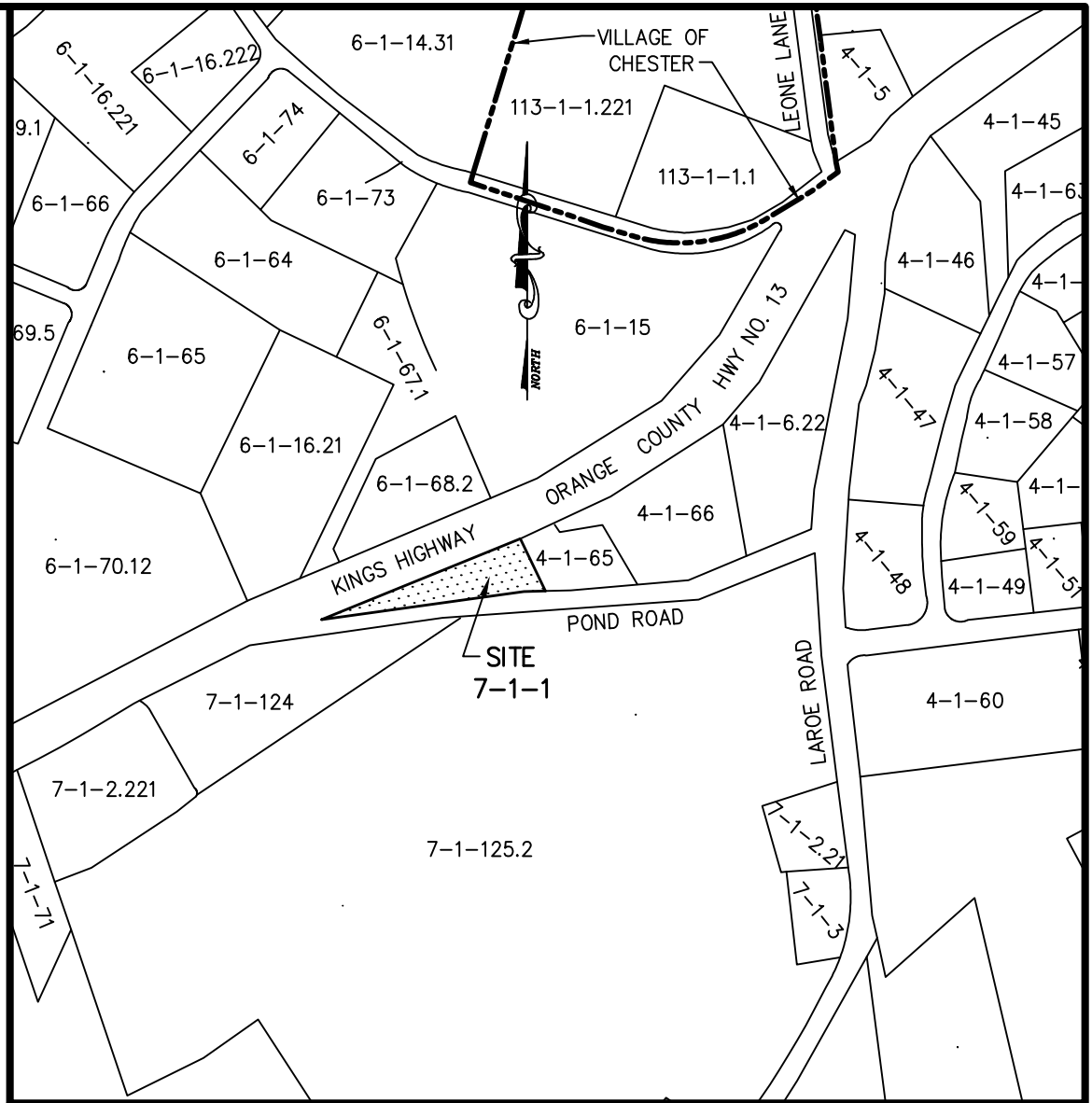
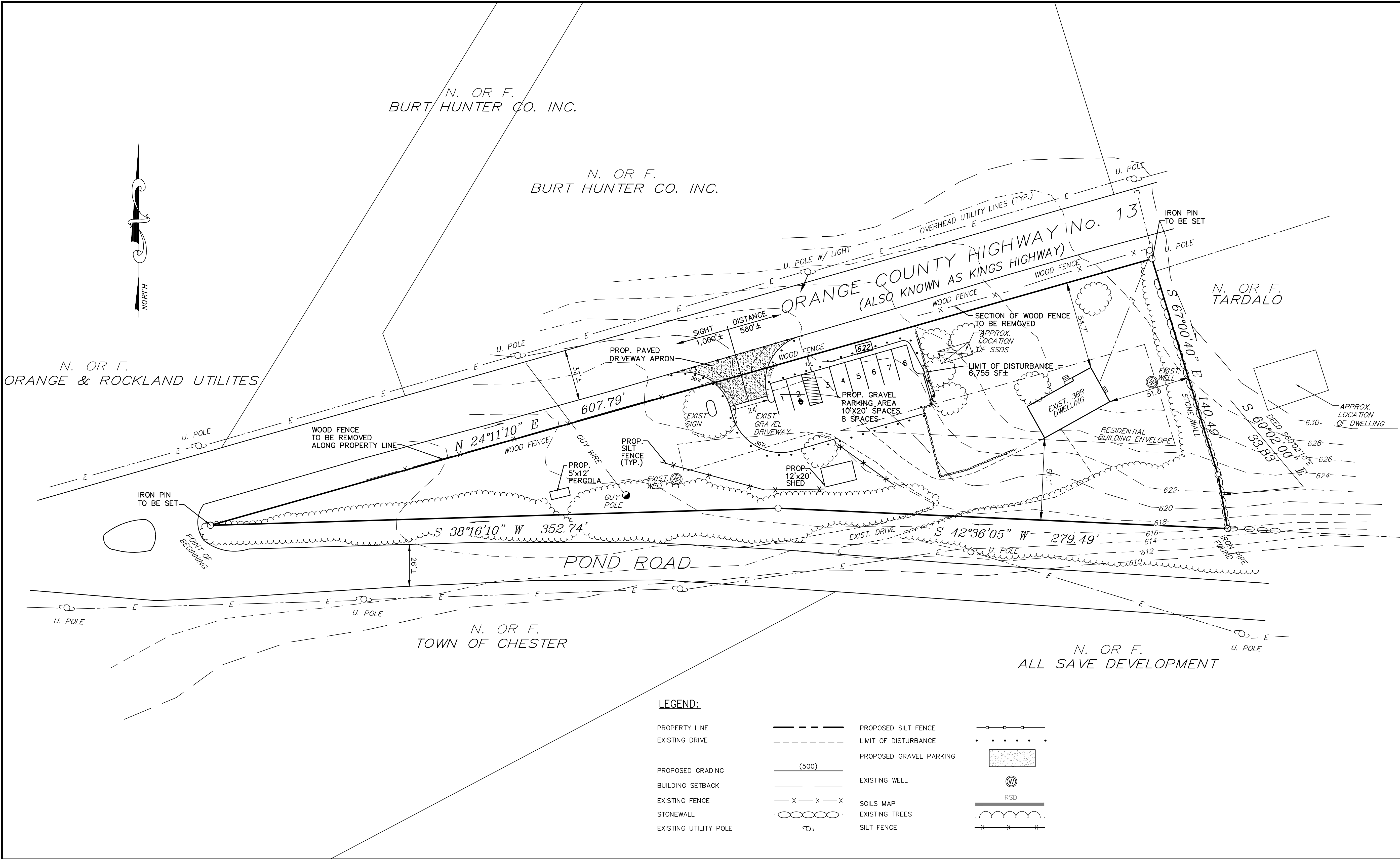




VICINITY MAP
SCALE: 1" = 500'

GENERAL NOTES

1. TAX MAP DESIGNATION: SECTION 7, BLOCK 1, LOT 1
2. APPLICANT / RECORD OWNER:
FLORENCE MADONIA
64 CASCADE ROAD
WARWICK, NY 10990
3. PROPERTY AREA: 1.136 ACRES
4. ZONING DISTRICT: GC
5. EXISTING/PROPOSED USE: RESIDENTIAL & RETAIL GARDEN CENTER
6. EXISTING WATER SUPPLY: INDIVIDUAL WELL
7. EXISTING SEWAGE DISPOSAL: INDIVIDUAL SUBSURFACE SYSTEM
8. BOUNDARY & TOPOGRAPHIC INFORMATION FROM A SURVEY COMPLETED BY JOHN McGLOIN, PLS, DATED AUGUST 5, 2015. DEED REFERENCE: LIBER 13899, PAGE 593.
9. PROPOSED LIMIT OF DISTURBANCE: 6,755± SF
10. NUMBER OF EMPLOYEES: 1 FULL-TIME (SELF)
1 PART-TIME
11. HOURS OF OPERATION: SEASONAL
CLOSED JANUARY-FEBRUARY
MARCH-APRIL THURSDAY-SUNDAY 11 AM TO 6 PM
MAY-AUGUST WEDNESDAY-SUNDAY 11 AM TO 7 PM
SEPTEMBER-DECEMBER 24TH FRIDAY-SUNDAY 11 AM TO 7 PM
12. PARKING CALCULATIONS: 2 SPACES FOR RESIDENTIAL USE
1,075 SF RETAIL SALES AREA x 1 SPACE/150 SF = 7.2, SAY 8 REQUIRED SPACES.
13. NO PLANTINGS OR LANDSCAPING FEATURES (GATES, FENCES, STONE PILLARS, STONE WALLS, SIGNS, ETC.) SHALL BE PLACED WITHIN THE COUNTY RIGHT-OF-WAY.
14. NO STONES OR BOULDERS CAN BE USED OR INSTALLED WITHIN THE COUNTY RIGHT-OF-WAY FOR ANY PURPOSE.
15. ANY PLANTING & LANDSCAPING FEATURES (I.E. FENCES) ARE REQUIRED TO BE OFFSET FROM THE PROPERTY LINE BY 5 FEET.
16. BATHROOM FACILITIES FOR EMPLOYEES ARE IN EXISTING HOUSE.

LEGEND:

PROPERTY LINE	---	PROPOSED SILT FENCE	---o---o---o---
EXISTING DRIVE	----	LIMIT OF DISTURBANCE	
PROPOSED GRADING	(500)	PROPOSED GRAVEL PARKING	[Pattern]
BUILDING SETBACK	---	EXISTING WELL	⊕
EXISTING FENCE	-X-X-X-	SOILS MAP	RSD
STONEWALL	o-o-o-o	EXISTING TREES	[Tree Symbol]
EXISTING UTILITY POLE	⊙	SILT FENCE	-X-X-X-

SUMMARY OF ZONING REQUIREMENTS

(GC DISTRICT, USE GROUPS - RESIDENTIAL BEFORE 2003)

REQUIREMENT	REQUIRED OR ALLOWED	EXISTING
LOT AREA	1 ACRE	1.136 ACRES
LOT WIDTH	150 FT.	406.5 FT.±
FRONT SETBACK	50 FT.	54.7 FT.±
REAR SETBACK	50 FT.	51.1 FT.±
ONE SIDE SETBACK	20 FT.	51 FT.
BOTH SIDE SETBACKS	40 FT.	>40 FT.
MAX. BLDG. COVERAGE	25%	2.2% +/-
BUILDING HEIGHT	35 FT. MAX.	<35 FT.

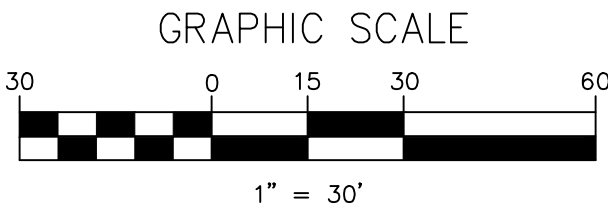
(GC DISTRICT, USE GROUPS - RETAIL)

REQUIREMENT	REQUIRED OR ALLOWED	PROPOSED SHED	PROPOSED PERGOLA
LOT AREA	1 ACRE	1.136 ACRES	1.136 ACRES
LOT WIDTH	200 FT.	406.5 FT.±	406.5 FT.±
FRONT SETBACK	75 FT.	69 FT.±*	38 FT.±*
REAR SETBACK	50 FT.	14 FT.±*	6 FT.±*
ONE SIDE SETBACK	20 FT.	215 FT.±	212 FT.±
BOTH SIDE SETBACKS	40 FT.	696 FT.±	600 FT.±
MAX. BLDG. COVERAGE	30%	0.5% +/-	0.1% +/-
BUILDING HEIGHT	40 FT. MAX.	7 FT.±	<35 FT.

* VARIANCE REQUIRED

PROPERTY OWNERS WITHIN 300 FEET

4-1-65	ANTHONY TARDALO P.O. BOX 597 CHESTER, NY 10918
4-1-66	DIANE TARDALO P.O. BOX 597 CHESTER, NY 10918
6-1-15	THE FROZEN ROCK, LLC 12 ELKAY DR. CHESTER, NY 10918
6-1-16.21	ORANGE & ROCKLAND UTILITIES INC. 1 BLUE HILL PLAZA PEARL RIVER, NY 10965
6-1-67.1	BURT HUNTER CO. INC. 32 CROSBY CT. PINE BUSH, NY 12566
6-1-68.2	BURT HUNTER CO. INC. 32 CROSBY CT. PINE BUSH, NY 12566
6-1-70.12	COMMUNITY PRODUCTS LLC 2032 ROUTE 213 RIFTON, NY 12471
7-1-124	TOWN OF CHESTER 1786 KINGS HIGHWAY CHESTER, NY 10918
7-1-125.2	ALL SAVE DEVELOPMENT 400 BELLA BLVD. MONTEBELLO, NY 10901



LIST OF DRAWINGS:

SHEET 1	SITE PLAN
SHEET 2	SITE PLAN DETAILS

APPROVED FOR FILING:

OWNER _____ DATE _____

SITE PLAN APPROVED BY RESOLUTION OF
THE PLANNING BOARD OF THE TOWN OF
CHESTER ON _____

CHAIRMAN _____ DATE _____

ROAD AND DRIVEWAY ENTRANCE PERMITS

NO SITE PREPARATION OR CONSTRUCTION SHALL
COMMENCE UNTIL A VALID ENTRANCE PERMIT HAS BEEN
SECURED FROM THE ORANGE COUNTY DEPARTMENT OF
PUBLIC WORKS UNDER SECTION 136 OF THE HIGHWAY LAW.

3	2-4-16	REVISED PER OODPW COMMENTS
2	1-7-16	FOR OODPW REVIEW
1	12-30-15	FOR PB REVIEW

ISSUE	DATE	DESCRIPTION
SITE PLAN FOR MADONIA TOWN OF CHESTER ORANGE COUNTY, NEW YORK		

SITE PLAN		
LEHMAN & GETZ, P.C. CONSULTING ENGINEERS PH. 845-986-7737 FAX 845-986-0245 17 RIVER STREET WARWICK, NEW YORK 10990		

DAVID A. GETZ, P.E. N.Y.S. LIC. No. 61265				
DRAWN BY KHE	CHECKED BY DAG	SCALE 1"=30'	JOB NO. 2071	SHEET NO. 1 OF 1