500 LBS./ACRE. BROADCAST AREAS SHALL BE MULCHED WITH HAY OR STRAW AT A RATE OF 2,000 LBS./ACRE. AREAS SEEDDED BY BROADCASTING SHALL BE LIGHTLY RAKED AND PAVED PRIOR TO PLACING MULCH.

AREAS REMAINING DISTURBED FOR 30 DAYS OR MORE SHALL BE STABILIZED AS FOLLOWS:

SCARIFY SOILS IF COMPACTED, LIME TO pH OF 6.0 IF REQUIRED, FERTILIZE WITH 600 LBS./ACRE. 5-10-10 FERTILIZER IF REQUIRED. SEED WITH SPECIES AND RATE SHOWN BELOW. MULCH WITH HAY OR STRAW AT A RATE OF 2,000 LBS./ACRE. ANCHOR MULCH WITH NETTING OF WOOD FIBER OR JUTE IF STEEP SLOPE OR HIGH POTENTIAL FOR EROSION.

SPECIES	APPLICATION RATE
RYEGRASS (ANNUAL OR PERENNIAL) (USE WINTER RYE IF SEEDING IN OCT./NOV.)	30 LBS./ACRE (0.7 LBS./1,000 SF)



CONSTRUCTION SPECIFICATIONS

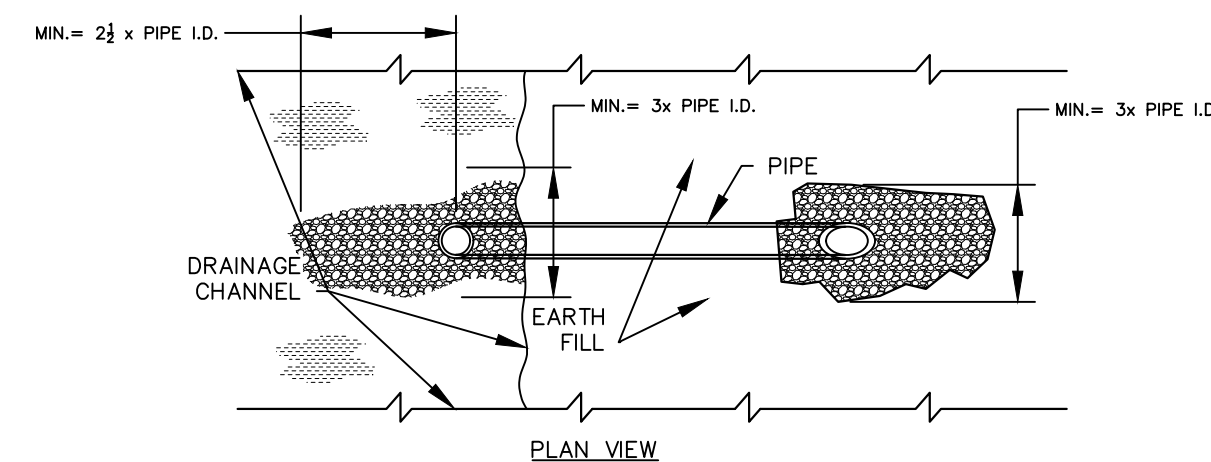
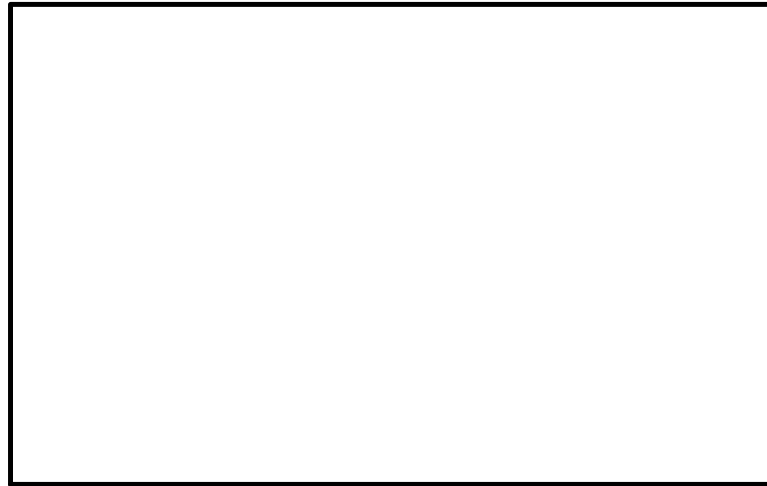
1. STONE SIZE – USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH – NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS – NOT LESS THAN SIX (6) INCHES.
4. WIDTH – TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH – WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER – ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT (SPILLED, DROPPED), WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

FOR CONSTRUCTION SPECIFICATIONS REFER TO "NY GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL."

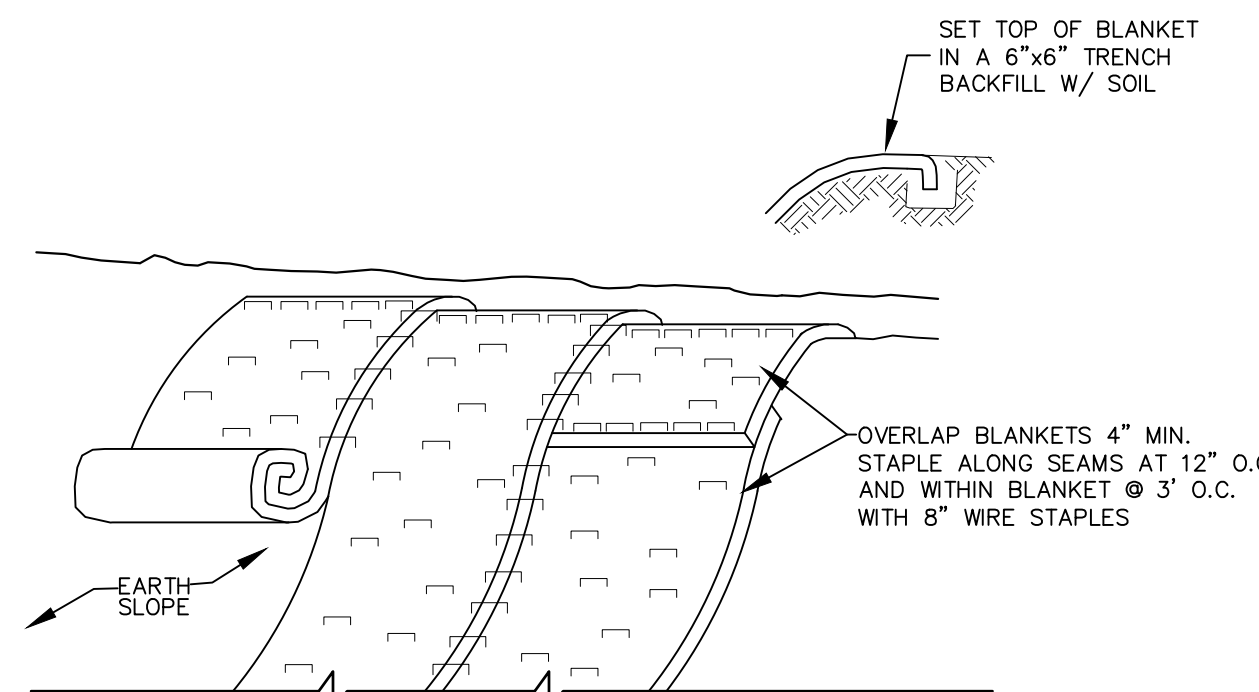
TOWN OF CHESTER PLANNING BOARD APPROVAL



SMALL TEMPORARY SETTLING BASIN

NOT TO SCALE

NOTE: TEMPORARY WEIR IS USED ACROSS STORM DRAINAGE CHANNELS TO FORM SETTLEMENT BASIN FOR DEWATERING OPERATIONS. ADDITIONAL LOCATIONS AND DESIGNS OF SETTLING BASINS OTHER THAN THOSE SHOWN ON THE PLANS SHALL BE APPROVED BY ENGINEER.



SLOPE STABILIZATION DETAIL

NOT TO SCALE

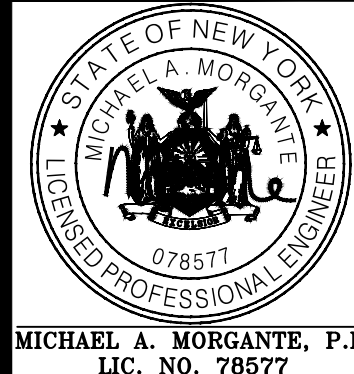
NOTES:

1. STABILIZE PREPARED EARTHEN SLOPE WITH A BIODEGRADABLE NATURAL FIBER NETTING. APPROVED TYPES ARE AS FOLLOWS:
  - C350 –NORTH AMERICAN GREEN #1-800-772-2040
  - ECCOR 9000 –EASTERN PRODUCTS, INC. #1-201-234-5050
  - ERO-MAT V125C –EROSION CONTROL TECH. #1-800-245-0051
  - ALL SLOPE RESTORATION TO GET 4" TOPSOIL.
2. SEED SLOPE PRIOR TO INSTALLING EROSION CONTROL NETTING.
3. AFTER NETTING IS INSTALLED, PLANT GRASS-COVER, TREES & FORSYTHIA THROUGH SLITS CUT IN FABRIC.

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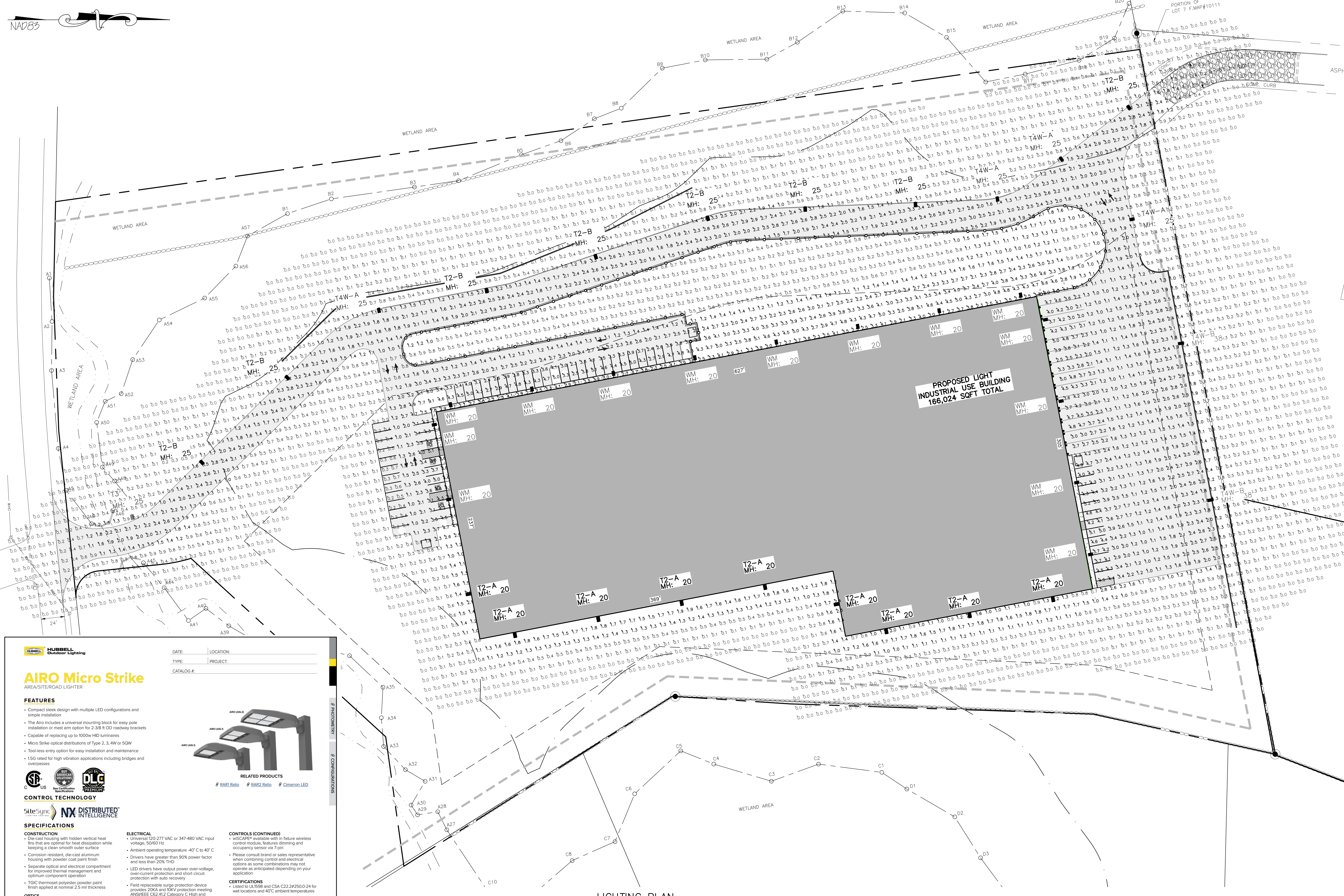
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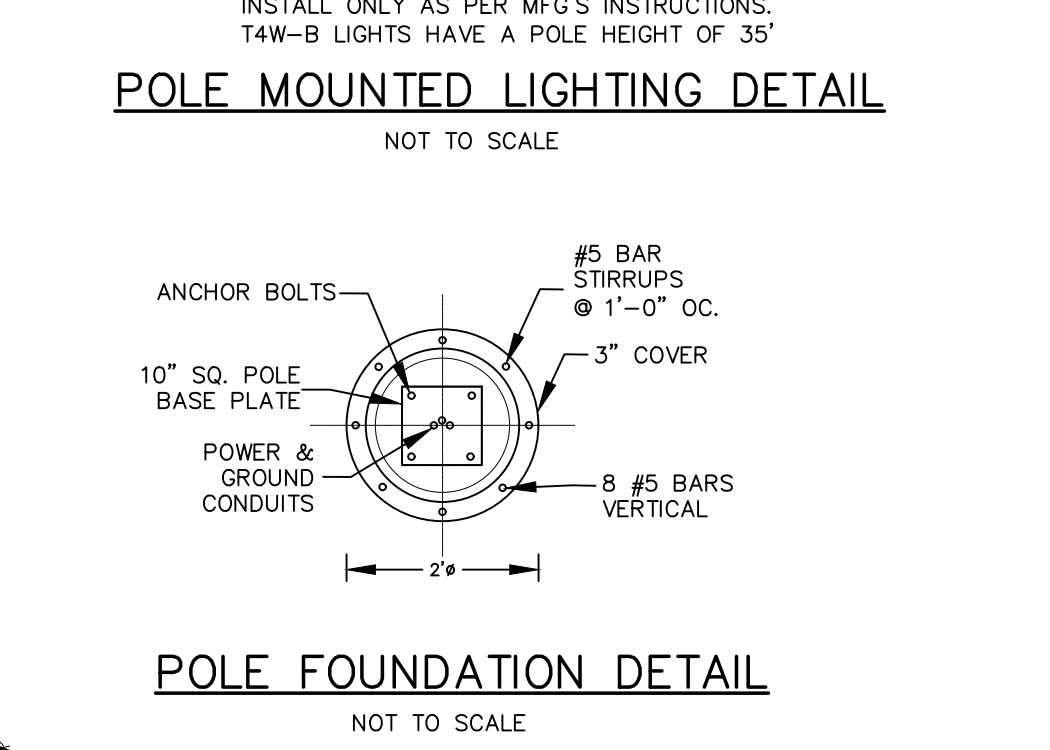
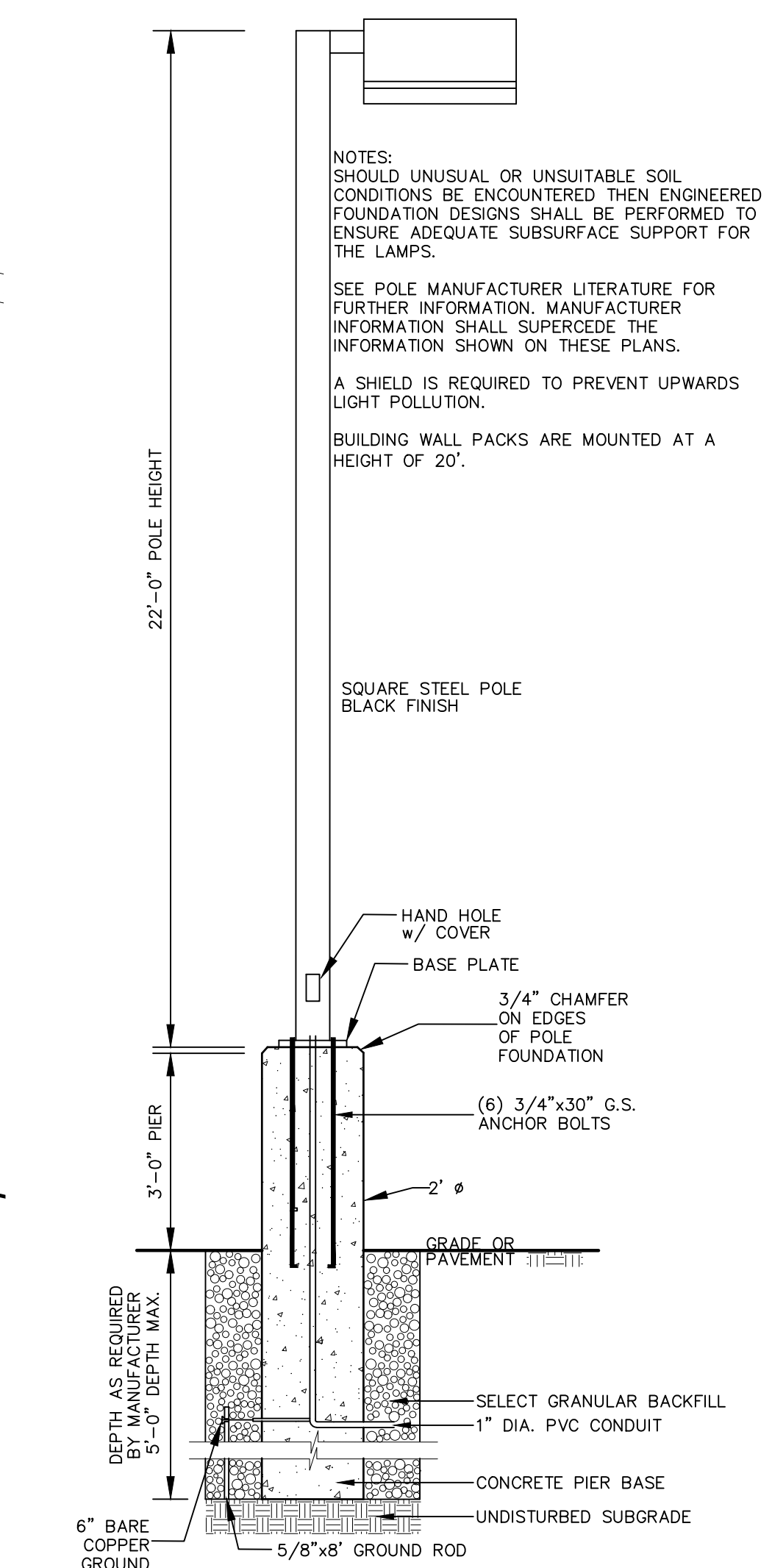
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**HUBBELL Lighting**

**AIRO Micro Strike**

AREA/STREET LIGHTER

**FEATURES**

- Compact sleek design with multiple LED configurations and simple installation
- The AIRO includes a universal mounting block for easy pole installation or mast arm option for 3.38 ft. OD roadway brackets
- Capable of replacing up to 100W HD luminaires
- Micro Strike optical distributions of Type 2.3, 4W or 50W
- Tool-less entry option for easy installation and maintenance
- 15G rated for high vibration applications including bridges and overpasses

**RELATED PRODUCTS**

- # BARI Ratio
- # BARS Ratio
- # Cimmeron LED

**CONTROL TECHNOLOGY**

**SITE SPECIFIC**

**CONSTRUCTION**

- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish
- Separate optical and electrical compartment for improved thermal management and optimum component operation
- TGIC Thermoset polyester powder paint finish applied at nominal 2.5 mil thickness

**OPTICS**

- Entire optical aperture illuminates to create a super uniform surface area resulting in low glare appearance without sacrificing optical performance
- Premium engineered individual acrylic lenses deliver IES Type 2.3, 4W and 50W distributions
- Lens distributors are field replaceable in 90° increments or interchangeable for pole site fine-tuning
- 3000K, 4000K, or 5000K (70 CRI) CCT
- 80, 160, or 320 midpower LEDs
- 3000K, 4000K or 5000K (70 CRI) CCT
- Zero light spill at 0 degrees of tilt
- Field replaceable optics

**INSTALLATION**

- Follows entry to wing/driver compartment, optional
- Universal mounting block works with #2 drill pattern
- Follows ship with slotted mounting block to accommodate wide range of drill patterns for easy retrofit opportunities
- Not an in-line accessory or option available for 2.38 ft. OD brackets with vertical tilt of 15°, 0° or 3°

**ELECTRICAL**

- Universal 120-277 VAC or 347-480 VAC input fits that are optimal for most applications while keeping a clean smooth outer surface
- Ambient operating temperature -40° C to 40° C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 20KA and 10KV protection meeting ANSI/IEEE C62.41-2019 Category C High and Surge Location Category C3. Automatically takes future offline for protection when device is consumed

**CONTROLS (CONTINUED)**

- w/SCAPE available with in future wireless control module. Features dimming and occupancy sensor via 7 pin
- Please consult brand or sales representative when combining control and electrical options as some combinations may not operate as anticipated depending on your application

**CERTIFICATIONS**

- Listed to UL 8758 and CSA C22.2 22750-0-24 for wet locations and 40°C ambient temperatures
- DLC (DesignLights Consortium) Qualified with some Premium Qualified configurations. Please refer to the DLC website for specific product qualifications at [www.designlights.org](http://www.designlights.org)
- 15G rated for ANSI C36.31 high vibration applications
- IP65 optical assembly
- Meets ICA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product qualifies as a "designated country-owned material" per FAR 62.275-18 Buy American Construction Materials Under Trade Agreements effective 04/23/2020. See [Buy.American.Construction](http://Buy.American.Construction)

**WARRANTY**

- 5 Year warranty
- See full Standard Warranty for additional information

**KEY DATA**

Parameter	Value
Lumen Range	3,200-36,000
Wattage Range	25-255
Efficiency Range (LPW)	88-148
Weight lbs. (kg)	14.5-175 (6.6-8.0)

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**LIGHTING PLAN**

SCALE: 1"=40'

LUMINAIRE SCHEDULE									
SYMBOL	LABEL	QTY	ARRANGEMENT	DESCRIPTION	LUM. LUMENS	LLF	LUM. WATTS	ARR. WATTS	TOTAL WATTS
	T2-A	9	SINGLE	ASL1-80L-40-4K7-2	5206	0.850	38	38	342
	T2-B	8	SINGLE	ASL1-160L-100-4K7-2	11885	0.850	87.6	87.6	700.8
	T3	1	SINGLE	ASL1-160L-100-4K7-3	12010	0.850	87.6	87.6	87.6
	T4W-A	4	SINGLE	ASL1-160L-100-4K7-4W	11787	0.850	87.6	87.6	350.4
	T4W-B	2	SINGLE	ASL2-320L-255-4K7-4W	35329	0.850	255	255	510
	WM	14	SINGLE	ASL1-160L-135-4K7-4W	17568	0.850	133.1	133.1	1863.4

**CALCULATION SUMMARY**

LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN	PTSPCLR	PTSPCTB
ALL CALCPTS EXTENDING OUT TO ZERO FOOT-CANDLES	ILLUMINANCE	FC	0.88	9.1	0.0	N.A.	N.A.	10	10
STATAREA - BUILDING SOUTH PARKING	ILLUMINANCE	FC	3.00	5.1	1.0	3.00	5.10		
STATAREA - BUILDING WEST DRIVE	ILLUMINANCE	FC	2.88	5.1	1.1	2.62	4.64		
STATAREA - TRUCK DOCK AREA	ILLUMINANCE	FC	2.24	5.2	1.0	2.24	5.20		

**SCALE**

40 0 20 40 80

SCALE FEET

**REVISION**

REVISION	BY	DATE	DESCRIPTION
1.	WM	9/16/21	PREPARATION OF PRELIMINARY PLANS

**TOWN OF CHESTER PLANNING BOARD APPROVAL**

**ARDEN CONSULTING ENGINEERS, PLLC**

P.O. BOX 340 MONROE, N.Y.

T: 845-782-8114 E: MAM@ARDENCONSULTING.NET

**SITE PLAN & LOT LINE COMBINATION FOR DAVIDSON DRIVE HOLDINGS, LLC**

LAKE STATION ROAD

TOWN OF CHESTER, COUNTY OF ORANGE, NY

**LIGHTING PLAN**

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**JOB#:** 20-030

**SCALE:** AS NOTED

**DATE:** 7-30-21

**DRAWN:** MM

**CHECKED:** MM

**SHEET NO.:** 11 OF 17

**MICHAEL A. MORGANTE, P.E.**

LIC. NO. 78577

**STATE OF NEW YORK**

**REGISTERED PROFESSIONAL ENGINEER**

07857

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LEGEND:	
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING EDGE OF PAVEMENT
	EXISTING PROPERTY LINE
	EXISTING ADJACENT PROPERTY LINE
	EXISTING STONE WALL
	EXISTING OVERHEAD LINE
	EXISTING WETLAND
	EXISTING EASEMENT
	EXISTING STREAM
	EXISTING SOIL
	EXISTING CATCH BASIN
	EXISTING GRAVEL AREA
	EXISTING UTILITY POLE
	EXISTING TEST PIT WITH NUMBER
	EXISTING PERC TEST WITH NUMBER
	PROPOSED SETBACK LINE
	PROPOSED EDGE OF PAVEMENT
	PROPOSED LANDSCAPING

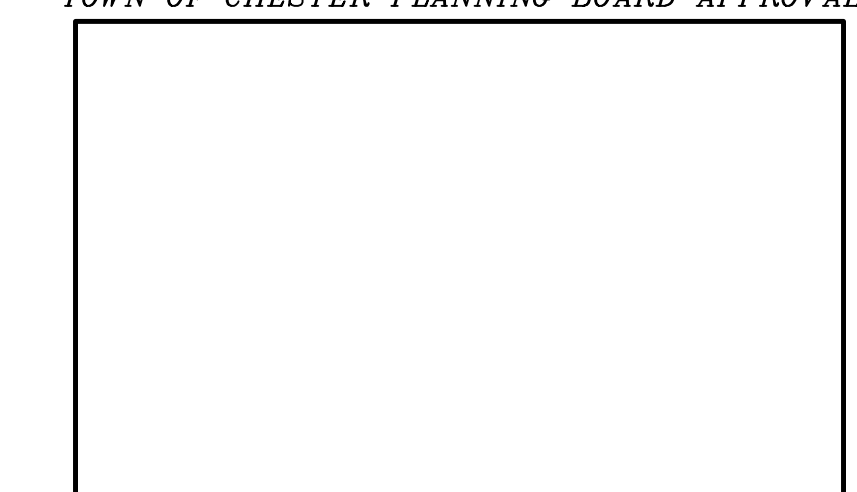
## PLANT SCHEDULE

PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
<b>DECIDUOUS TREES</b>					
ACE. RUB.	11	ACER RUBRUM "FRANKSRED"	RED SUNSET RED MAPLE	2.5"-3" O.C.	B&B
BET. NIC.	4	BETULA NIGRA "NICE"	HERITAGE REDDER BIRCH	12"-14" MULTISTE	B&B
QUER. RUB.	14	QUERCUS RUBRA	RED OAK	2.5"-3" O.C.	B&B
<b>EVERGREEN TREES</b>					
TSU. CAN.	2	TSUGA CANADENSIS	CANADIAN HEMLOCK	6"-8"	B&B
<b>SHRUBS</b>					
VB. RHYT.	68	VIORNIUM RHYTHIDOPHYLLUM	LEATHERLEAF VIBURNUM	5'-6" MIN.	SPACE ADAPT
FOR. INT.	36	FORSYTHIA INTERMEDIA	FORSYTHIA	3'-4" APART	SPACE FILL
<b>PERENNIALS, GROUND COVERS, AND GRASSES</b>					
JUN. BAR.	25	JUNIPERUS HORIZONTALIS "BAR HARBOR"	BAR HARBOR CREEPING JUNIPER	#2 CANS	CONT. 36 O.C.
UN. VIR.	25	LILYRUM MUSCARI "BIG BLUE"	BIG BLUE LILYRUR	1 GAL.	CONT. 18 O.C.
PAN. VR.	25	PANICUM VIRGATUM "SHENANDOAH"	SHENANDOAH SWITCHGRASS	1 GAL.	CONT. 36 O.C.
<b>WET POND PLANTINGS</b>					
BLU. JUL.	84	CALA MAGROITIS CANDENSIS	BLUE JONET	1 GAL.	CONT. 36 O.C.
HAR. BUL.	74	SORBUS AULUS	HARDESTEM BULRUSH	1 GAL.	CONT. 36 O.C.
LIZ. TAIL.	71	SAURURUS CERNUUS	LIZARD'S TAIL	1 GAL.	CONT. 36 O.C.
<b>BIORETENTION PLANTINGS</b>					
CA	17	CLETHRA ALNIFOLIA	SUMMERSWEET	18"-24"	CONT. 36 O.C.
IV	16	ILEX VERTICILLATA	WINTERBERRY	18"-24"	CONT. 36 O.C.
SC	15	SAMBUCUS CANADENSIS	ELDERBERRY	18"-24"	CONT. 36 O.C.
EF	12	EUPATORIUM PSILLOCOM	JOE PEE WEED	18"-24"	CONT. 36 O.C.
JF.	16	JUNCUS EFFUSUS	COMMON RUSH	#54 CONT	CONT. 36 O.C.

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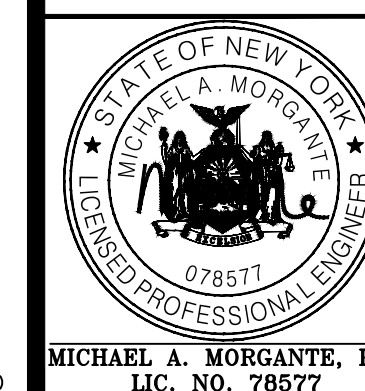
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TOWN OF CHESTER PLANNING BOARD APPROVAL



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SITE PLAN & LOT LINE COMBINATION FOR  
DAVIDSON DRIVE HOLDINGS, LLC  
LAKE STATION ROAD  
TOWN OF CHESTER, COUNTY OF ORANGE, NY

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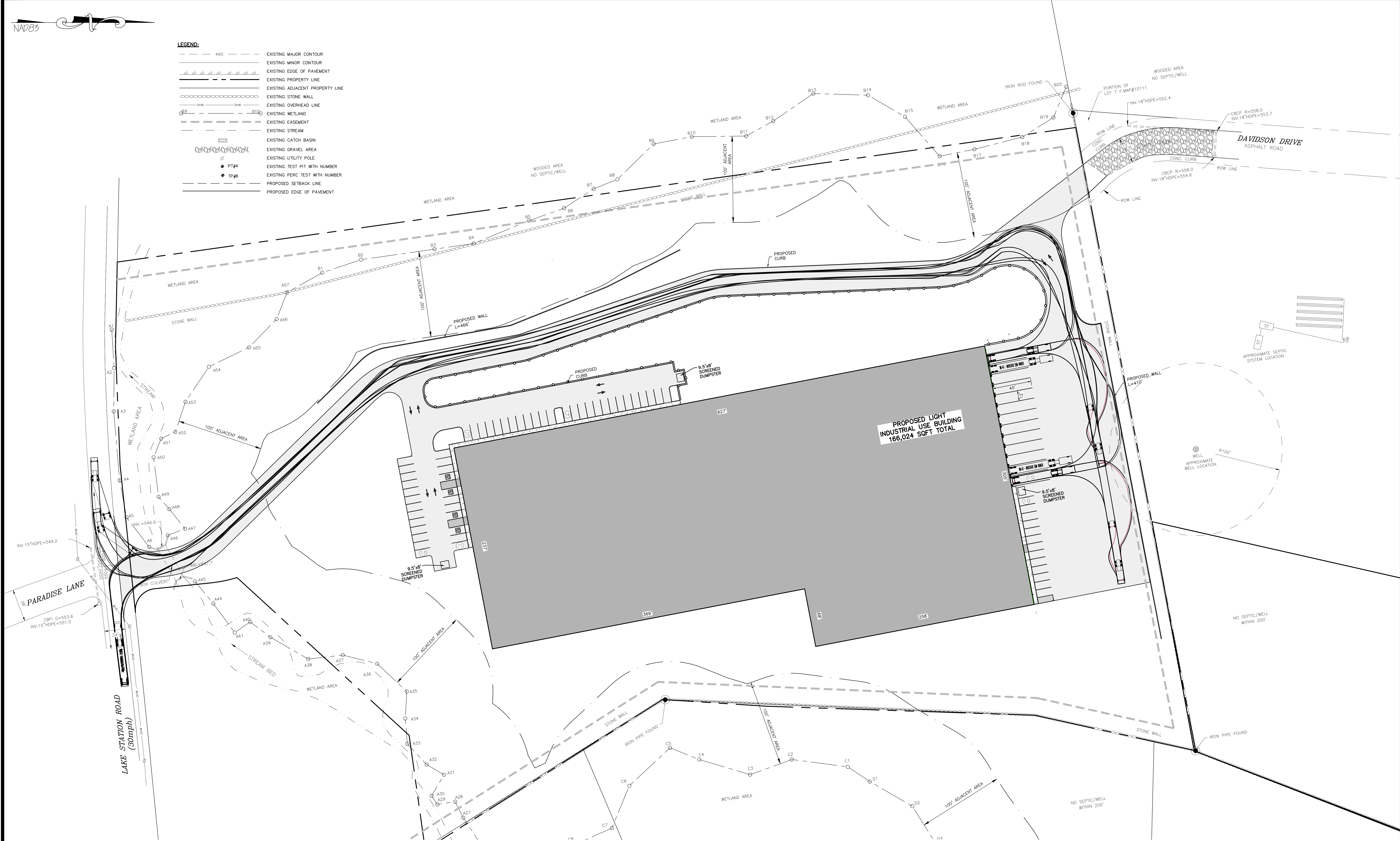
LANDSCAPING PLAN



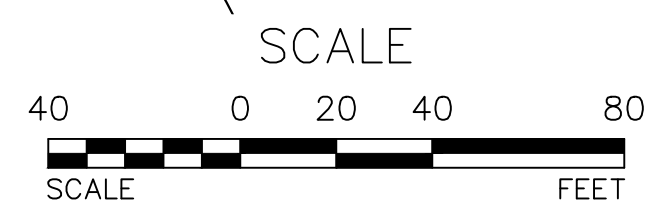




- LEGEND:**
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  - EXISTING MINOR CONTOUR
  - EXISTING EDGE OF PAVEMENT
  - EXISTING PROPERTY LINE
  - EXISTING ADJACENT PROPERTY LINE
  - EXISTING STONE WALL
  - EXISTING OVERHEAD LINE
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  - EXISTING GRAVEL AREA
  - EXISTING UTILITY POLE
  - PT#4 EXISTING TEST PIT WITH NUMBER
  - TP#6 EXISTING PERC TEST WITH NUMBER
  - PROPOSED SETBACK LINE
  - PROPOSED EDGE OF PAVEMENT



TRUCK TURNING DIAGRAM  
SCALE: 1"=40'



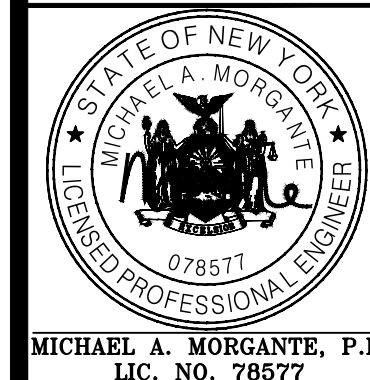
TOWN OF CHESTER PLANNING BOARD APPROVAL



REVISION	BY	DATE	DESCRIPTION
2.	MM	9/16/21	PREPARATION OF PRELIMINARY PLANS
1.	MM	3/23/21	ROAD LAYOUT REVISION PER PB MTG.

THIS SHEET IS NOT VALID WITHOUT ALL OF THE SHEETS THAT COMPRISE THE SET

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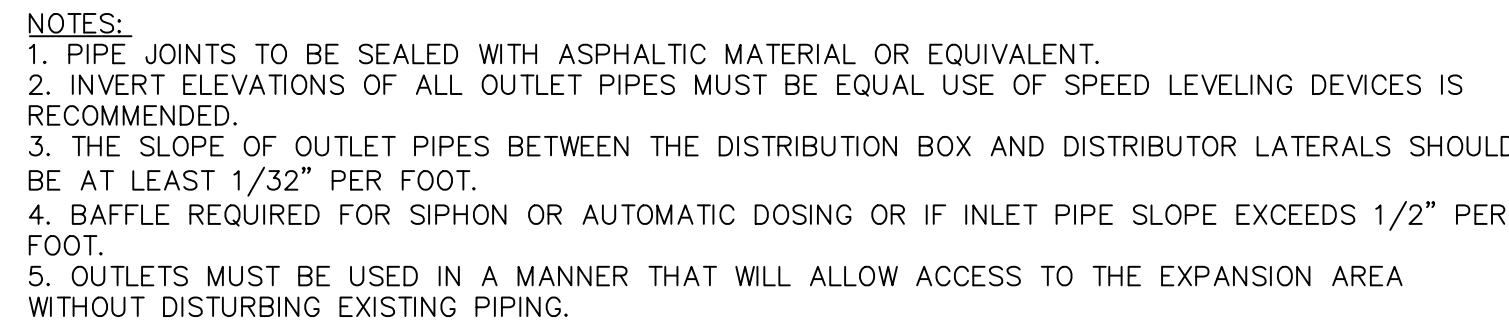
TRUCK TURNING DIAGRAM

JOB#:  
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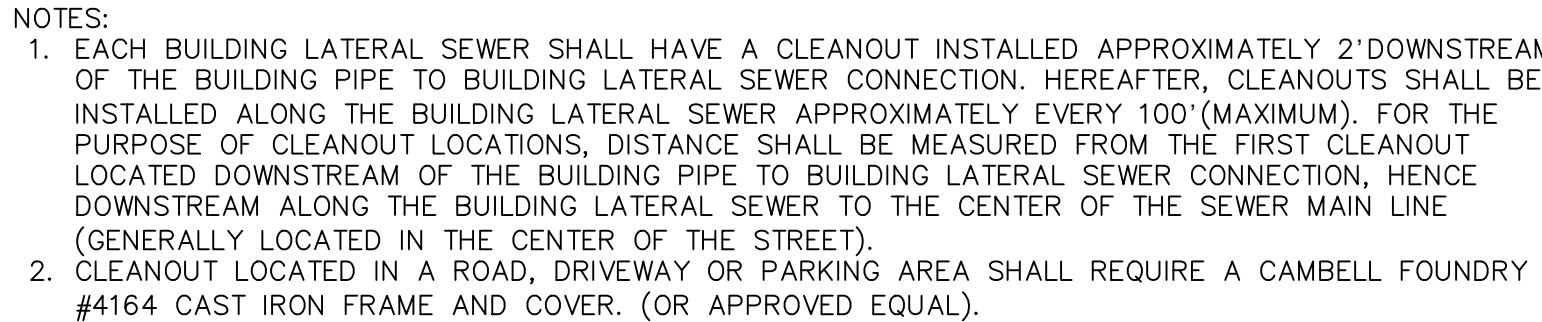


NOT TO SCALE

1. WHEN IT IS IMPOSSIBLE TO MAINTAIN PROPER HORIZONTAL OR VERTICAL SEPARATION AS SHOWN, THE SEWER SHALL BE DESIGNED AND CONSTRUCTED EQUAL TO THE WATER MAIN, AND SHALL BE PRESSURE TESTED TO ASSURE WATERTIGHTNESS PRIOR TO BACKFILLING.
2. A FULL LENGTH OF BOTH PIPES CROSSING MUST BE CENTERED AT THE CROSSING.
3. BEDDING MATERIAL SHALL BE INCREASED TO 12" BELOW THE LENGTH OF WATER MAIN PIPE FOR 10' ON EITHER SIDE OF THE CROSSING.
4. TWO LAYERS OF CAUTION TRACER TAPE SHALL BE PLACED 18" MINIMUM ABOVE STORM SEWER MAINS

1. SEPARATION DISTANCE BETWEEN WATER MAINS AND STORM/SEWER MAINS SHALL BE 10' HORIZONTAL AND 18" AT CROSSINGS. THESE SEPARATION DISTANCES MUST BE MAINTAINED UNLESS SPECIFICALLY SHOWN AND INDICATED OTHERWISE ON THE PLANS. THE PREFERRED CROSSING OPTION IS FOR THE WATER MAIN TO BE CONSTRUCTED ABOVE STORM/SEWER MAINS.
2. SEWER MAIN INCLUDES SEWER LATERALS AND STORM DRAIN.
3. WATER MAIN INCLUDES WATER SERVICE LATERALS.
4. DEFLECT WATER MAIN IN AN ARC BENEATH THE SEWER/STORM LINE. DO NOT USE FITTINGS TO DEFLECT THE WATER MAIN.

1. FULL LENGTH OF BOTH PIPES CROSSING MUST BE CENTERED AT THE CROSSING SO THAT PIPE JOINTS WILL BE AS FAR FROM EACH OTHER AS POSSIBLE (10' MIN.).
2. CONTRACTOR SHALL PROVIDE STRUCTURAL SUPPORT FOR EXISTING WATER MAIN OVER THE ENTIRE TRENCH WIDTH TO PREVENT DAMAGE TO THE WATER MAIN.
3. WATER TIGHT JOINTS WHERE WATERLINES ARE CROSSED ABOVE OR BELOW.



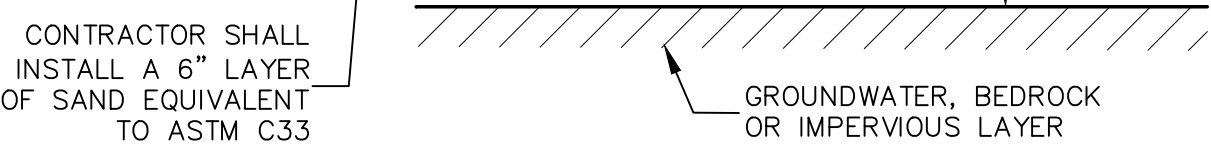
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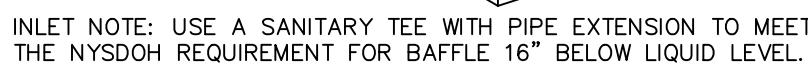
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## ELJEN IN-DRAIN SECTION

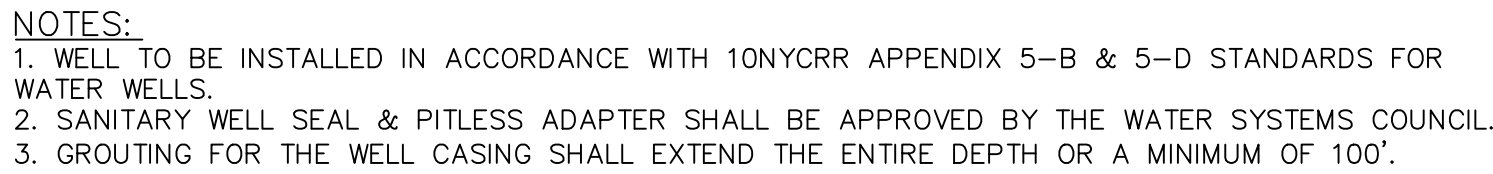
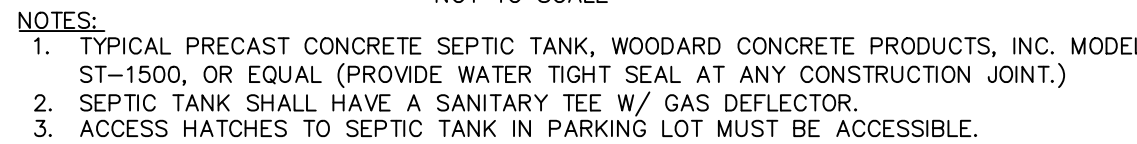
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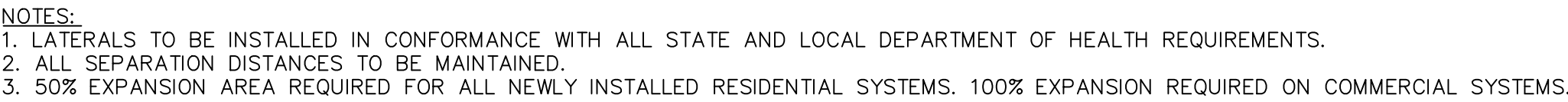


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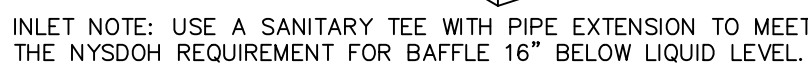


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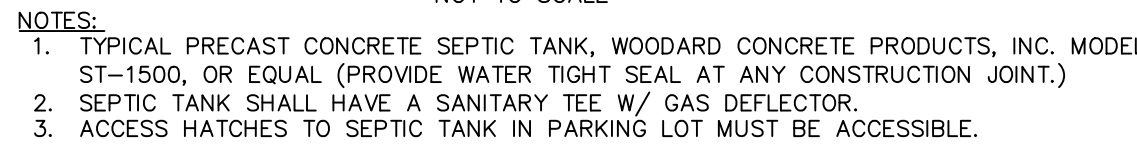
**ADDITIONAL WELL NOTES:**  
1. THE LISTED WATER WELL SEPARATION DISTANCES FROM CONTAMINANT SOURCES SHALL BE INCREASED BY 50% WHENEVER AQUIFER WATER ENTERS THE WATER WELL AT LESS THAN 50 FEET BELOW GRADE. IF A 50% INCREASE IN SEPARATION DISTANCES CAN NOT BE ACHIEVED, THEN THE GREATEST POSSIBLE INCREASE IN SEPARATION DISTANCE SHALL BE PROVIDED WITH SUCH ADDITIONAL MEASURES AS NEEDED TO PREVENT CONTAMINATION. SEE ALSO NOTE 1 TO TABLE 1 OF APPENDIX 5-D.



NOT TO SCALE



NOT TO SCALE



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1. THE DESIGN AND LOCATION OF SANITARY (WATER & SEWER) SYSTEMS SHALL NOT BE CHANGED.
2. ALL WELLS W/1 200' OF THE PROJECT HAVE BEEN LOCATED AND SHOWN ON THE PLANS.
3. TRENCHES SHALL NOT BE INSTALLED IN WET SOIL. THE SIDES AND BOTTOM OF TRENCHES SHALL BE RAKED. THE ENDS OF ALL OF THE LATERALS MUST BE CAPPED, AND THERE SHALL BE NO GRADING, EXCEPT AS SHOWN ON THE APPROVED PLANS, IN THE AREA OF THE ABSORPTION FIELDS.
4. HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELDS AND THE AREA OF THE SEWAGE DISPOSAL AREA UNTIL AFTER THE COMPLETION OF MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING, OR AFTER CONSTRUCTION. EXTREME CARE MUST BE TAKEN DURING THE ACTUAL CONSTRUCTION SO AS TO AVOID ANY UNDUE COMPACTION THAT COULD BE IN THE AREA OF THE ABSORPTION CAPACITY OF THE SOIL ON WHICH THE DESIGN WAS BASED.
5. THIS SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS, JACUZZI TUBS, HOT TUBS, OR OTHER SUCH ITEMS. SUCH ITEMS SHALL NOT BE INSTALLED UNLESS THE SYSTEM IS REDESIGNED TO ACCOUNT FOR THEM AND REAPPROVED BY THE ODOH.
6. THERE MUST BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC (OR ANY PUMPING OR DOWNSH CHAMBER) TO THE ABSORPTION BUILDING, ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT.
7. THE OWNER/APPLICANT SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT DRAWING WITH ANY EXISTING SANITARY FACILITIES. THE OWNER/APPLICANT SHALL ALSO BE ADVISED OF ANY ROUTINE OR SPECIAL MAINTENANCE PROCEDURES THAT MAY BE NECESSARY.
8. INDIVIDUAL WELLS AND SEWAGE DISPOSAL SYSTEMS SHALL NO LONGER BE CONSTRUCTED OR USED WHEN PUBLIC FACILITIES BECOME AVAILABLE. CONNECTION TO A PUBLIC OR SEWER SYSTEM IS DESIRED BY THE OWNER OF THE TRACT.
9. A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER SHALL INSPECT THE SANITARY FACILITIES AT THE TIME OF CONSTRUCTION. THE ENGINEER SHALL CERTIFY THAT THE CONSTRUCTION OF THE SANITARY FACILITIES MEETS THE REQUIREMENTS. UTILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT ANY SEPTIC TANK JOINTS HAVE BEEN SEALED AND TESTED FOR WATER TIGHTNESS.
10. AEROBIC SEPTIC TANK AND PUMP CHAMBER TO BE REINFORCED CONCRETE.
11. ALL SEPTIC TANKS SHALL BE INSTALLED WITH A STRAIGHT RUN TO THE ABSORPTION FIELDS.
12. NO CELLAR, FOOTING, OR ROOF DRAINS SHALL DISCHARGE INTO SEPTIC TANKS OR DRAIN FIELDS. THERE ARE NO FOOTING DRAINS FOR THE EXISTING SUBSTANCE OR RESIDENCE.
13. THE SEWAGE DISPOSAL SYSTEM SHALL BE DESIGNED, LOCATED AND CONSTRUCTED TO ALLOW FOR A 50% EXPANSION FOR TIE FIELDS AND 100% EXPANSION FOR ELUJEN SYSTEMS CAPABILITY FOR FUTURE USE.
14. INSTALL TRENCHES PARALLEL TO THE CONTOURS.
15. DRIVEWAYS AND OTHER STRUCTURES WHICH MAY COMPACT THE SOILS SHALL NOT BE CONSTRUCTED ON TOP OF ABSORPTION FIELD.
16. THE SEWAGE DISPOSAL AREA SHALL BE SEPARATE FROM THE SEWAGE DISPOSAL AREA AND THE FUTURE EXPANSION AREA.
17. SEPTIC TANK INLETS TO BE OPPOSITE OUTLETS.
18. ALL ON SITE SANITATION AND SEWAGE SUPPLY FACILITIES SHALL BE BUILT IN ACCORDANCE WITH "WASTE TREATMENT HANDBOOK" INDIVIDUAL HOUSEHOLD SYSTEMS (10 NYCRR 75) OF THE N.Y.S. DEPARTMENT OF HEALTH 1966 DESIGN HANDBOOK.
19. ALL TREES, STUMPS, BRUSH, WEEDS, ETC. SHALL BE CUT TO GRADE AND REMOVED. ALL LEAVES, LIMBS, AND BOULDER ABOVE GRADE SHALL BE CAREFULLY REMOVED.
20. CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE AND PROPERLY ABANDON EXISTING UTILITIES.
21. THE SUBJECT PROPERTY DOES NOT LIE WITHIN A PUBLIC WATERED AND THERE WILL BE NO CONSTRUCTION ON WATERSHED LANDS.
22. ORANGE COUNTY DEPARTMENT OF HEALTH PLAN APPROVAL IS LIMITED TO 5 YEARS. THE PERMIT FOR CONSTRUCTION SHALL BE GRANTED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH BASED UPON REGULATIONS IN EFFECT AT THAT TIME. A NEW PLAN SUBMISSION MAY BE REQUIRED TO OBTAIN A TIME EXTENSION.
23. ALL ROOF AND FOOTING DRAINS MUST DISCHARGE AWAY FROM SANITARY ABSORPTION FACILITIES.
24. NO LOT IS TO BE FURTHER SUBDIVIDED WITHOUT ORANGE COUNTY DEPARTMENT OF HEALTH REVIEW AND APPROVAL.
25. SEPTIC TANK SHALL BE INSPECTED PERIODICALLY AND PUMPED EVERY 2-3 YEARS.
26. PUMP STATIONS/DOSING CHAMBERS SHOULD BE INSPECTED PERIODICALLY BY A PROFESSIONAL ENGINEER DURING OPERATION, INCLUDING HIGH WATER ALARMS, VENTING & ANY PHYSICAL DAMAGE.
28. DISTRIBUTION BOXES SHOULD BE INSPECTED PERIODICALLY TO ASSURE THAT THEY ARE LEVEL AND OPERATING PROPERLY.
29. THE PERMITTING PROCESS MUST BE COMPLETED WITH THE ORANGE COUNTY CLERK'S OFFICE PRIOR TO OFFERING LOTS FOR SALE AND WITHIN 90 DAYS OF THE LAST APPROVAL OF FINAL PLANS.

ORANGE COUNTY HEALTH DEPT. AEROBIC UNIT NOTES

1. PRIOR TO COMPLETION OF CONSTRUCTION AND/OR ISSUANCE OF A CERTIFICATE OF ADOPTION OF SERVICE CONTRACT, CONTRACTOR IS LIMITED TO THE ORANGE COUNTY DEPT. OF HEALTH AND THE LOCAL CODE ENFORCEMENT OFFICER. THIS CONTRACT MUST INCLUDE THE FOLLOWING:

- A. A MINIMUM DURATION OF 3 YEARS.
- B. SEMI-ANNUAL SERVICE INSPECTIONS BY A QUALIFIED INDIVIDUAL.
- C. AT THE TIME ANY AEROBIC UNITS ARE INSTALLED, AND THE AEROBIC UNIT(S) EFFECTIVENESS IS IN QUESTION, SEMI-ANNUAL EFFLUENT TESTING FOR AMMONIA, NITRATE, OXYGEN DEFICIT, AND TOTAL SUSPENDED SOLIDS (TSS), AND ANY OTHER PARAMETERS THAT MAY BE NECESSARY TO SHOW COMPLIANCE WITH NSF STANDARD 40, CLASS 1 (USEPA SECONDARY TREATMENT GUIDELINES). ANALYSES SHALL BE CONDUCTED BY A QUALIFIED SERVICE PROVIDER.
- D. THE UNIT SHALL BE PUMPED OUT AT LEAST EVERY 3 YEARS, OR MORE FREQUENTLY IF DETERMINED NECESSARY BY THE SERVICE PERSONNEL.

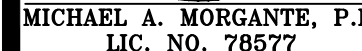
2. REGARDING THE CONTRACT, IF THE CONTRACT IS NOT ACCEPTED, IF THE HOMEOWNER SO CHOOSES, A DIFFERENT QUALIFIED SERVICE PROVIDER CAN BE CHOSEN.

3. ANY SERVICE CONTRACT MEETING ALL REQUIREMENTS OF NOTE #1 MUST BE IN EFFECT FOR THE LIFE OF THE AEROBIC UNIT.

REVISION	BY	DATE	DESCRIPTION
3.	MM	9/16/21	PREPARATION OF PRELIMINARY PLANS
2.	MM	5/19/21	REVISION PER PB MTG. & COMMENT LETTERS
1.	MM	3/23/21	ROAD LAYOUT REVISION PER PB MTG.

THIS SHEET IS NOT VALID WITHOUT ALL OF THE SHEETS THAT COMPRISE THE SET

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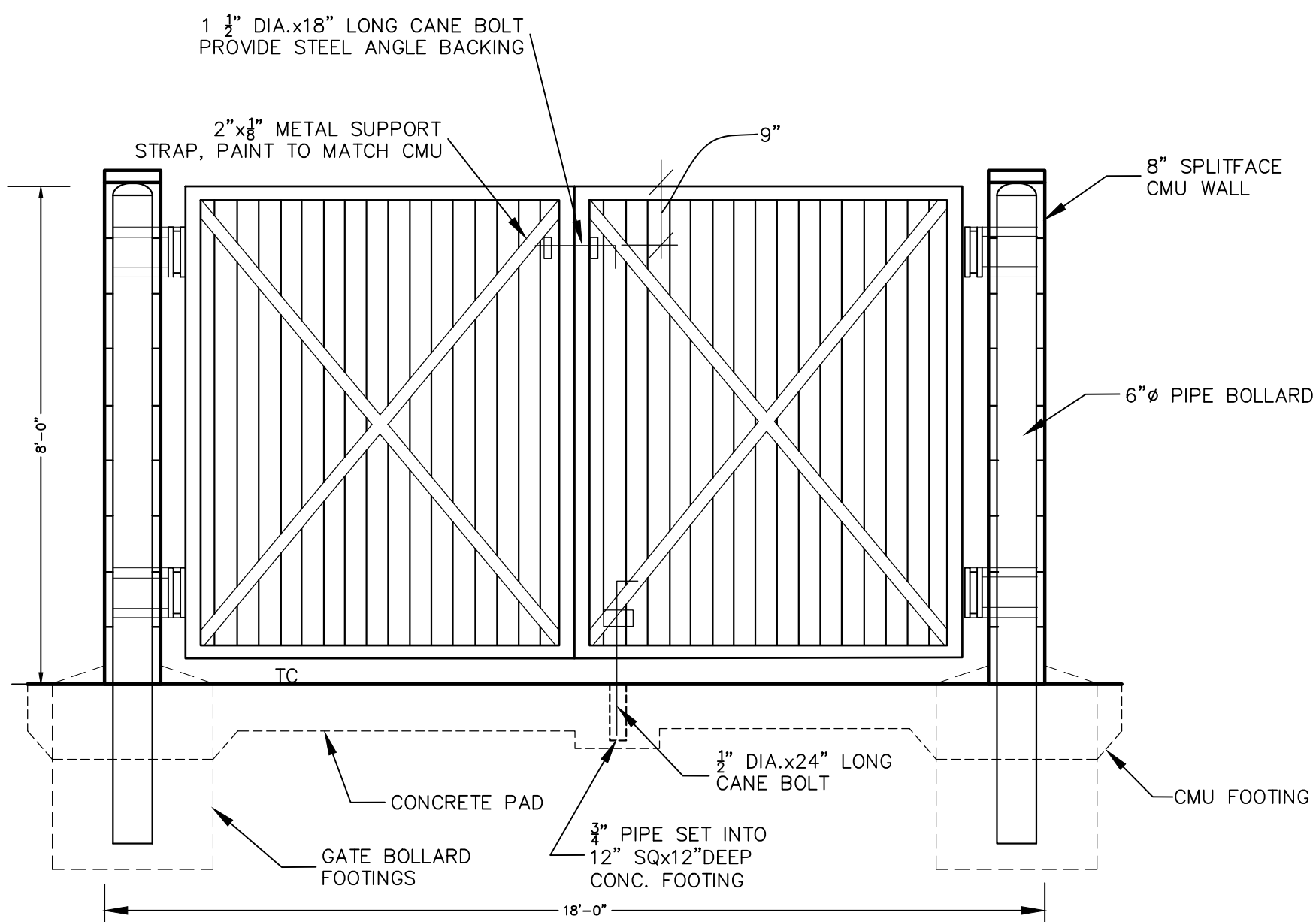


SITE PLAN & LOT LINE COMBINATION FOR  
DAVIDSON DRIVE HOLDINGS, LLC  
LAKE STATION ROAD  
TOWN OF CHESTER, COUNTY OF ORANGE, N

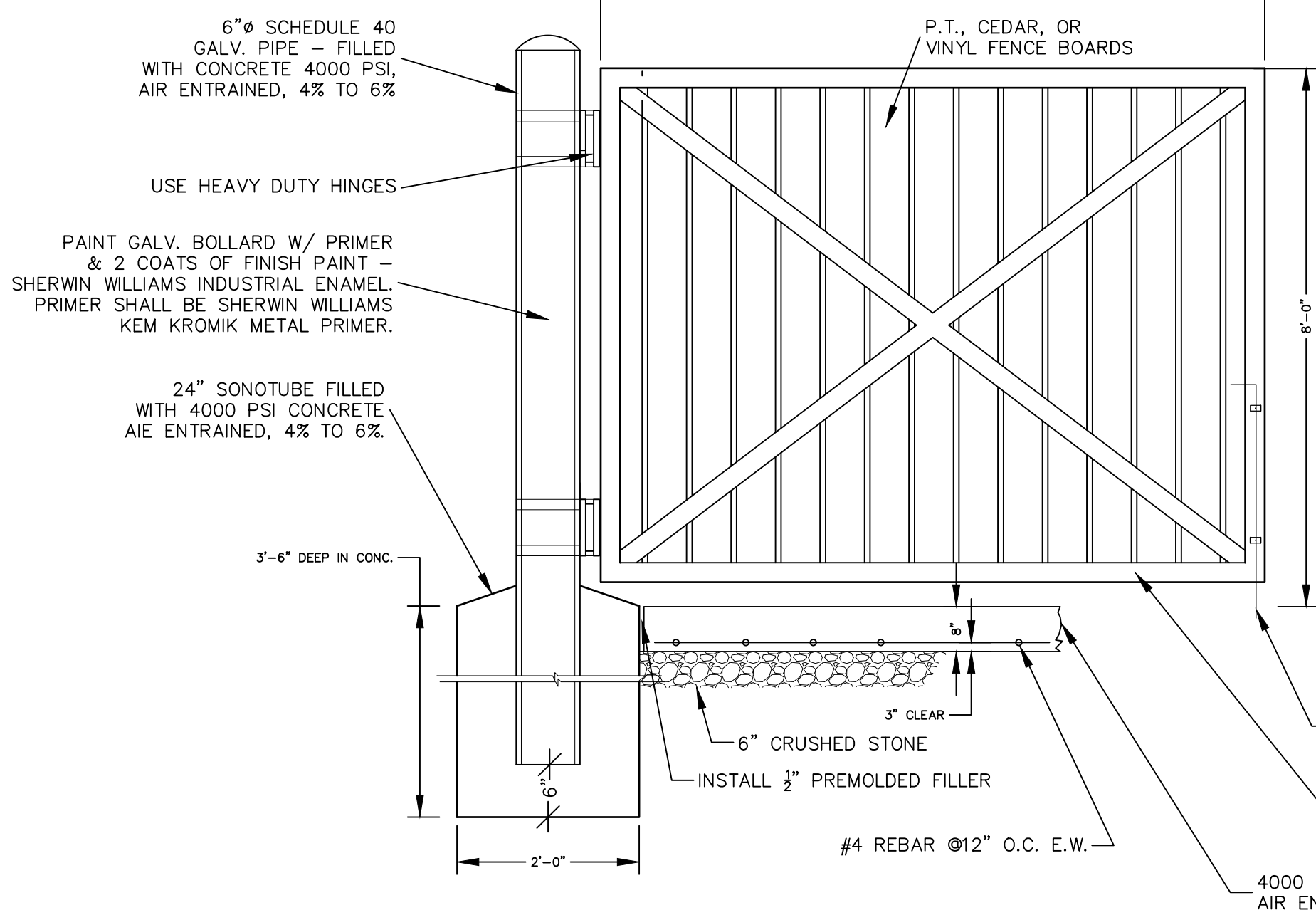
## SDS DETAILS

JOB#:  
 20-030  
 SCALE:  
 AS NOTED  
 DATE:  
 2-17-21  
 DRAWN:  
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 SHEET NO.  
 15 OF 17



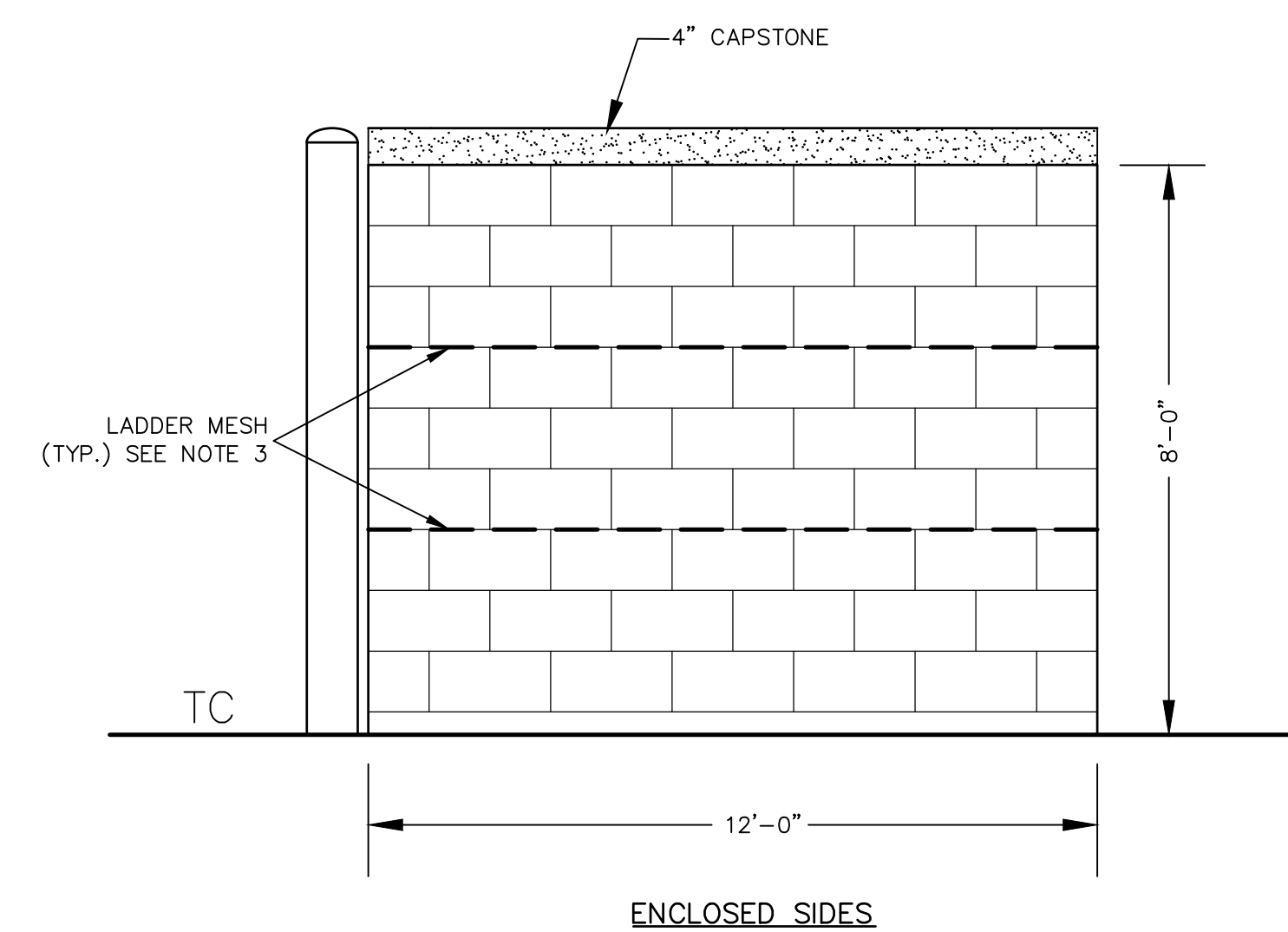


PICK UP ENTRANCE  
NOT TO SCALE



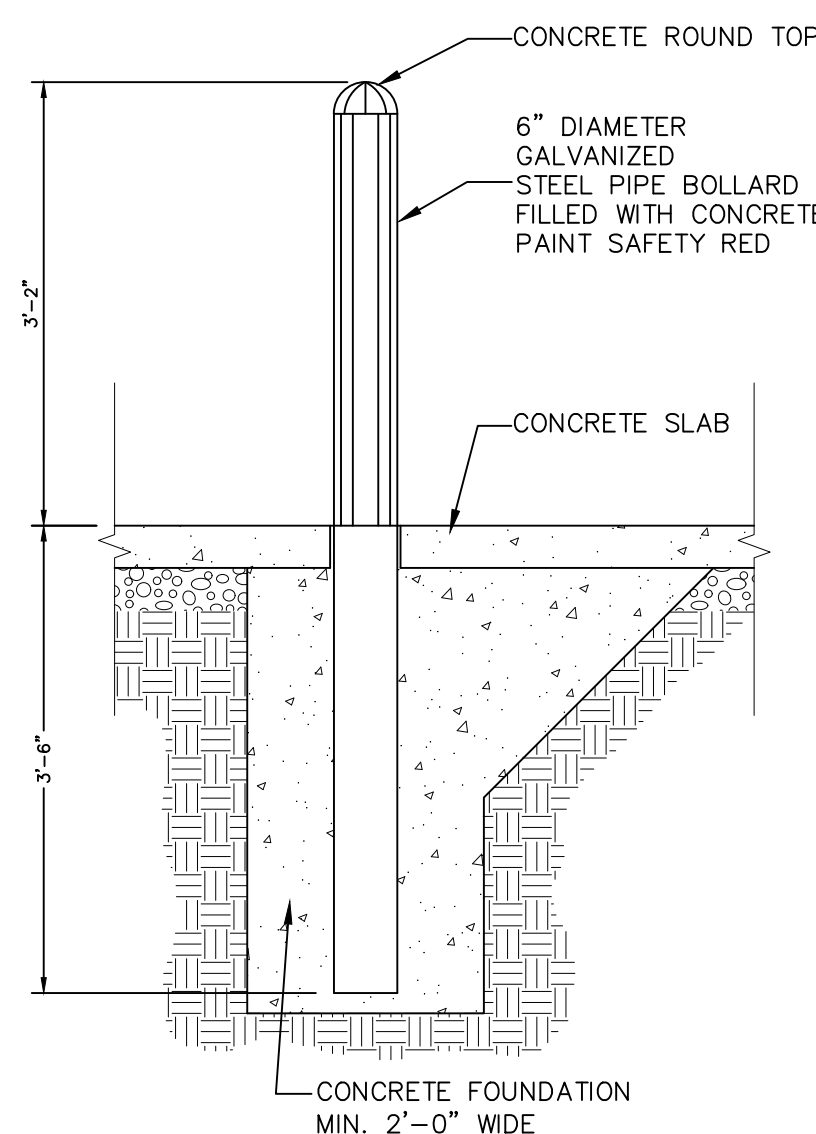
- NOTES:
1. TREAT ALL CEDAR WITH 1 COAT CLEAR WATER REPELLANT.
  2. PROVIDE DOUBLE GATE - ONLY ONE HALF SHOWN.

CMU DUMPSTER ENCLOSURE GATE  
NOT TO SCALE

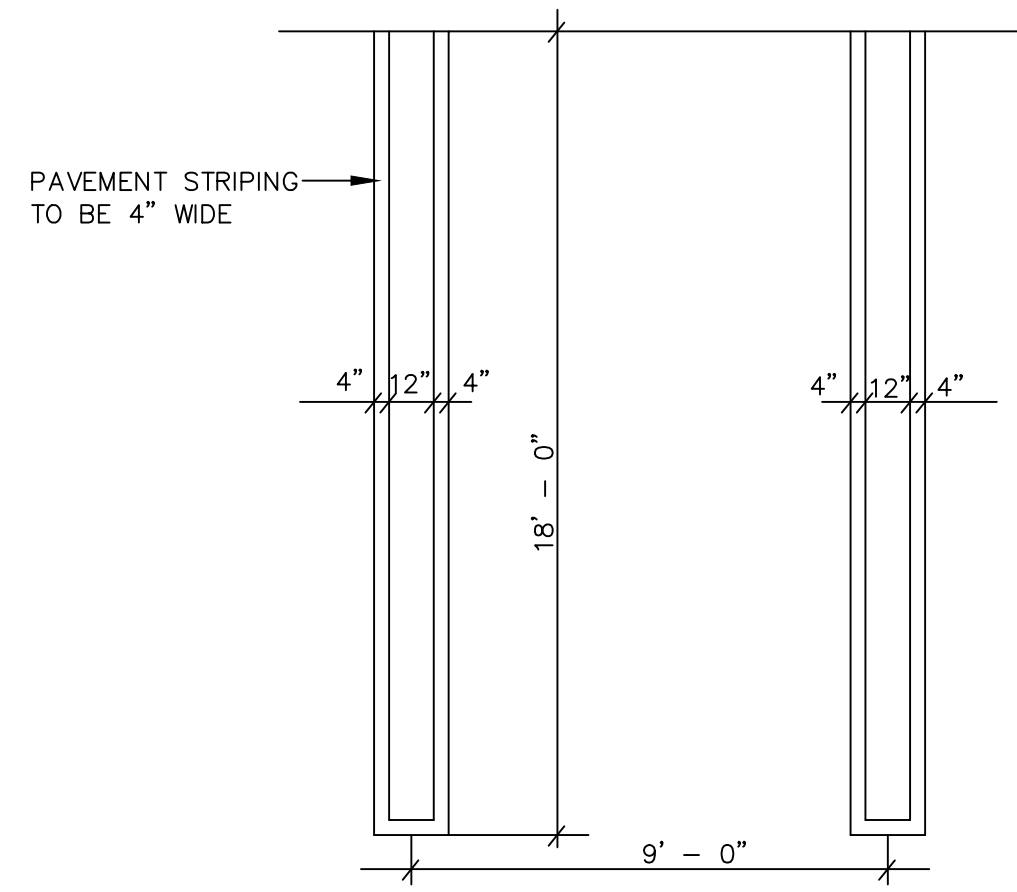


- NOTES:
1. REFUSE ENCLOSURE TO BE CONSTRUCTED OF 8" SOLID TEXTURED MASONRY BLOCK WITH FACADE TO MATCH PROPOSED BUILDING OR AS APPROVED BY PLANNING BOARD.
  2. CONCRETE SLAB TO HAVE 2" RAISED LIP AROUND THREE SIDES.
  3. LADDER MESH REINFORCEMENT EVERY EVERY THIRD VERTICAL ROW (24" O.C. TYP.) OR AS RECOMMENDED BY THE MANUFACTURER.
  4. ALL CONCRETE SHALL BE 4,000 PSI & 4%-6% AIR ENTRAINMENT.
  5. INSTALL (2) CONCRETE BOLLARDS SPACED 6 FT. APART ALONG REAR WALL OF THE REFUSE ENCLOSURE.

CMU DUMPSTER ENCLOSURE  
NOT TO SCALE

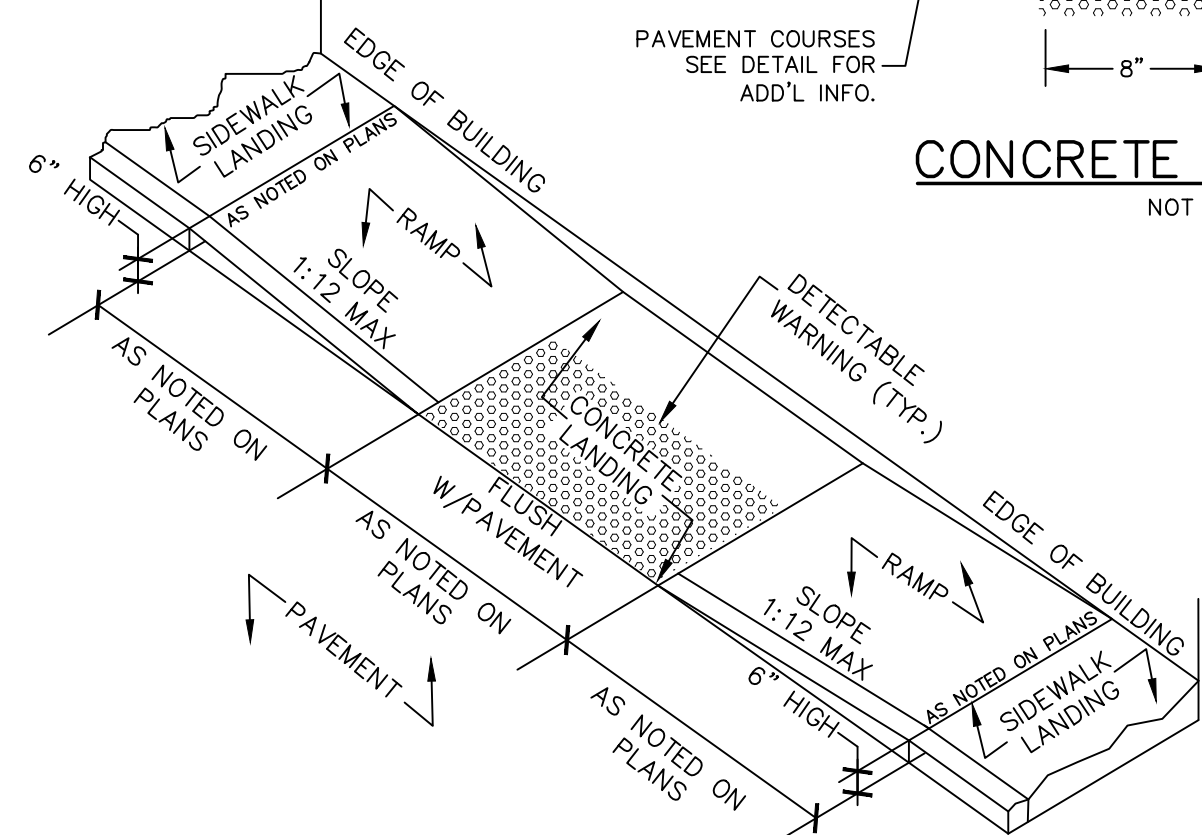


BOLLARD DETAIL  
NOT TO SCALE



PARKING LOT STRIPING DETAIL  
NOT TO SCALE

NOTE: ALL PARKING AREAS TO BE RESTRIPTED YEARLY OR AS REQUIRED



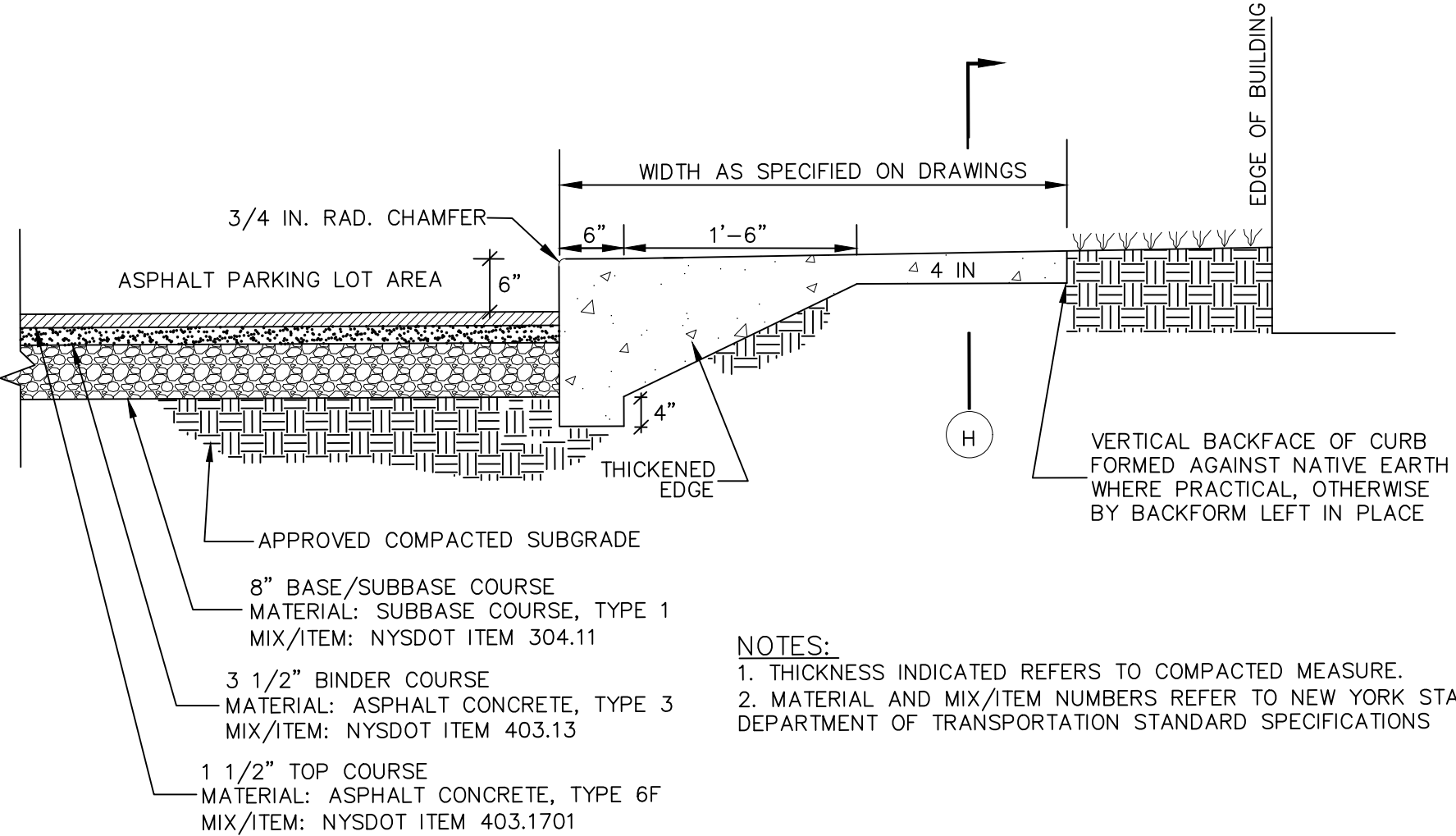
CONCRETE CURB DETAIL  
NOT TO SCALE

- NOTES:
1. ALL CROSS-SLOPES SHALL BE 1:50 OR LESS.
  2. ALL RUNNING SLOPES LEADING TO ACCESSIBLE LANDING SHALL NOT EXCEED 1:20.
  3. SIDEWALK LANDINGS SHALL BE 5'x5' MIN.
  4. ENTRANCE TO BUILDING SHALL HAVE A 5'x5' CLEAR AREA WHEN DOORS ARE OPEN.
  5. DETECTABLE WARNING STRIP TO CONTRAST VISUALLY WITH ADJOINING SURFACES EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.

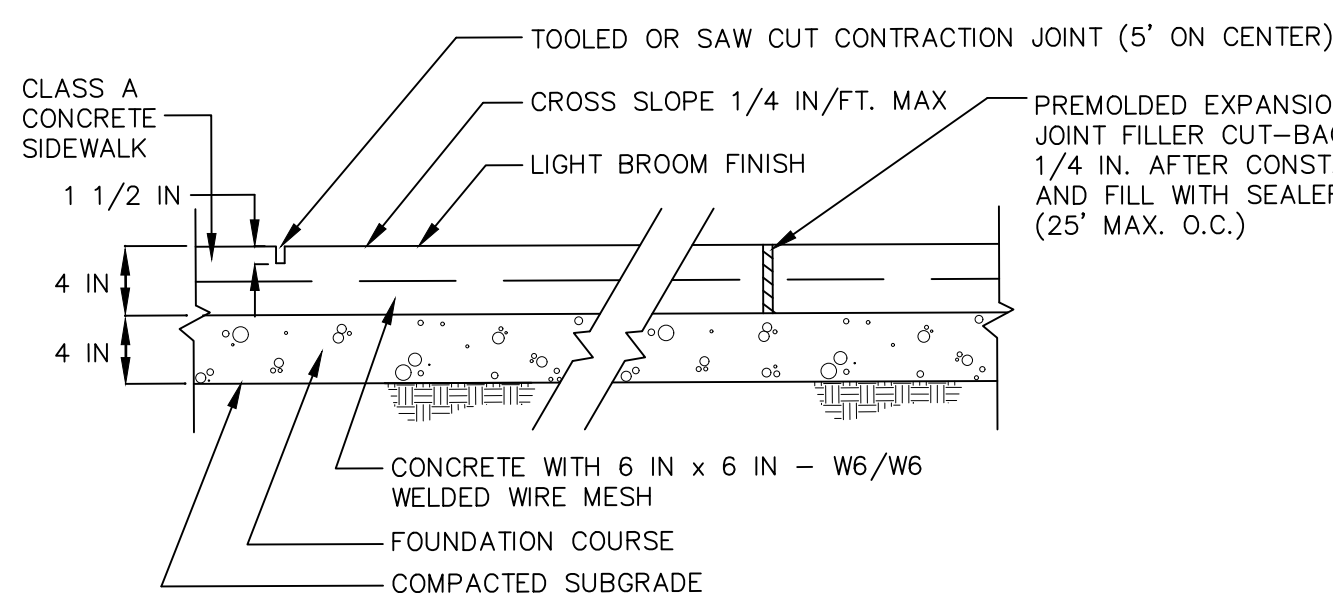
IN-LINE ACCESSIBLE RAMP  
NOT TO SCALE

#### SITE ACCESSIBILITY NOTES:

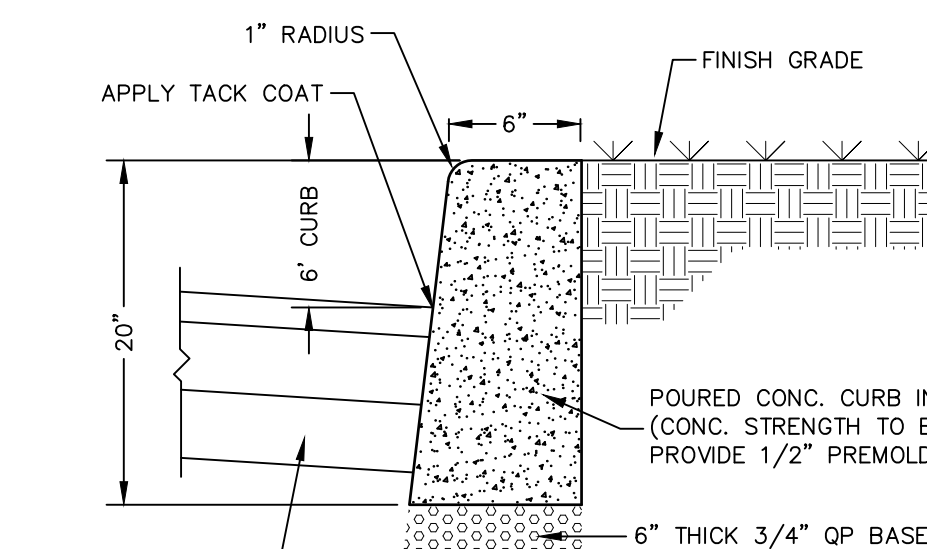
1. REFER TO SITE PLAN FOR EXACT LOCATION OF HANDICAP PARKING, WALKWAYS AND RAMPS.
2. ALL WALKWAYS, RAMPS, AND HANDICAP PARKING SIGNAGE, ETC. SHALL MEET APPROVED AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS AND LOCAL ACCESSIBILITY CODE.
3. ONE OUT OF EVERY EIGHT (8) ACCESSIBLE PARKING SPACES, BUT NOT LESS THAN ONE, IS REQUIRED TO BE VAN ACCESSIBLE.
4. ALL CONCRETE ACCESSIBLE RAMPS (3000 PSI) SURFACES SHALL HAVE TRUNCATED DOMES PER ADA STANDARDS AND LOCAL ACCESSIBILITY CODE.
5. ALL CONCRETE ACCESSIBLE RAMPS SHALL BE COLOR IMPREGNATED TO PROVIDE VISUAL CONTRAST (DARK TO LIGHT) WITH ADJOINING CONCRETE SURFACES (MINIMUM 70% COLOR CONTRAST).
6. THE MATERIAL USED TO PROVIDE COLOR CONTRAST IN CONCRETE ACCESSIBLE RAMPS SHALL BE AN INTEGRAL (PERMANENT) PART OF THE CONCRETE AND SHALL NOT BE PAINTED ON OR CAPABLE OF FADING OR WEARING OFF.
7. FINISHED GRADES OF PAVEMENT IN HC PARKING AND ACCESSIBILITY AISLE SHALL NOT EXCEED 1:50 SLOPE IN ANY DIRECTION.



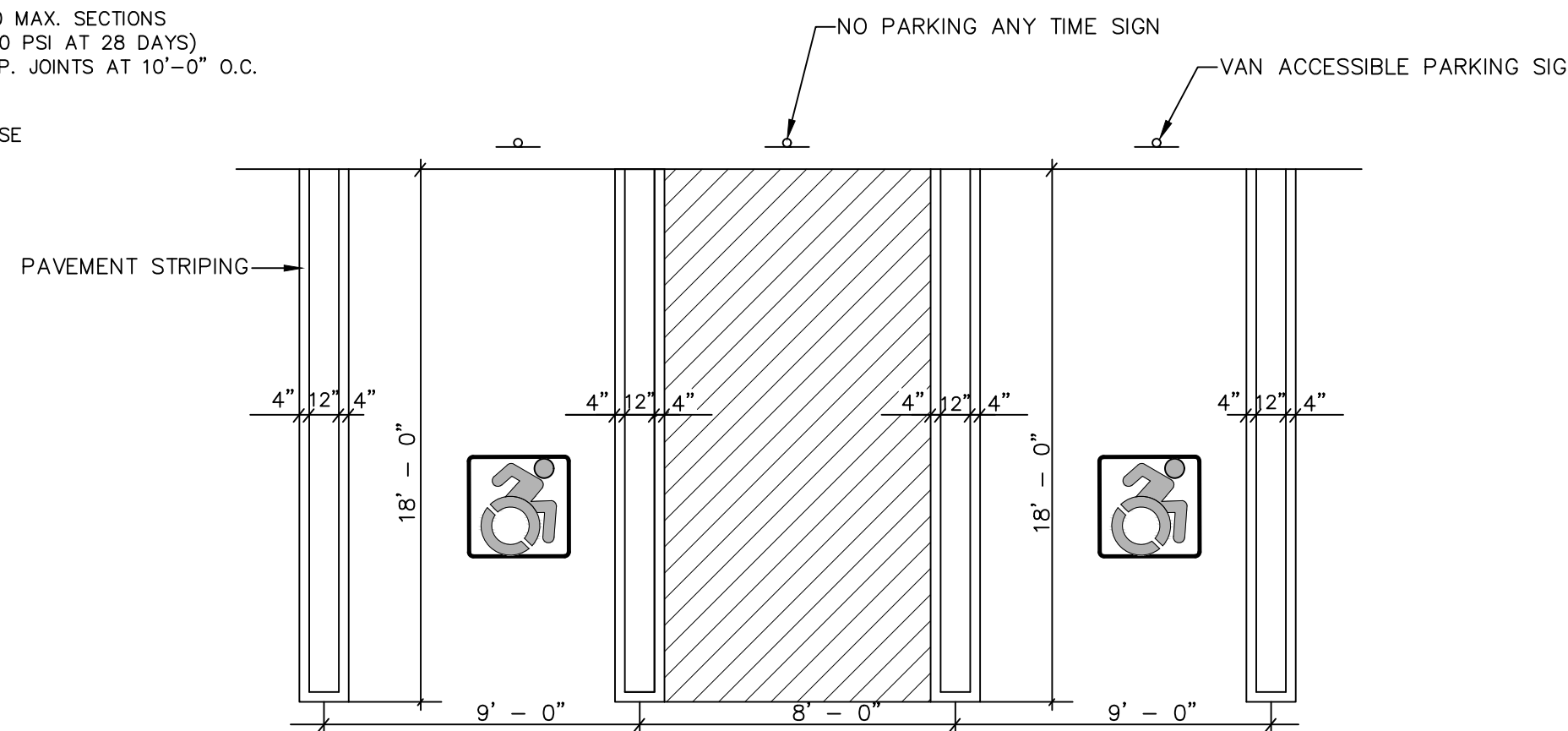
PAVEMENT & SIDEWALK WITH MONOLITHIC CURB  
NOT TO SCALE



TYPICAL SIDEWALK SECTION  
NOT TO SCALE

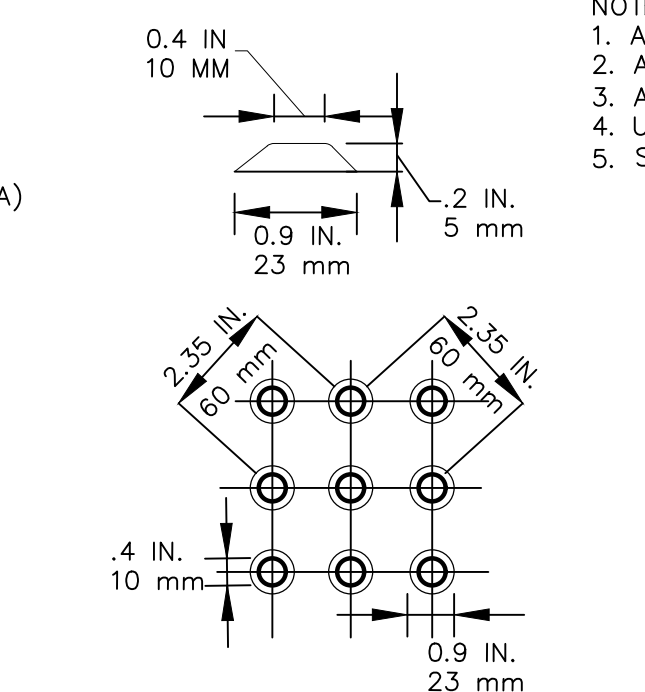


TYPICAL ASPHALT DETAIL FOR PARKING AREAS  
NOT TO SCALE



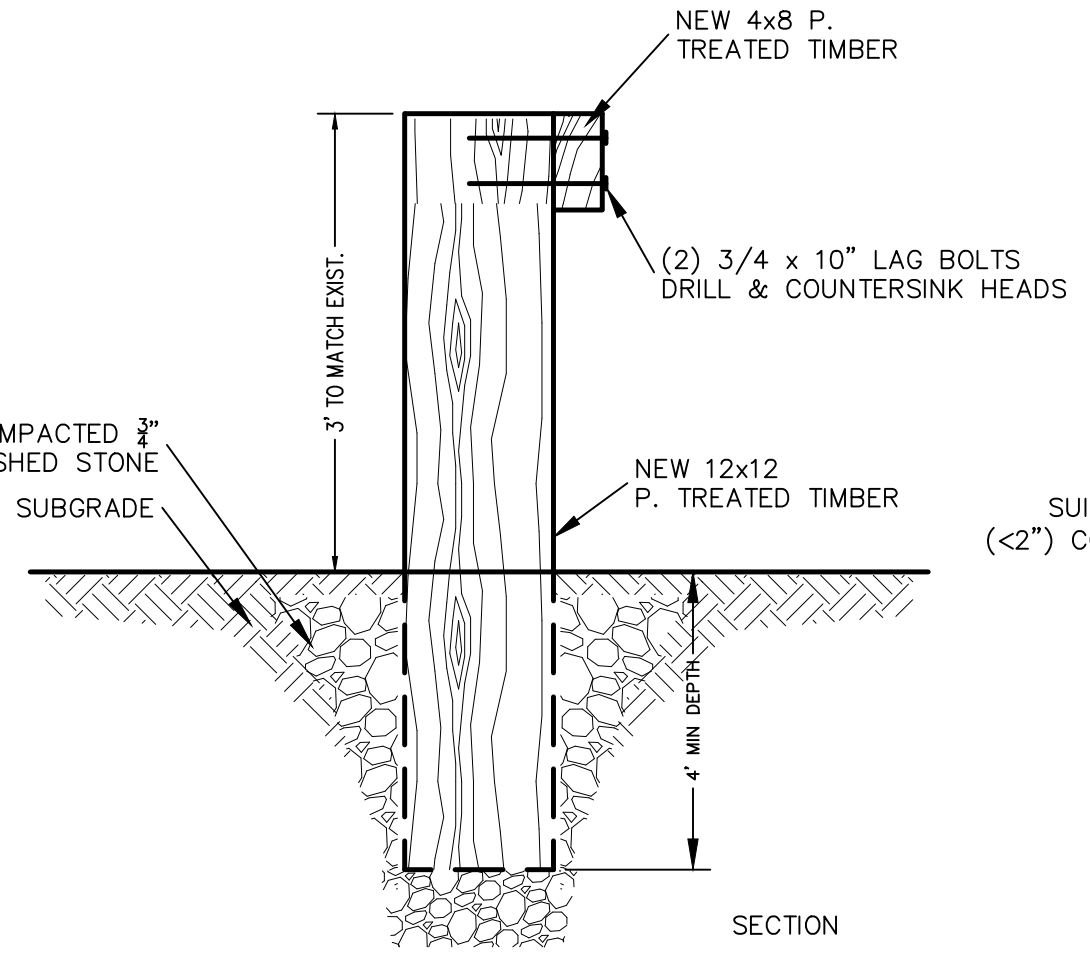
ACCESSIBLE PARKING SPACE & STRIPING DETAIL  
NOT TO SCALE

- NOTES:
1. ALL SLOPES WITHIN THE HANDICAP PARKING AND LOADING AREAS, SHALL BE 1:50 OR LESS.
  2. ALL RUNNING SLOPES LEADING TO ACCESSIBLE PARKING SHALL NOT EXCEED 1:20.
  3. ACCESSIBLE AISLE STRIPING SPACED 2' O.C. AT A 45° ANGLE.
  4. UTILIZE BLUE & WHITE EPOXY RESIN DYNAMIC SYMBOL OF ACCESSIBILITY.
  5. STRIPED LOADING AND UNLOADING AREA: 60' MIN. OR 96' MIN. FOR VANS.

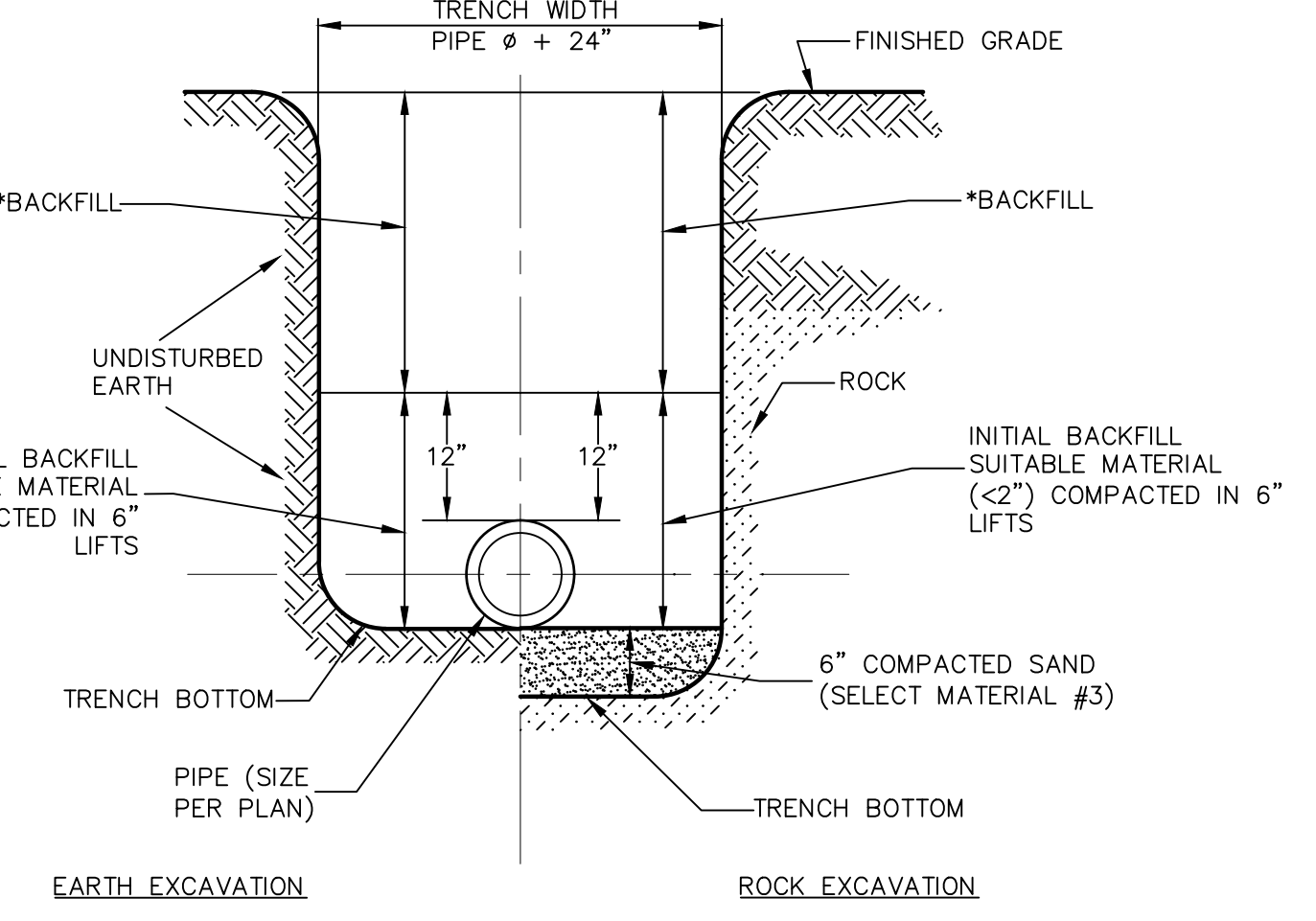


DETECTABLE WARNING PAD DETAIL  
NOT TO SCALE

- NOTES:
1. TRUNCATED DOME PATTERN.
  2. ROWS OF TRUNCATED DOMES ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE CURB RAMP/LANDING AND THE STREET.
  3. FULL WIDTH OF CURB RAMP/LANDING CONNECTION TO THE STREET.
  4. DEPTH: 24-INCH MINIMUM.
  5. INSTALLED AT BACK OF CURB.
  6. CONTRASTS WITH BACKGROUND (LIGHT-ON-DARK OR DARK-ON-LIGHT).



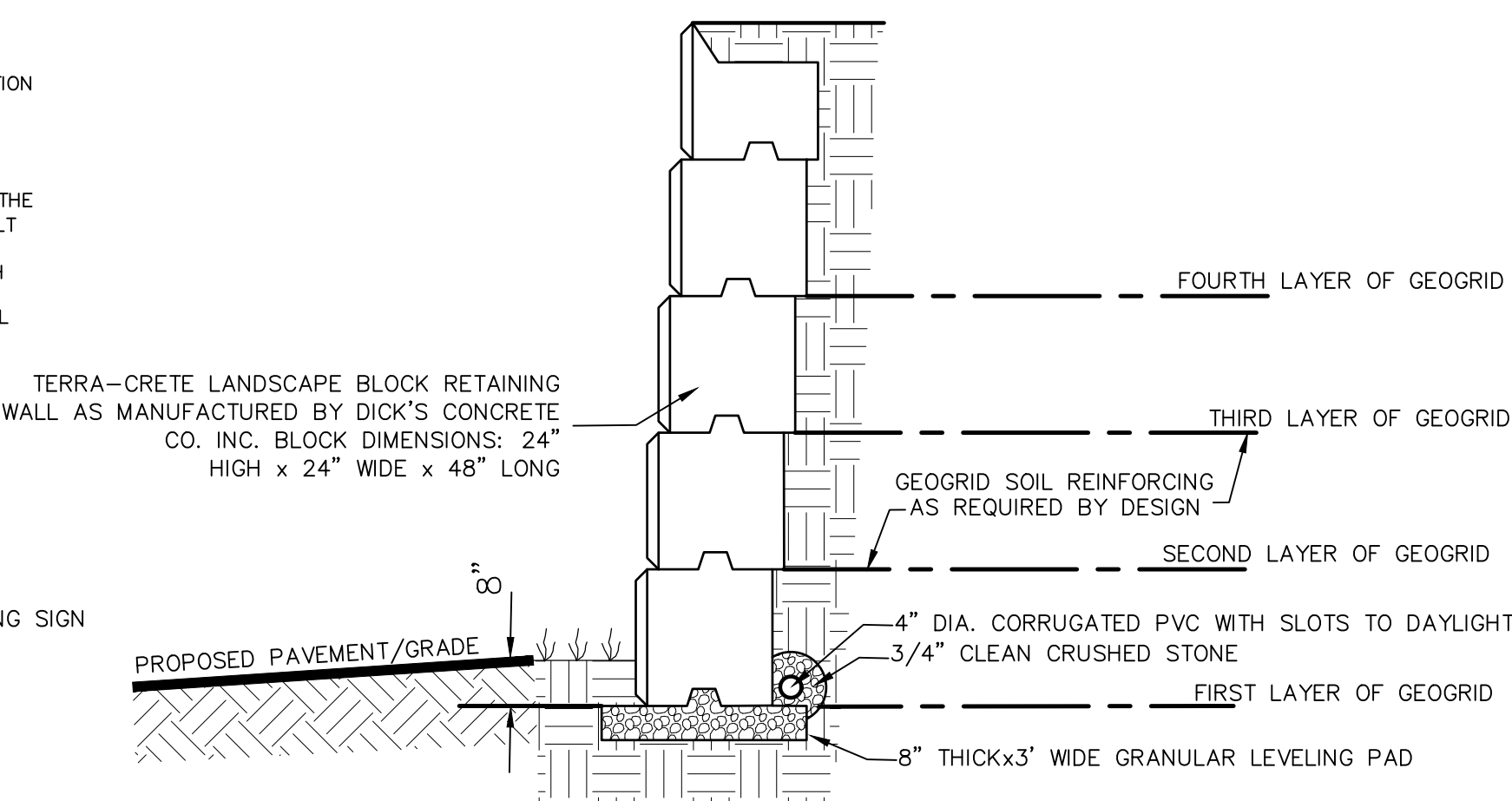
TIMBER GUIDE RAIL  
NOT TO SCALE



TRENCH CROSS SECTION  
NOT TO SCALE

- NOTES:
1. TRENCHES IN PAVED AREAS SHALL UTILIZE THE PAVEMENT REPLACEMENT DETAIL FOUND ON THIS SHEET.
  2. FULL DEPTH ROB GRAVEL OR ITEM 4 COMPACTED TO 95% MODIFIED PROCTOR UNDER PAVED AREAS.

\* BACKFILL TO BE COMPACTED IN 8" LIFTS WITH NO STONES OVER 8" IN ANY DIMENSION.



TERRA-CRETE RETAINING WALL  
NOT TO SCALE

- NOTES:
1. INSTALL PER MANUFACTURERS SPECIFICATIONS.
  2. BACKFILL MUST BE AN ENGINEERED PRODUCT - COMPACTED IN LIFTS TO A 95% MAX. DENSITY & A MOISTURE CONTENT OF 0%-3%.
  3. DESIGN IS BASED ON A 27 DEGREE FRICTION ANGLE OF SOIL.
  4. GEOGRID MUST BE MANUFACTURER'S SPECIFIED MATERIAL.

#### TYPICAL DESIGN:

1. NUMBER OF BLOCKS 2 - NO GEOGRID LAYER
2. NUMBER OF BLOCKS 3 - FIRST LAYER OF GEOGRID - 5' WIDE SECOND LAYER OF GEOGRID - 6.5' WIDE
3. NUMBER OF BLOCKS 4 - FIRST LAYER OF GEOGRID - 6' WIDE SECOND LAYER OF GEOGRID - 6' WIDE THIRD LAYER OF GEOGRID - 7.5' WIDE
4. NUMBER OF BLOCKS 5 - FIRST LAYER OF GEOGRID - 7' WIDE SECOND LAYER OF GEOGRID - 7' WIDE THIRD LAYER OF GEOGRID - 7' WIDE FOURTH LAYER OF GEOGRID - 9' WIDE

#### RETAINING WALL NOTES:

1. CONTRACTOR MUST VERIFY SOIL CHARACTERISTICS ENCOUNTERED UPON EXCAVATION TO PREPARE RETAINING WALL DESIGN. ADDITIONAL TESTS & REVIEW OF SOILS AT FOOTING BEARING DEPTH IS REQUIRED & SHALL BE CONDUCTED BY A LICENSED GEOTECHNICAL ENGINEER IN THE STATE OF NEW YORK PRIOR TO INSTALLATION. RETAINING WALL DESIGN SHALL BE SUBMITTED TO THE BUILDING INSPECTOR FOR RECORD PRIOR TO CONSTRUCTION. SUCH DESIGN DRAWINGS (OR SHOP DRAWINGS) SHALL BEAR THE STAMP AND SIGNATURE OF SUCH ENGINEER, AND SHALL BE SPECIFIC FOR THE SITE AND SPECIFIC TO THE RETAINING WALL SYSTEM TO BE UTILIZED AND SHALL CONSIDER ALL APPROPRIATE AND NECESSARY POSSIBLE LOADINGS AND CONDITIONS RELATED TO THIS PROJECT.
2. THE AFOREMENTIONED DESIGN AND DETAILS SHALL CONSIDER / IDENTIFY / INCLUDE BUT SHALL NOT BE LIMITED TO:
  - a. SIGNED AND SEALED DESIGN CALCULATIONS, COMPLETE AND SPECIFIC CONSTRUCTION PLANS AND DETAILS FOR ALL WALLS.
  - b. APPROPRIATE SIZING FOR DRAINAGE SYSTEM TO HANDLE INTENSE STORM CONDITIONS.
  - c. MAINTENANCE ABILITY TO CLEAN STORMWATER PIPING SYSTEMS.
  - d. APPROPRIATE BACKFILL MATERIAL WITH SUFFICIENT POROSITY TO ALLOW FREE DRAINAGE OF WATER. EVALUATE POTENTIAL FAILURE BY INTERNAL/EXTERNAL FAILURE MECHANISMS, GLOBAL FAILURE OR OTHER POTENTIAL FAILURES AND SEISMIC DESIGN CONSIDERATIONS.
3. IF DEEMED NECESSARY BY THE DESIGN ENGINEER AND/OR THE MUNICIPALITY, THIRD PARTY TESTING WILL BE PERFORMED REGARDING MATERIAL COMPACTION, FILL QUALITY, ETC. A COPY OF ALL SUCH TESTING RECORDS SHALL BE PROVIDED TO THE MUNICIPAL PLANNING DEPARTMENT FOR RECORD.
4. DUE TO THE HEIGHT OF THE PROPOSED RETAINING WALL, SAFETY FENCING IS TO BE PROVIDED ON THE UPHILL SIDE OF THE PROPOSED RETAINING WALL, AND IS TO BE INCLUDED IN THE DESIGN PREPARED BY A NYS LICENSED PROFESSIONAL ENGINEER.

REVISION	BY	DATE	DESCRIPTION
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**SITE PLAN & LOT LINE COMBINATION FOR DAVIDSON DRIVE HOLDINGS, LLC**  
LAKE STATION ROAD  
TOWN OF CHESTER, COUNTY OF ORANGE, NY

**CONSTRUCTION DETAILS**

JOB#: 20-030  
SCALE: AS NOTED  
DATE: 12-17-21  
DRAWN: MM  
CHECKED: MM  
SHEET NO. 16 OF 17

WARNING- IT IS A VIOLATION OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2, FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2.

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SOIL RESTORATION NOTES:

- DURING PERIODS OF RELATIVELY LOW TO MODERATE SUBSOIL MOISTURE, THE DISTURBED SUBSOILS ARE RETURNED TO ROUGH GRADE AND THE FOLLOWING SOIL RESTORATION STEPS APPLIED:
- 1) APPLY 3 INCHES OF COMPOST OVER SUBSOIL
  - 2) TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR-MOUNTED DISC, OR TILLER. MIXING AND CIRCULATING AIR AND COMPOST INTO SUBSOIL.
  - 3) ROCK-PICK UNTIL UNLIFTED STONE/ROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEARED OFF THE SITE
  - 4) APPLY TOPSOIL TO A DEPTH OF SIX INCHES
  - 5) VEGETATE AS REQUIRED BY APPROVED PLAN

COMPOST SPECIFICATIONS:

- 1) COMPOST SHALL BE AGED, FROM PLANT DERIVED MATERIALS, FREE OF VIABLE WEED SEEDS, HAVE NO VISIBLE FREE WATER OR DUST PRODUCED WHEN HANDLING, PASS THROUGH A HALF INCH SCREEN AND HAVE A PH SUITABLE TO GROW DESIRED PLANTS.

MAINTENANCE:

- 1) SIMPLE MAINTENANCE SHOULD IDENTIFY WHERE SOIL RESTORATION IS APPLIED, WHERE NEWLY RESTORED AREAS ARE/CANNOT BE CLEARED, WHO THE RESPONSIBLE PARTIES ARE TO ENSURE THAT ROUTINE VEGETATION IMPROVEMENTS ARE MADE (THINNING, INVASIVE PLANT REMOVAL ETC.)
- 2) SOIL COMPOST AMENDMENTS WITHIN A FILTER STRIP OR GRASS CHANNEL SHOULD BE LOCATED IN PUBLIC RIGHT OF WAY, OR WITHIN A DEDICATED STORMWATER OR DRAINAGE EASEMENT.
- 3) FIVE YEAR MAINTENANCE OPERATIONS INCLUDES:
  - a) INITIAL INSPECTIONS FOR THE FIRST SIX MONTHS (ONCE AFTER EACH STORM GREATER THAN HALF-INCH)
  - b) RESEEDING TO REPAIR BARE OR ERODING AREAS TO ASSURE GRASS STABILIZATION
  - c) WATER ONCE EVERY THREE DAYS FOR THE FIRST MONTH, AND THEN PROVIDE A HALF INCH OF WATER PER WEEK DURING THE FIRST YEAR. IRRIGATION PLAN MAY BE ADJUSTED ACCORDING TO THE RAIN EVENT.
  - d) FERTILIZATION MAY BE NEEDED IN THE FALL AFTER THE FIRST GROWING SEASON TO INCREASE PLANT VIGOR.

- 4) TO ASSIST IN ONGOING MAINTENANCE, PLANTING THE APPROPRIATE GROUND COVER WITH DEEP ROOTS TO MAINTAIN THE SOIL STRUCTURE, AND KEEP THE SITE FREE OF VEHICULAR AND FOOT TRAFFIC OR OTHER WEIGHT LOADS. SOMETIMES IT MAY BE NECESSARY TO DE-THATCH THE TURF EVERY FEW YEARS.

INFILTRATION FACILITY NOTES:

1. 6" TOPSOIL SUITABLE FOR VEGETATIVE COVER WILL BE APPLIED TO VEGETATIVE AREAS. THE PLANTING SOIL SHOULD BE A SANDY LOAM, LOAMY SAND, LOAM (USDA), OR A LOAM / SAND MIX. SOILS SHOULD FALL WITHIN THE SM, OR ML CLASSIFICATIONS OF THE UNIFIED SOIL CLASSIFICATION SYSTEM (USCO). A PERMEABILITY OF AT LEAST 1.0 FEET PER DAY (0.5"/HR) IS REQUIRED. SOIL SHOULD BE FREE OF STONES, STUMPS, ROOTS, OR OTHER WOODY MATERIAL OVER 1" IN DIAMETER. BRUSH OR SEEDS FROM NOXIOUS WEEDS.
2. THE INFILTRATION SYSTEM SHALL BE PLANTED PRIMARILY WITH GRASSES OF THE FESCUE FAMILY IN ACCORDANCE WITH THE NEW YORK STATE STORMWATER MANAGEMENT MANUAL, APPENDIX C, SECTION C.2 CONSTRUCTION SPECIFICATIONS FOR INFILTRATION PRACTICES. ADDITIONAL PLANTINGS ARE ACCEPTABLE IF THEY DO NOT INTERFERE WITH THE MAINTENANCE OF THE SYSTEM, BUT ARE NOT REQUIRED, AND MAY BE ELIMINATED.
3. IN NORMAL CONDITIONS, INFILTRATION WILL BE DRY, AND BALL VALVE IN CURB EXTENSION WILL BE IN THE CLOSED POSITION. GRAVEL TRENCH AND PERFORATED PIPE DRAIN IS PROVIDED IN CASE OF LONG TERM STANDING WATER. BALL VALVE CAN BE ACCESSED THROUGH CURB EXTENSION TO OPEN BALL VALVE FOR DRAINAGE.
4. THE APPROXIMATE OUTER LIMITS OF THE PRETREATMENT AREA IS AS SHOWN ON THE PLAN. THIS AREA IS PART OF THE STORMWATER FACILITY, AND ANY FUTURE MODIFICATIONS TO THIS AREA WILL REQUIRE REVIEW AND APPROVAL BY THE NYS DEC.
5. ASSURANCE MUST BE TAKEN THAT ANY LANDSCAPING INSTALLED DOES NOT INHIBIT FUNCTION OR MAINTENANCE OF STORMWATER MANAGEMENT STRUCTURES.

INFILTRATION BASIN CONSTRUCTION NOTES & SPECIFICATIONS:

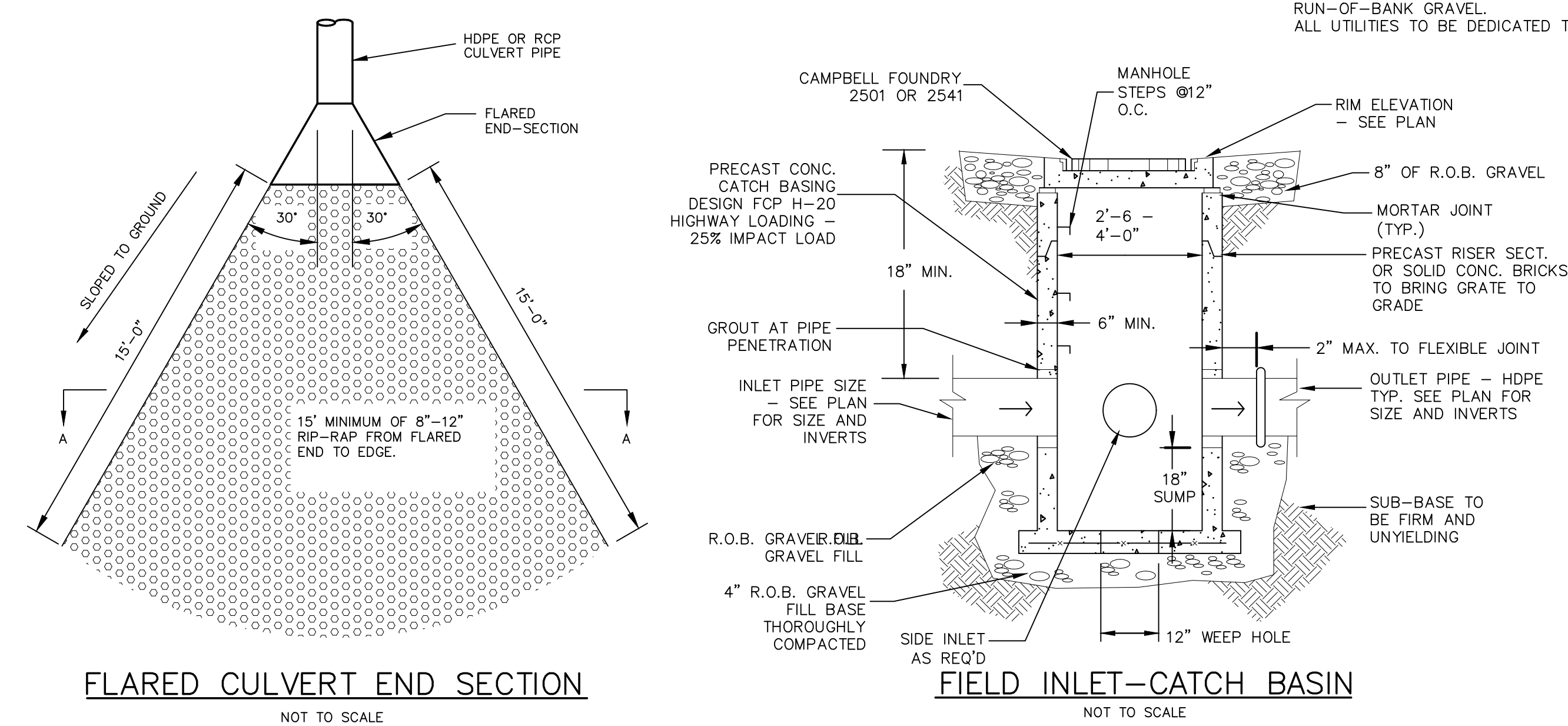
1. THE SEQUENCE OF VARIOUS PHASES OF BASIN CONSTRUCTION SHALL BE COORDINATED WITH THE OVERALL PROJECT CONSTRUCTION SCHEDULE. A PROGRAM SHOULD SCHEDULE ROUGH EXCAVATION OF THE BASIN (TO NOT LESS THAN 2" FROM FINAL GRADE) WITH THE ROUGH GRADING PHASE OF THE PROJECT TO PERMIT USE OF THE MATERIAL AS FILL IN EARTHWORK AREAS. THE PARTIALLY EXCAVATED BASIN, HOWEVER, CANNOT SERVE AS A SEDIMENTATION BASIN. SPECIFICATIONS FOR BASIN CONSTRUCTION SHOULD STATE: (1) THE EARLIEST POINT IN PROGRESS WHEN STORM DRAINAGE MAY BE DIRECTED TO THE BASIN, AND (2) THE MEANS BY WHICH THIS DELAY IN USE IS TO BE ACCOMPLISHED. DUE TO THE WIDE VARIETY OF CONDITIONS ENCOUNTERED IN SUCH PROJECTS, EACH SHOULD BE SEPARATELY EVALUATED IN ORDER TO POSTPONE USE AS LONG AS IS REASONABLY POSSIBLE.
2. INITIAL BASIN EXCAVATION SHOULD BE CARRIED TO WITHIN 2 FEET OF THE FINAL ELEVATION OF THE BASIN FLOOR. FINAL EXCAVATION TO THE FINISHED GRADE SHOULD BE DEFERRED UNTIL ALL DISTURBED AREAS ON THE WATERSHED HAVE BEEN STABILIZED OR PROTECTED. THE FINAL PHASE EXCAVATION SHOULD REMOVE ALL ACCUMULATED SEDIMENT, RELATIVELY LIGHT TRACKED EQUIPMENT IS RECOMMENDED FOR THIS OPERATION TO AVOID COMPACTION OF THE BASIN FLOOR. AFTER THE FINAL GRADING IS COMPLETED, THE BASIN SHOULD RETAIN A HIGHLY POROUS SURFACE TEXTURE.
3. INFILTRATION BASINS MAY BE LINED WITH A 6- TO 12-INCH LAYER OF FILTER MATERIAL SUCH AS COARSE SAND (AASHTO STD. M-43, SIZES 9 OR 10) TO HELP PREVENT THE BUILDUP OF IMPERVIOUS DEPOSITS ON THE SOIL SURFACE. THE FILTER LAYER CAN BE REPLACED OR CLEANED WHEN IT BECOMES CLOGGED. WHEN A 6-INCH LAYER OF COARSE ORGANIC MATERIAL IS SPECIFIED FOR DESIGN (SUCH AS HULLS, LEAVES, STEMS, ETC.) OR SPADING INTO THE BASIN FLOOR TO INCREASE THE PERMEABILITY OF THE SOILS, THE BASIN FLOOR SHOULD BE SOAKED OR INUNDATED FOR A BRIEF PERIOD, THEN ALLOWED TO DRY SUBSEQUENT TO THIS OPERATION. THIS INDUCES THE ORGANIC MATERIAL TO DECAY RAPIDLY, LOOSENING THE UPPER SOIL LAYER.
4. ESTABLISHING DENSE VEGETATION ON THE BASIN SIDE SLOPES AND FLOOR IS RECOMMENDED. A DENSE VEGETATIVE STAND WILL NOT ONLY PREVENT EROSION AND SLOUGHING, BUT WILL ALSO PROVIDE A NATURAL MEANS OF MAINTAINING RELATIVELY HIGH INFILTRATION RATES. EROSION PROTECTION FOR INFLOW POINTS TO THE BASIN SHALL ALSO BE PROVIDED.
5. SELECTION OF SUITABLE VEGETATIVE MATERIALS FOR THE SIDE SLOPE AND ALL OTHER AREAS TO BE STABILIZED WITH VEGETATION AND APPLICATION OF REQUIRED LIME, FERTILIZER, ETC. SHALL BE DONE IN ACCORDANCE WITH THE NRCS STANDARDS AND SPECIFICATIONS FOR YOUR LOCAL STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
6. GRASSES OF THE FESCUE FAMILY ARE RECOMMENDED FOR SEEDING PRIMARILY DUE TO THEIR ADAPTABILITY TO DRY SANDY SOILS, DROUGHT RESISTANCE, HARDINESS, AND ABILITY TO WITHSTAND BRIEF INUNDATIONS. THE USE OF FESCUES WILL ALSO PERMIT LONG INTERVALS BETWEEN MOWINGS. THIS IS IMPORTANT DUE TO THE RELATIVELY STEEP SLOPES WHICH MAKE MOWING DIFFICULT. MOWING TWICE A YEAR, ONCE IN JUNE AND AGAIN IN SEPTEMBER, IS GENERALLY SATISFACTORY.

OUTLET STRUCTURE NOTES:

1. ALL CONCRETE SHALL BE A MINIMUM 4,000 PSI.
2. ALL TRASH RACK CONNECTIONS TO OUTLET STRUCTURE SHALL BE ALUMINUM.
3. UPON COMPLETION OF STORMWATER CONSTRUCTION, OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE DRAINAGE FACILITIES IN ACCORDANCE WITH THE NYSDEC STORMWATER MANAGEMENT DESIGN MANUAL. THESE ITEMS INCLUDE, BUT ARE NOT LIMITED TO:
  - a. REMOVAL OF DEBRIS FROM TRASH RACKS
  - b. ROUTINE GRASS CUTTING AROUND INLET PIPES, ORIFICES
  - c. SEDIMENT AND GRIT REMOVAL
4. TRASH RACKS FOR OS-1 RIM & RECTANGULAR WEIR PROVIDED BY WOODARD'S CONCRETE PRODUCTS, OR EQUAL.
5. PIPES ARE TO BE FLUSH WITH THE INSIDE OF THE OUTLET STRUCTURE WALLS.

DRAINAGE NOTES:

1. ALL CONCRETE SHALL BE A MINIMUM 4,000 PSI.
2. UPON COMPLETION OF INFILTRATION BASIN CONSTRUCTION, OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE DRAINAGE FACILITIES IN ACCORDANCE WITH THE NYSDEC STORMWATER MANAGEMENT DESIGN MANUAL. THESE ITEMS INCLUDE, BUT ARE NOT LIMITED TO:
  - a. REMOVAL OF DEBRIS FROM TRASH RACKS
  - b. ROUTINE GRASS CUTTING AROUND INLET PIPES, ORIFICES
  - c. SEDIMENT AND GRIT REMOVAL
3. TRASH RACK IS MANUF. BY PLASTIC SOLUTIONS, OR EQUAL.
4. PIPES ARE TO BE FLUSH WITH THE INSIDE OF THE OUTLET STRUCTURE WALLS.

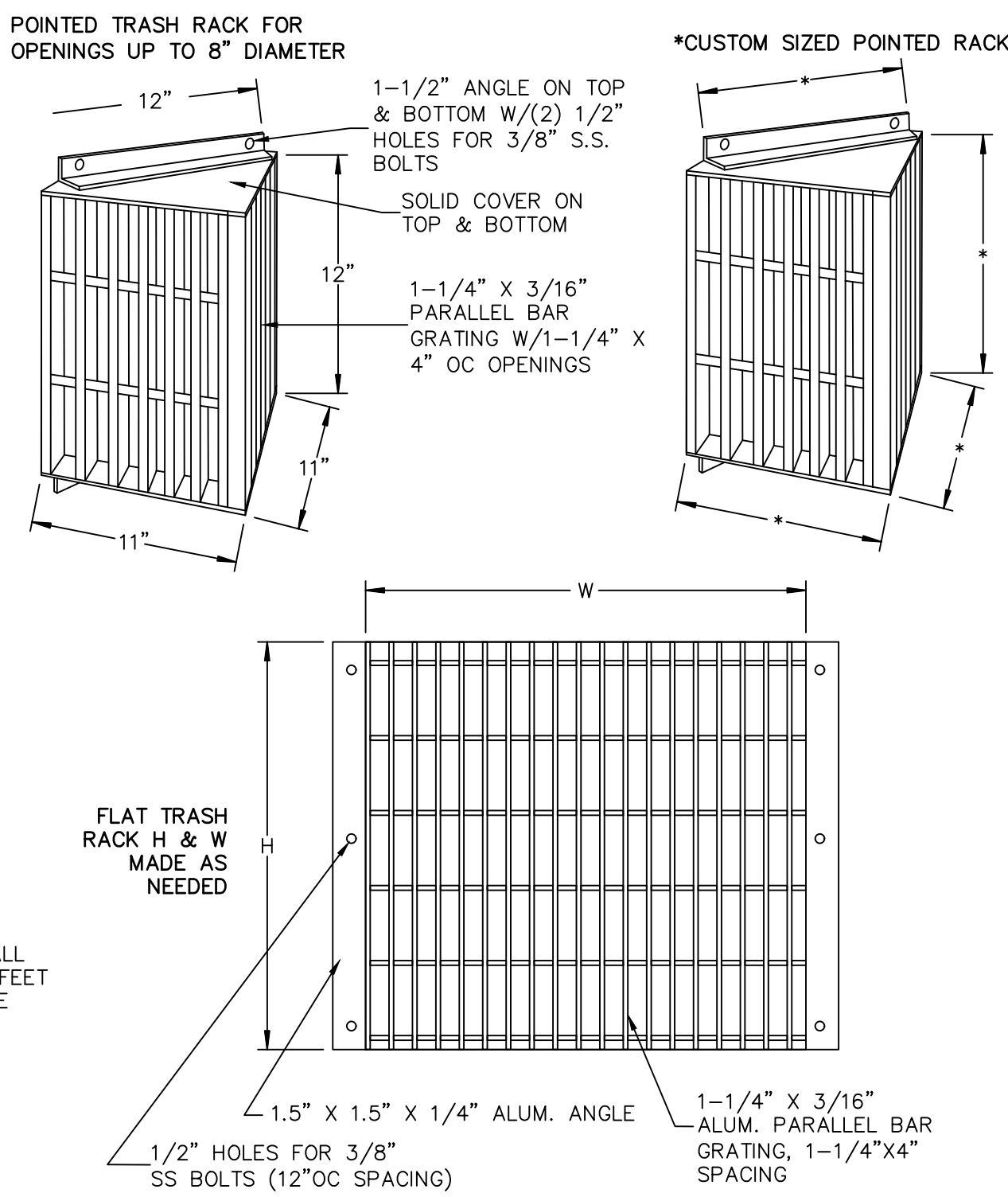


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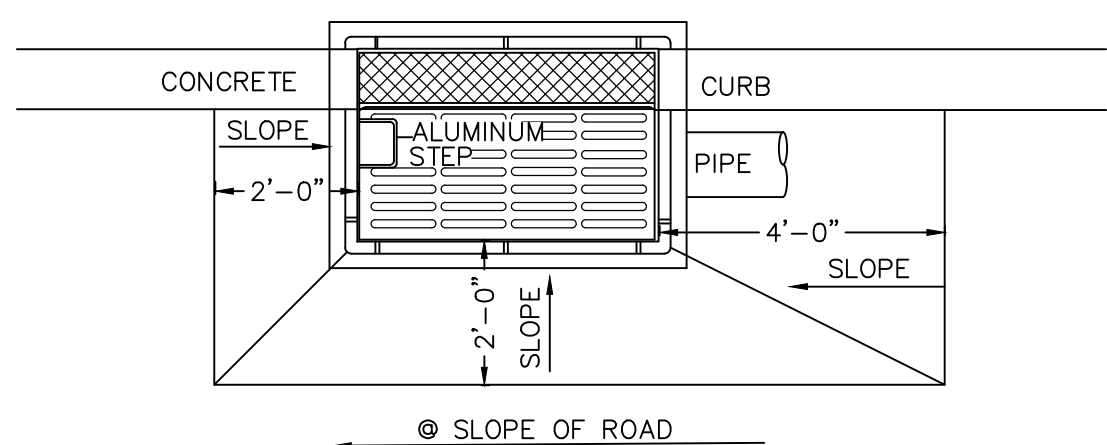
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ALUMINUM TRASH RACK FOR CONCRETE WEIR

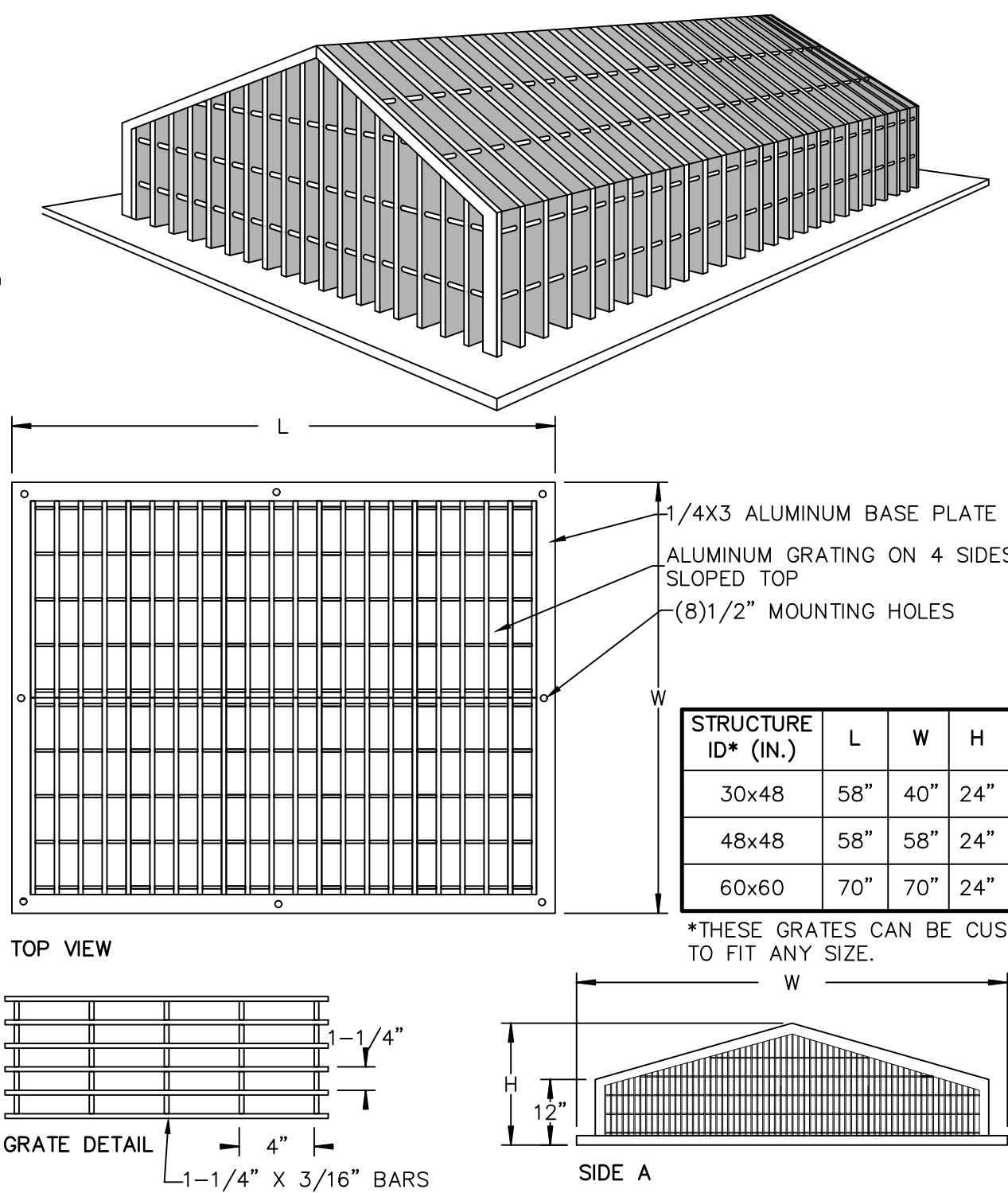
NOT TO SCALE



CURB INLET-CATCH BASIN

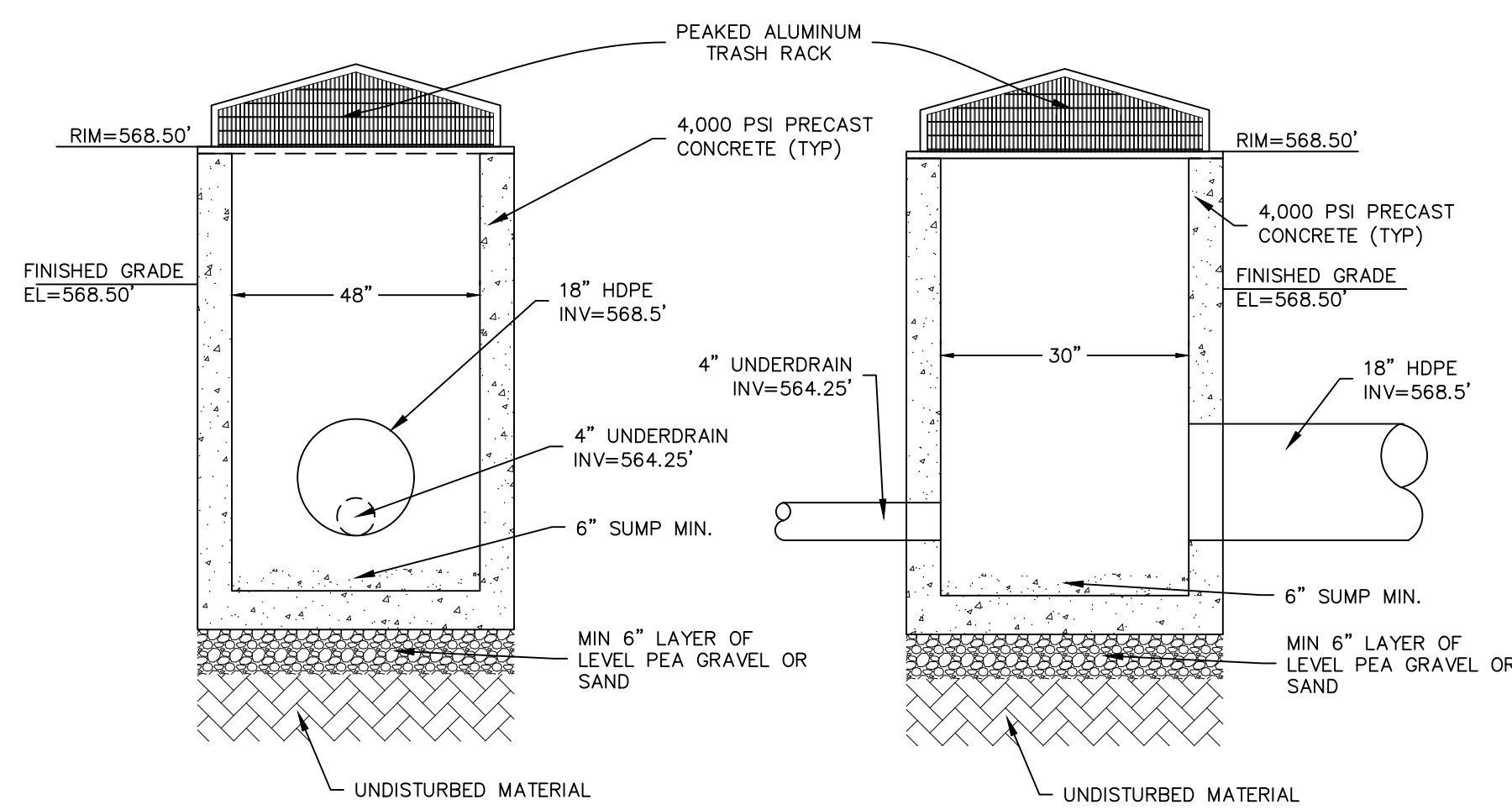
NOT TO SCALE

- NOTES:
1. RETAINER GLANDS ARE REQUIRED ON ALL FITTINGS IN ADDITION TO THE RODS AND THRUST BLOCKS.
  2. ALL UTILITY TRENCHES WITHIN PAVED AREAS SHALL BE BACKFILLED FULL DEPTH WITH RUN-OF-BANK GRAVEL.
  3. ALL UTILITIES TO BE DEDICATED TO THE TOWN SHALL MEET TOWN OF WALLKILL SPECIFICATIONS.



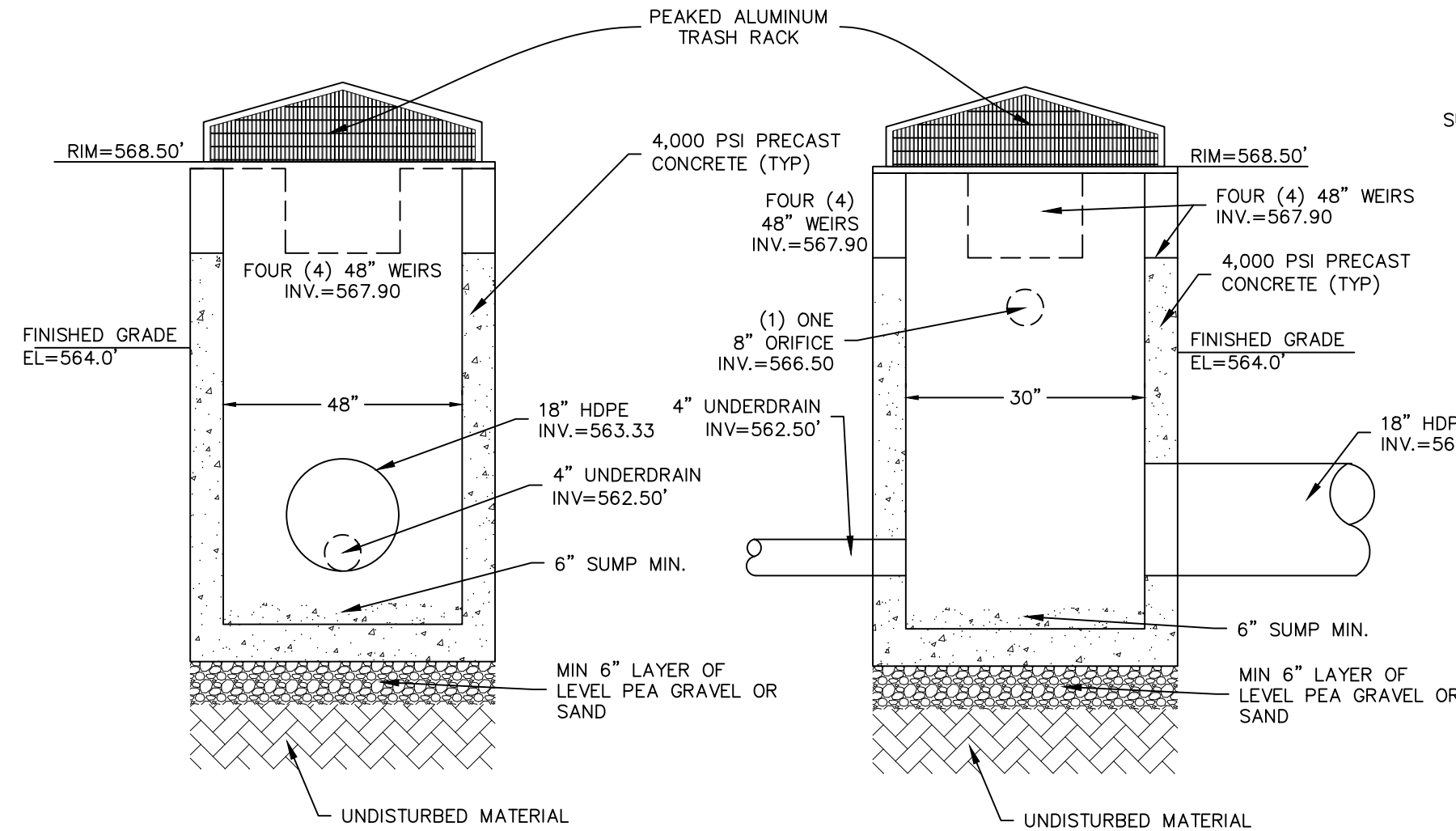
PEAKED ALUMINUM TRASH RACK FOR POND OUTLET

NOT TO SCALE



OS-2 OUTLET CONTROL STRUCTURE DETAIL (BIORETENTION)

NOT TO SCALE



OS-1 OUTLET CONTROL STRUCTURE DETAIL (WETPOND)

NOT TO SCALE

STORMWATER FACILITY MAINTENANCE NOTES:

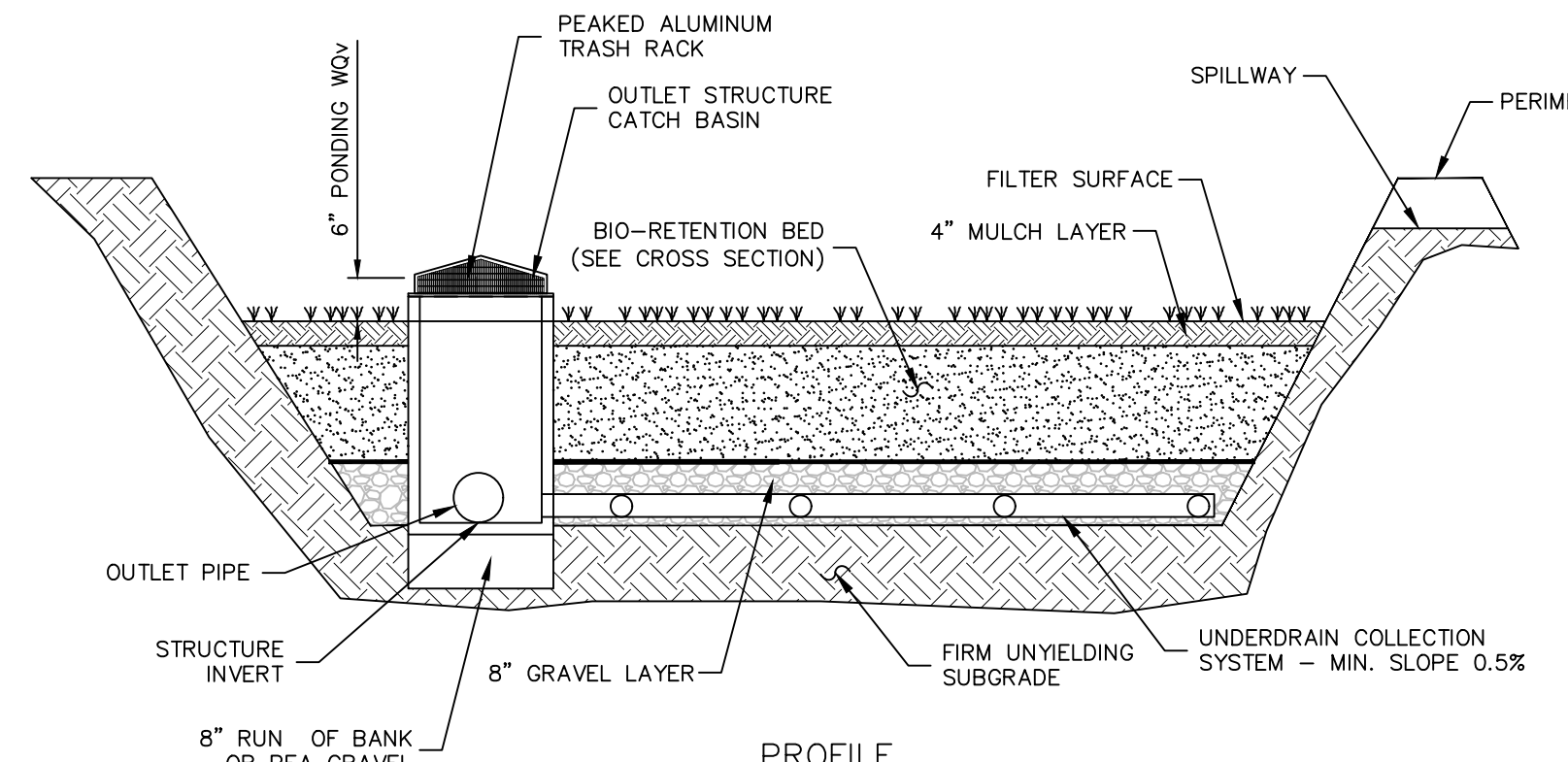
STORMWATER MANAGEMENT FACILITIES SHALL BE REGULARLY MAINTAINED TO ENSURE THEY FUNCTION AT DESIGN CAPACITY AND TO PREVENT HEALTH HAZARDS ASSOCIATED WITH DEBRIS AND STAGNANT WATER. THE PRIVATELY OWNED PORTION OF THE SYSTEM MUST BE PRIVATELY MAINTAINED.

RESPONSIBILITY FOR THE OPERATION AND MAINTENANCE OF THE STORM WATER FACILITIES, INCLUDING PERIODIC REMOVAL AND DISPOSAL OF ACCUMULATED PARTICULATE MATERIAL AND DEBRIS, BUT NOT LIMITED TO THE FOLLOWING: VISUAL INSPECTION OF ALL SYSTEM COMPONENTS AT LEAST TWICE A YEAR; VACUUMING OF ALL STORM SEWER INLETS ONCE EVERY SIX MONTHS (FREQUENCY MAY BE ADJUSTED TO ONCE A YEAR IF FIRST YEAR MAINTENANCE RECORDS INDICATE THAT SEDIMENT AND DEBRIS ACCUMULATION IS INSIGNIFICANT); REVERSE FLUSHING AND VACUUMING IF SYSTEM INSPECTION INDICATE SIGNIFICANT ACCUMULATION OF SEDIMENT IN THE PIPES; AND PERIODIC REMOVAL AND DISPOSAL OF OTHER MATERIAL AND DEBRIS, SHALL REMAIN WITH THE OWNER OR OWNERS OF THE PROPERTY, WITH PERMANENT ARRANGEMENTS THAT SHALL PASS TO ANY SUCCESSIVE OWNER, UNLESS ASSUMED BY A GOVERNMENTAL AGENCY.

IN THE EVENT THAT THE FACILITY BECOMES A DANGER TO PUBLIC SAFETY OR PUBLIC HEALTH, OR IT IS IN NEED OF MAINTENANCE, THE OWNER SHALL EFFECT SUCH MAINTENANCE AND REPAIR TO THE FACILITY IN A MANNER THAT IS APPROVED BY THE TOWN ENGINEER OR HIS DESIGNEE, IF THE OWNER FAILS TO PERFORM SUCH MAINTENANCE AND REPAIR, THE MUNICIPALITY MAY IMMEDIATELY PROCEED TO DO SO AND SHALL BILL THE COST TO THE OWNER.

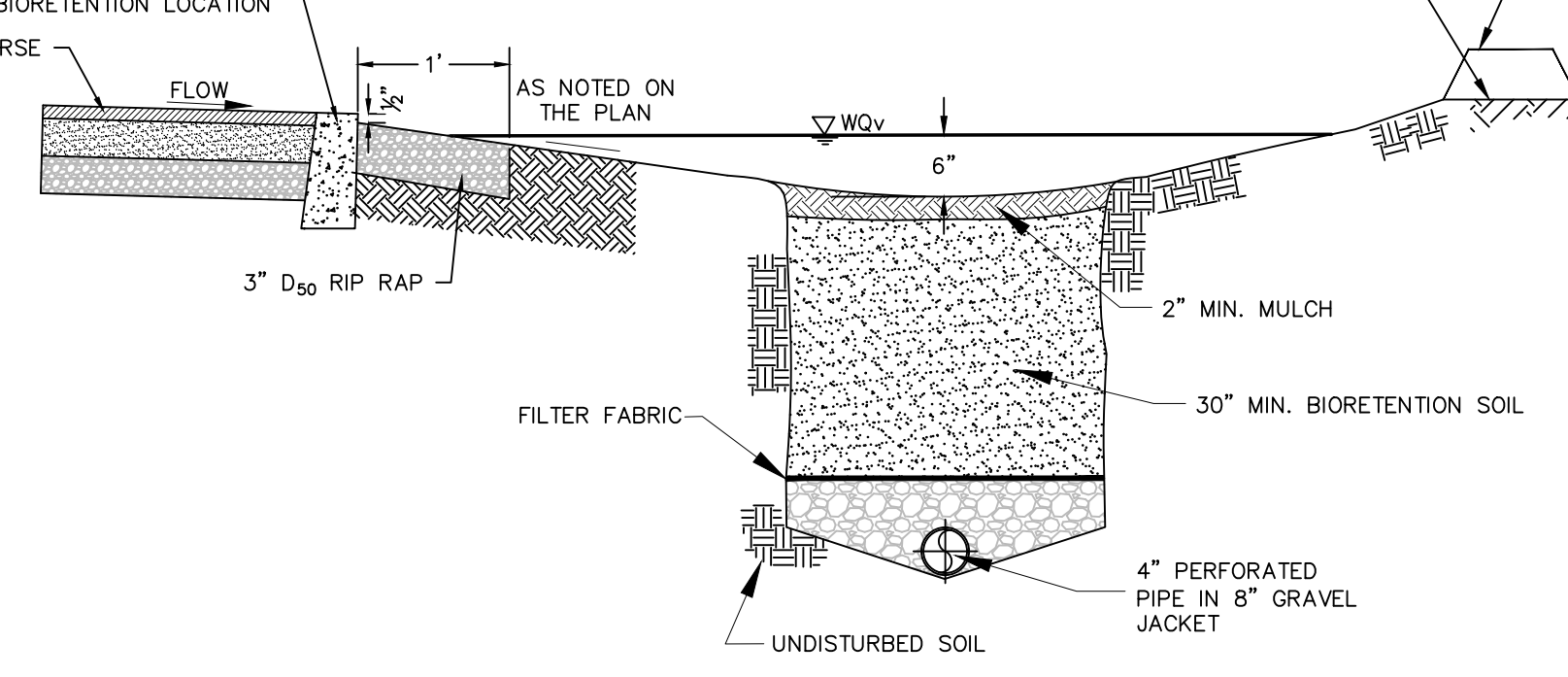
SEDIMENT TRAP & BASIN CONSTRUCTION SPECIFICATIONS:

1. THE AREA OF THE PROPOSED SEDIMENT BASIN SHALL BE USED AS A SEDIMENT TRAP PRIOR TO FINAL CONSTRUCTION OF THE INFILTRATION BASIN. SEDIMENT TRAP SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MAT, INCLUSION OF VEGETATION, ORGANIC MATERIAL, OR FROZEN SOIL IN THE EMBANKMENT, AS WELL AS PLACING OF EMBANKMENT MATERIAL ON A FROZEN SURFACE IS PROHIBITED.
2. THE FILL MATERIAL FOR EMBANKMENTS SHALL BE FREE OF ROOTS OR OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS, ORGANIC OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRaversing WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED IF POSSIBLE. MAXIMUM HEIGHT OF EMBANKMENT SHALL BE FIVE (5) FEET, MEASURED AT CENTERLINE OF EMBANKMENT. PLACE FILL IN LIFTS NOT TO EXCEED 9" AND MACHINE COMPACT.
3. ALL FILL SLOPES SHALL BE 2:1 OR FLATTER, CUT SLOPES 1:1 OR FLATTER.
4. ELEVATION OF THE TOP OF ANY DIKE DIRECTING WATER INTO TRAP MUST EQUAL OR EXCEED HEIGHT OF EMBANKMENT.
5. ENSURE THAT THE SPILLWAY CREST IS LEVEL AND AT LEAST 1.5' BELOW THE TOP OF THE DAM AT ALL POINTS.
6. FILTER CLOTH SHALL BE PLACED OVER THE BOTTOM OF THE OUTLET CHANNEL PRIOR TO PLACEMENT OF STONE. SECTIONS OF FABRIC MUST OVERLAP AT LEAST ONE (1) FOOT WITH SECTION NEAREST THE ENTRANCE PLACED ON TOP. FABRIC SHALL BE EMBEDDED AT LEAST SIX (6) INCHES INTO EXISTING GROUND AT ENTRANCE OF OUTLET CHANNEL.
7. STONE USED IN OUTLET CHANNEL SHALL BE FOUR (4) TO EIGHT (8) INCHES (RIP RAP). TO PROVIDE A FILTERING EFFECT. STONE USED FOR SPILLWAY SECTION-CLASS "B" EROSION CONTROL STONE. STONE USED ON INSIDE SPILLWAY FACE TO CONTROL DRAINAGE - D.O.T. #57 WASHED STONE. A LAYER OF FILTER CLOTH SHALL BE EMBEDDED ONE (1) FOOT WITH SECTION NEAREST ENTRANCE PLACED ON TOP. FABRIC SHALL BE EMBEDDED AT LEAST SIX (6) INCHES INTO EXISTING GROUND AT ENTRANCE OF OUTLET CHANNEL.
8. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
9. THE SEDIMENT TRAP SHALL BE INSPECTED AFTER EACH RAIN AND SHALL BE REPAIRED AS NEEDED.
10. CONSTRUCT EMBANKMENT AND STONE SPILLWAY TO DIMENSIONS, SLOPES AND ELEVATIONS SHOWN ON THE PLAN.
11. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION ARE MINIMIZED.
12. THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
13. DRAINAGE AREA FOR THIS PRACTICE IS LIMITED TO 15 ACRES.
15. ENSURE THAT THE TOP OF THE EMBANKMENT AT ALL POINTS IF 0.5' ABOVE NATURAL SURROUNDING GROUND.
16. IMMEDIATELY STABILIZE THE EMBANKMENT AND ALL DISTURBED AREAS AS IN ACCORDANCE WITH THE SPECIFICATIONS SHOWN ON THE GENERAL PLANSET AND EROSION AND SEDIMENT CONTROL PLANS.



BIORETENTION FACILITY

NOT TO SCALE



BIORETENTION BED SECTION

NOT TO SCALE

BIORETENTION PLANTING SOIL

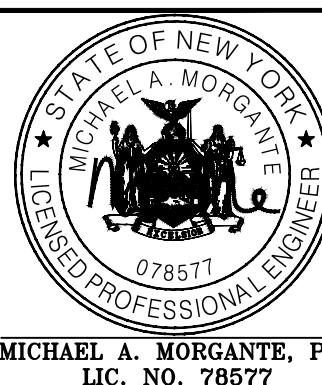
THE PLANTING SOIL SHOULD BE A SANDY LOAM, LOAMY SAND, LOAM (USDA). OR A LOAM/SAND MIX (SHOULD CONTAIN A MINIMUM 35 TO 60% SAND, BY VOLUME). THE CLAY CONTENT FOR THESE SOILS SHOULD BE LESS THAN 25% BY VOLUME. SOILS SHOULD FALL WITHIN THE SM, OR ML CLASSIFICATIONS OF THE UNIFIED SOIL CLASSIFICATION SYSTEM (USCS). A PERMEABILITY OF AT LEAST 1.0 FEET PER DAY (0.5"/HR) IS REQUIRED (A CONSERVATIVE VALUE OF 0.5 FEET PER DAY IS USED FOR DESIGN). THE SOIL SHOULD BE FREE OF STONES, STUMPS, ROOTS, OR OTHER WOODY MATERIAL OVER 1" IN DIAMETER, AND BRUSH OR SEED FROM NOXIOUS WEEDS. PLACEMENT OF THE PLANTING SOIL SHOULD BE IN LIFTS OF 1" TO 18", LOOSELY COMPACTED (TAMPED LIGHTLY WITH A DOZER OR BACKHOE BUCKET). THE SPECIFIC CHARACTERISTICS ARE AS FOLLOWS:

PARAMETER	VALUE
PH RANGE	5.2 TO 7.0
ORGANIC MATTER	1.5 TO 4.0%
MAGNESIUM	35 LBS PER ACRE, MINIMUM
PHOSPHORUS (P <sub>2</sub> O <sub>5</sub> )	75 LBS PER ACRE, MINIMUM
POTASSIUM (K <sub>2</sub> O)	85 LBS PER ACRE, MINIMUM
SOLUBLE SALTS	500 ppm
CLAY	10 TO 25%
SILT	30 TO 55%
SAND	35 TO 65%

REVISION	BY	DATE	DESCRIPTION
3.	MM	9/16/21	PREPARATION OF PRELIMINARY PLANS
2.	MM	5/19/21	REVISION PER PB MTG. & COMMENT LETTERS
1.	MM	3/23/21	ROAD LAYOUT REVISION PER PB MTG.

THIS SHEET IS NOT VALID WITHOUT ALL OF THE SHEETS THAT COMPRISE THE SET

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STATE OF NEW YORK  
JAMES E. MORRIS  
GOVERNOR

SITE PLAN & LOT LINE COMBINATION FOR  
DAVIDSON DRIVE HOLDINGS, LLC  
LAKE STATION ROAD  
TOWN OF CHESTER, COUNTY OF ORANGE, NY

STORMWATER  
CONSTRUCTION DETAILS

JOB#:  
20-030  
AS NOTED  
DATE:  
12-17-21  
DRAWN:  
MM  
CHECKED:  
MM  
SHEET NO.  
17 OF 17