

LEGEND

--- PROPOSED PROPERTY LINE
--- EXISTING PROPERTY LINE

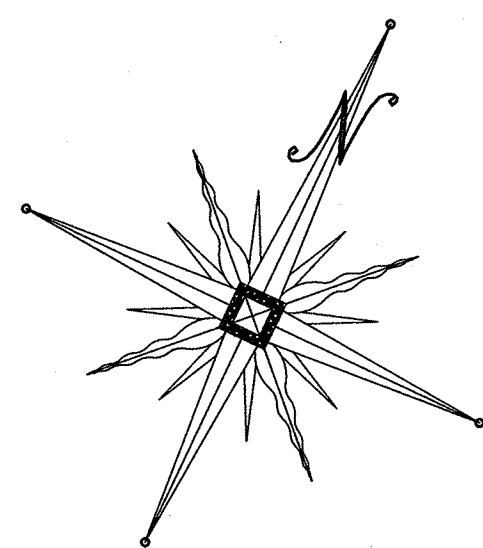
BULK REQUIREMENTS

AR-3 ZONING DISTRICT CLUSTERING REQUIRED
(USE GROUP-SINGLE FAMILY DETACHED DWELLING)

	MIN. REQUIRED	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6
LOT AREA (S.F.)	21,780	29,995±	65,907±	572,699±	358,294±	64,374±	47,806±
LOT WIDTH (FT.)	100	246±	102±	100±	199±	121±	102±
FRONT YARD (FT.)	35	77.9±	349.5±	534.0±	649.8±	265.5±	186.8±
SIDE YARD (FT.)	15	35.3±	44.1±	48.0±	39.3±	57.7±	43.9±
BOTH SIDE YARDS (FT.)	30	78.1±	114.6±	118.4±	435.2±	153.6±	95.2±
REAR YARD (FT.)	40	89.8±	116.8±	1218.3±	227.6±	50.3±	62.7±
BLDG. COVERAGE (%)	20	<20	<20	<20	<20	<20	<20
BLDG. HEIGHT (FT.)	40	<40	<40	<40	<40	<40	<40

SURVEY NOTES:

1. UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE N.Y.S. EDUCATION LAW.
2. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED SEAL OR HIS EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
3. CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNER.
4. UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS, IF ANY, ARE NOT SHOWN HEREON.
5. CONTACT UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION AS UNDERGROUND IMPROVEMENTS MAY EXIST WHICH WERE NOT LOCATED AT THE TIME OF THIS SURVEY.
6. ALL INTERIOR FEATURES ARE NOT SHOWN HEREON.
7. SUBJECT TO AN UP TO DATE AND ACCURATE TITLE REPORT.
8. SUBJECT TO ANY EASEMENTS OR AGREEMENTS, IF ANY.
9. SUBJECT TO ANY RIGHTS, TITLE OR INTEREST BY OTHERS TO PROPERTY IN/AND OR ALONG THE ROADWAYS SHOWN HEREON.
10. SUBJECT TO ANY RIGHTS, TITLE, EASEMENTS, OR INTEREST BY UTILITY COMPANIES TO UTILITIES RUNNING IN AND/OR ALONG SAID PARCELS.

LOCATION MAP
SCALE: 1"=2,000'

PLAN INDEX

SHEET NO.	DRAWING TITLE
1	COVER SHEET
2	EXISTING CONDITIONS
3	SUBDIVISION PLAT
4	GRADING AND UTILITY PLAN
5	EROSION CONTROL PLAN
6	EROSION CONTROL DETAILS
7	SANITARY & WATER SUPPLY DETAILS

RECORD OWNER/APPLICANT
MEADOW HILL, LLC
48 JENNA DRIVE
MONROE, NEW YORK 10950

DATE	REVISIONS	INITIALS
11-10-21	REVISIONS AS PER P.B. COMMENT LETTER	JWR
9-21-21	ORIGINAL PREPARATION DATE	JWR

MAP CHECK DATE: 11/11/21 INITIALED BY: ---

PIETRZAK & PFAU
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282 GREENWICH AVENUE, SUITE A
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JOSEPH J. PIETRZAK, P.E.
LICENSE NO. 650075

MICHAEL F. PFAU, P.E.
LICENSE NO. 650023

VINCENT J. PIETRZAK, P.E.
LICENSE NO. 650075

SIGNATURE: [Signature] DATE: 11/10/21

OAK WOODS SUBDIVISION

TOWN OF CHESTER
COUNTY OF ORANGE, NEW YORK
SECTION 15 BLOCK 1 LOT 27.41

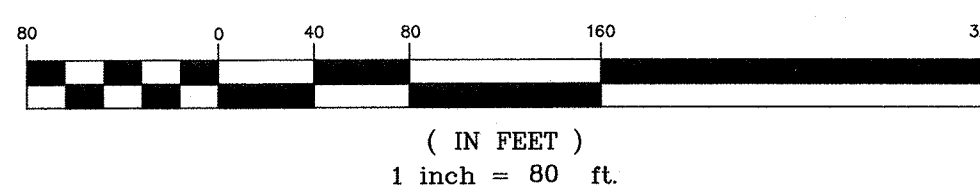
PROJECT TITLE

COVER SHEET

UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED LAND SURVEYOR'S OR PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE N.Y. STATE EDUCATION LAW.			
O.C.D. SHEET NO. N/A. OF #	D.E.C. SHEET NO. N/A. OF #	DRAWING NUMBER 1 OF 7	PROJECT NUMBER 18122.01
SCALE 1"=80'	CAD REFERENCE 19140.01 ENG BASE		

Dig Safely. New York
Call 811
before you dig

GRAPHIC SCALE



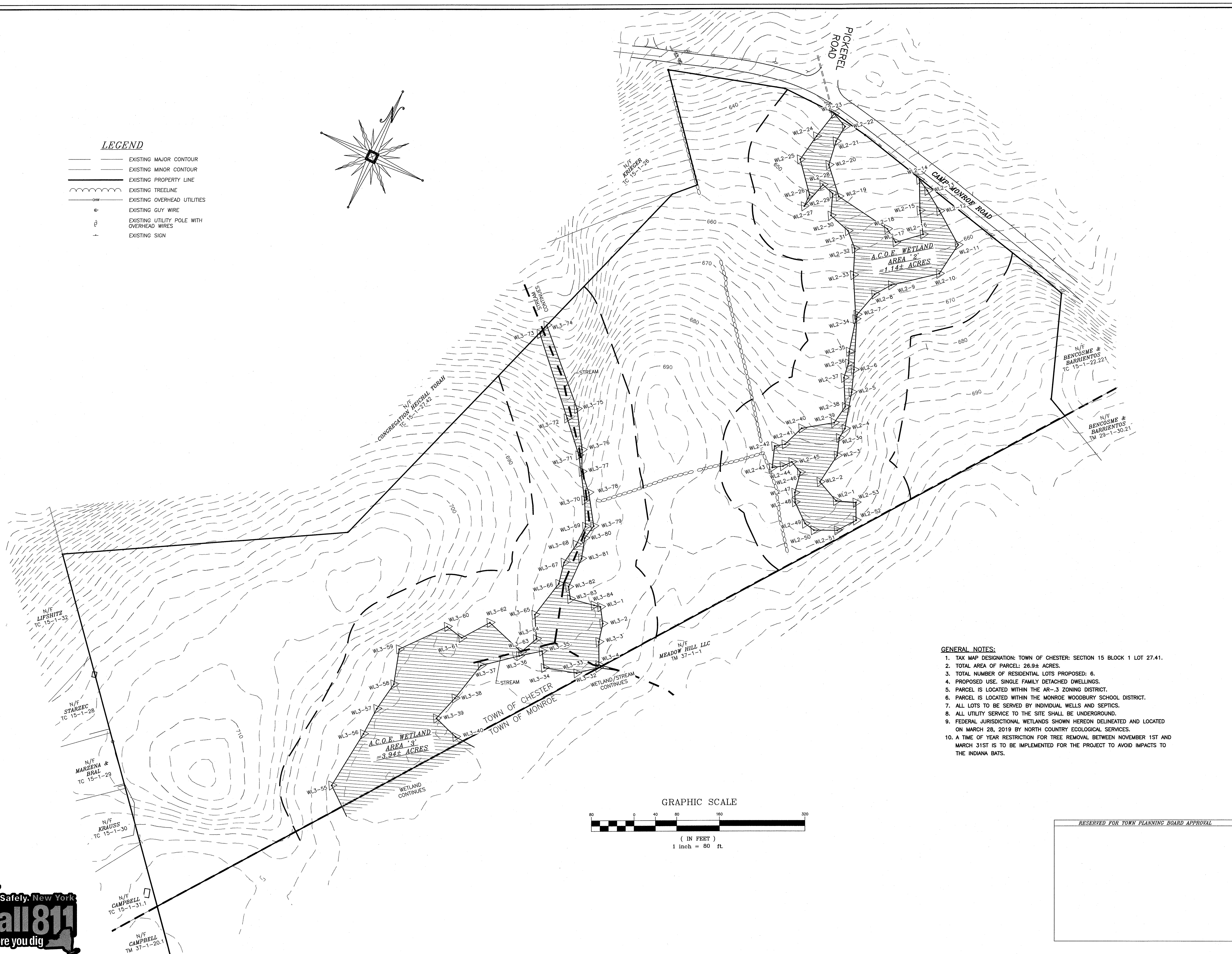
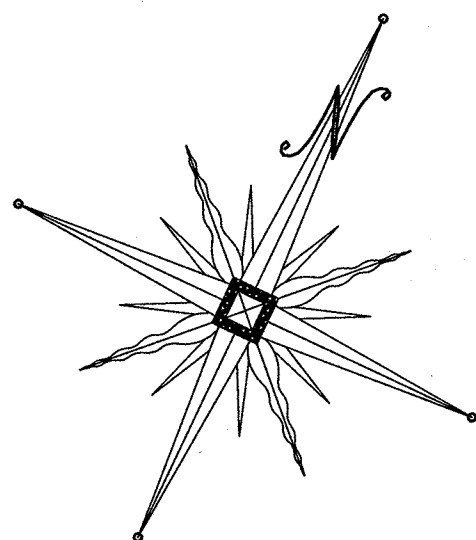
GENERAL NOTES:

1. TAX MAP DESIGNATION: TOWN OF CHESTER: SECTION 15 BLOCK 1 LOT 27.41.
2. TOTAL AREA OF PARCEL: 28.9± ACRES.
3. TOTAL NUMBER OF RESIDENTIAL LOTS PROPOSED: 6.
4. PROPOSED USE: SINGLE FAMILY DETACHED DWELLINGS.
5. PARCEL IS LOCATED WITHIN THE AR-3 ZONING DISTRICT.
6. PARCEL IS LOCATED WITHIN THE MONROE WOODBURY SCHOOL DISTRICT.
7. ALL LOTS TO BE SERVED BY INDIVIDUAL WELLS AND SEPTICS.
8. ALL UTILITY SERVICE TO THE SITE SHALL BE UNDERGROUND.
9. FEDERAL JURISDICTIONAL WETLANDS SHOWN HEREON DELINEATED AND LOCATED ON MARCH 28, 2019 BY NORTH COUNTRY ECOLOGICAL SERVICES.
10. A TIME OF YEAR RESTRICTION FOR TREE REMOVAL BETWEEN OCTOBER 1ST AND MARCH 31ST IS TO BE IMPLEMENTED FOR THE PROJECT TO AVOID IMPACTS TO THE NORTHERN LONG EARED BATS.
11. TOTAL CONSERVATION AREA= 13.48± ACRES

RESERVED FOR TOWN PLANNING BOARD APPROVAL

LEGEND

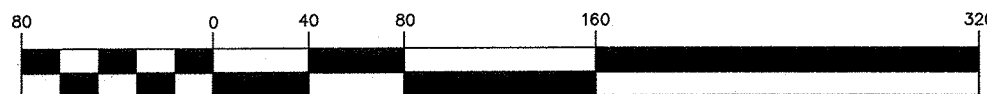
- EXISTING MAJOR CONTOUR
- - - EXISTING MINOR CONTOUR
- EXISTING PROPERTY LINE
- EXISTING TREELINE
- EXISTING OVERHEAD UTILITIES
- EXISTING GUY WIRE
- EXISTING UTILITY POLE WITH OVERHEAD WIRES
- EXISTING SIGN



GENERAL NOTES:

1. TAX MAP DESIGNATION: TOWN OF CHESTER: SECTION 15 BLOCK 1 LOT 27.41.
2. TOTAL AREA OF PARCEL: 26.9± ACRES.
3. TOTAL NUMBER OF RESIDENTIAL LOTS PROPOSED: 6.
4. PROPOSED USE: SINGLE FAMILY DETACHED DWELLINGS.
5. PARCEL IS LOCATED WITHIN THE AR-3 ZONING DISTRICT.
6. PARCEL IS LOCATED WITHIN THE MONROE WOODBURY SCHOOL DISTRICT.
7. ALL LOTS TO BE SERVED BY INDIVIDUAL WELLS AND SEPTICS.
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10. A TIME OF YEAR RESTRICTION FOR TREE REMOVAL BETWEEN NOVEMBER 1ST AND MARCH 31ST IS TO BE IMPLEMENTED FOR THE PROJECT TO AVOID IMPACTS TO THE INDIANA BATS.

GRAPHIC SCALE



(IN FEET)
1 inch = 80 ft.

RESERVED FOR TOWN PLANNING BOARD APPROVAL

11-10-21	REVISIONS AS PER P.B. COMMENT LETTER	JJR
9-21-21	ORIGINAL PREPARATION DATE	JJR
DATE	DESCRIPTION	INITIALS

MAP CHECK DATE:	11/11/21	INITIALS BY:	--
-----------------	----------	--------------	----

PIETRZAK & PFAU
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JOSEPH A. PIETRZAK, P.E., P.L.S., L.S.
LICENSE NO. 65032

SIGNATURE: [Signature] DATE: 11/10/21

OAK WOODS SUBDIVISION

TOWN OF CHESTER
COUNTY OF ORANGE, NEW YORK
SECTION 15 BLOCK 1 LOT 27.41

EXISTING CONDITIONS

O.C.H.D. SHEET NO.	D.E.C. SHEET NO.	DRAWING NUMBER
N/A. OF #	N/A. OF #	2 OF 7
SCALE	CAD REFERENCE	PROJECT NUMBER
1"=80'	19140.01 ENG. BASE	18122.01



LEGEND

--- PROPOSED PROPERTY LINE
 --- EXISTING PROPERTY LINE

BULK REQUIREMENTS

AR-3 ZONING DISTRICT CLUSTERING REQUIRED
 (USE GROUP-SINGLE FAMILY DETACHED DWELLING)

	MIN. REQUIRED	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6
LOT AREA (S.F.)	21,780	29,995±	65,907±	572,699±	358,294±	64,374±	47,806±
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FRONT YARD (FT.)	35	77.9±	349.5±	534.0±	649.8±	265.5±	186.8±
SIDE YARD (FT.)	15	35.3±	44.1±	48.0±	39.3±	57.7±	43.9±
BOTH SIDE YARDS (FT.)	30	78.1±	114.6±	118.4±	435.2±	153.6±	95.2±
REAR YARD (FT.)	40	89.8±	116.8±	1218.3±	227.6±	50.3±	62.7±

	MAX. PERMITTED	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6
BLDG. COVERAGE (%)	20	<20	<20	<20	<20	<20	<20
BLDG. HEIGHT (FT.)	40	<40	<40	<40	<40	<40	<40

PARCEL A
 LAND TO BE DEDICATED TO
 THE APPALACHIAN TRAIL
 AREA=33,682± SQ.FT.
 0.77± ACRES

N/F LIFSHITZ
 TC 15-1-32

N/F STARZEC
 TC 15-1-28

N/F MARZENA & BRAL
 TC 15-1-29

N/F KRAUSS
 TC 15-1-30

N/F CAMPBELL
 TC 15-1-31.1

N/F CAMPBELL
 TM 37-1-20.1

CONSERVATION EASEMENT AREA
 AREA=491,627± SQ.FT.
 11.28± ACRES

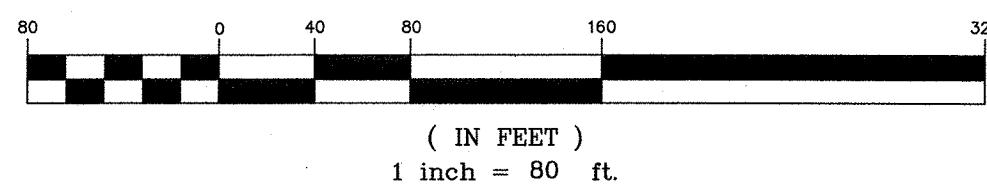
CONSERVATION EASEMENT AREA
 AREA=95,869± SQ.FT.
 2.20± ACRES

CONSERVATION EASEMENT AREA
 AREA=95,869± SQ.FT.
 2.20± ACRES

N/F MEADOW HILL LLC
 TM 37-1-1

TOWN OF CHESTER
 TOWN OF MONROE

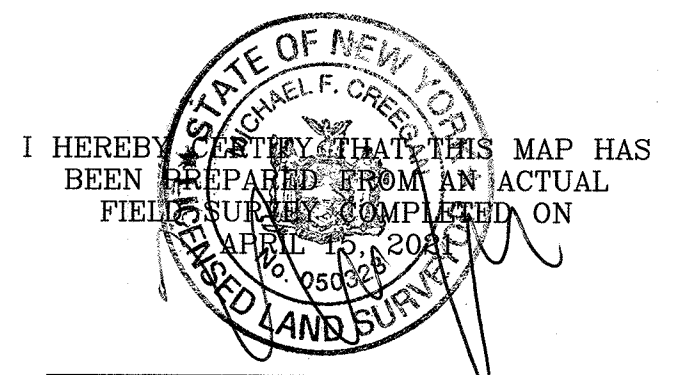
GRAPHIC SCALE



GENERAL NOTES:

1. TAX MAP DESIGNATION: TOWN OF CHESTER: SECTION 15 BLOCK 1 LOT 27.41.
2. TOTAL AREA OF PARCEL: 26.9± ACRES.
3. TOTAL NUMBER OF RESIDENTIAL LOTS PROPOSED: 6.
4. PROPOSED USE: SINGLE FAMILY DETACHED DWELLINGS.
5. PARCEL IS LOCATED WITHIN THE MONROE WOODBURY SCHOOL DISTRICT.
6. ALL LOTS TO BE SERVED BY INDIVIDUAL WELLS AND SEPTICS.
7. ALL UTILITY SERVICE TO THE SITE SHALL BE UNDERGROUND.
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9. A TIME OF YEAR RESTRICTION FOR TREE REMOVAL BETWEEN NOVEMBER 1ST AND MARCH 31ST IS TO BE IMPLEMENTED FOR THE PROJECT TO AVOID IMPACTS TO THE INDIANA BATS.
10. TOTAL CONSERVATION AREA = 13.48± ACRES

RESERVED FOR TOWN PLANNING BOARD APPROVAL



11-10-21	REVISIONS AS PER P.B. COMMENT LETTER	JUR
9-21-21	ORIGINAL PREPARATION DATE	JUR
DATE	DESCRIPTION	INITIALS
REVISIONS		
MAP CHECK DATE:	11/11/21	INITIALED BY: --

PIETRZAK & PFAU
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JOSEPH A. PIETRZAK P.E.
 LICENSE NO. 650523

MICHAEL F. CROGAN P.L.S.
 LICENSE NO. 650523

THOMAS A. PIETRZAK P.E., P.L.S., T.S.D.
 LICENSE NO. 650523

10/10/21

OAK WOODS' SUBDIVISION

TOWN OF CHESTER
 COUNTY OF ORANGE, NEW YORK
 SECTION 15 BLOCK 1 LOT 27.41

PROJECT TITLE

SUBDIVISION PLAT

DRAWING TITLE

UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED LAND SURVEYOR'S OR PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.

O.C.D. SHEET NO.	D.E.C. SHEET NO.	DRAWING NUMBER
3/A OF 4	3/A OF 4	3 OF 7

SCALE: 1"=80'

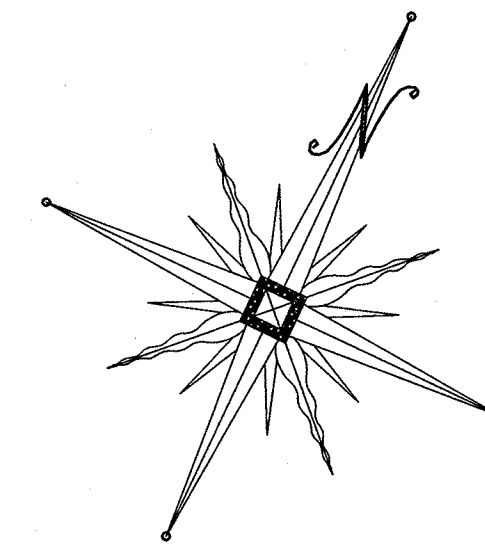
CAD REFERENCE: 191401 ENG DGE

PROJECT NUMBER: 18122.01

Dig Safely. New York
Call 811
 before you dig

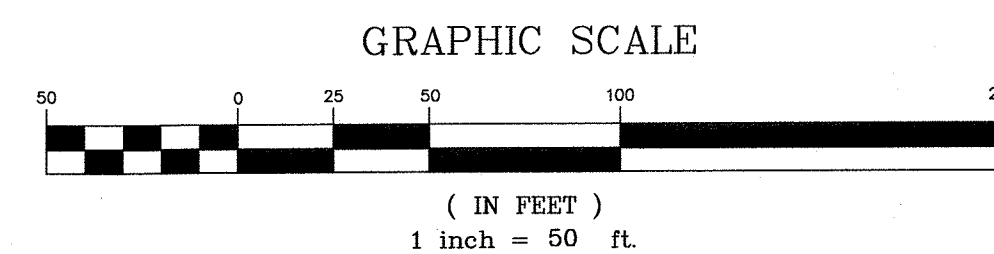
LEGEND

- PROPOSED WELL
- PROPOSED ELJEN SDS SYSTEM
- PROPOSED PROPERTY LINE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING PROPERTY LINE
- EXISTING TREELINE
- EXISTING OVERHEAD UTILITIES
- EXISTING GUY WIRE
- EXISTING UTILITY POLE WITH OVERHEAD WIRES
- EXISTING SIGN
- SOIL PERCOLATION TEST
- SOIL DEEP TEST



**CONSERVATION
EASEMENT AREA**
AREA=491,627± SQ.FT.
11.28± ACRES

**CONSERVATION
EASEMENT AREA**
AREA=95,860± SQ.FT.



GENERAL NOTES:
1. ANY RETAINING WALL OVER FOUR (4) FEET HIGH REQUIRE A BUILDING PERMIT.

RESERVED FOR TOWN PLANNING BOARD APPROVAL

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MICHAEL T. CHODURA P.L.S.
LICENSE NO. 650223

VINCENT A. PIETRZAK P.E. P.L.S. LEED@AP
P.E. LICENSE NO. 100094E P.L.S. LICENSE NO. 050075
MICHAEL'S LICENSE NO. 55396

SIGNATURE: _____ DATE: 11/10/21

OAK WOODS SUBDIVISION

TOWN OF CHESTER
COUNTY OF ORANGE, NEW YORK
SECTION 15 BLOCK 1 LOT 27.41




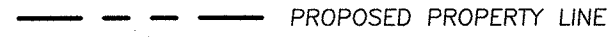
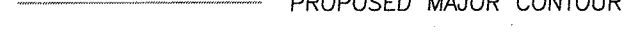

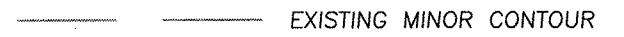
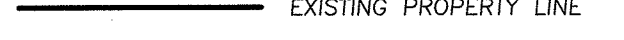
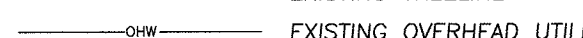





PROJECT TITLE

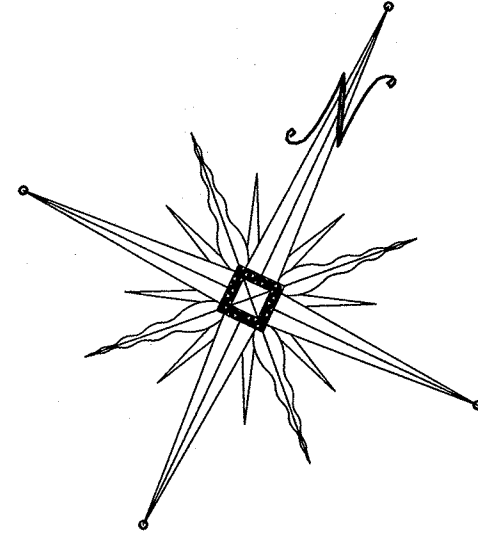
**UTILITY AND
GRADING SHEET**

DRAWING TITLE		
UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED LAND SURVEYOR'S OR PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 2209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.		
O.C.H.D. SHEET NO. N/A OF #	D.E.C. SHEET NO. N/A OF #	DRAWING NUMBER 4 OF 7
SCALE 1"=50'	CAD REFERENCE 19140.01 ENG. BASE	PROJECT NUMBER 18122.01



LEGEND

-  STABILIZED CONSTRUCTION ENTRANCE
-  SILT FENCE
-  PROPOSED DISTURBANCE LIMIT LINE
-  PROPOSED PROPERTY LINE
-  PROPOSED MAJOR CONTOUR
-  PROPOSED MINOR CONTOUR
-  EXISTING MAJOR CONTOUR
-  EXISTING MINOR CONTOUR
-  EXISTING PROPERTY LINE
-  EXISTING TREELINE
-  EXISTING OVERHEAD UTILITIES
-  EXISTING GUY WIRE
-  EXISTING UTILITY POLE WITH OVERHEAD WIRES
-  EXISTING SIGN



N/F
KRIEGER
TC 15-1-26

WETLAND DIST.
AREA NO. 1
270 sq.ft.

WETLAND DIST.
AREA NO. 2
775 sq.ft.

APPROXIMATE LIMITS
OF A.C.O.E.
WETLANDS

CAMP MONROE ROAD

PROPOSED
RETAINING WALL

N/F
BENCOSI
BARRIE
TC 15-1

N/F
CONGREGATION HEICHAL TORAH
TC 15-1-21-42

**CONSERVATION
EASEMENT AREA**
AREA=491,627± SQ.FT.
11.28± ACRES

**CONSERVATION
EASEMENT AREA**
AREA=95,869± SQ.FT.
2.20± ACRES

DISTURBANCE
LIMIT LINE
(TYP.)

SILT FENCE
(TYP.)

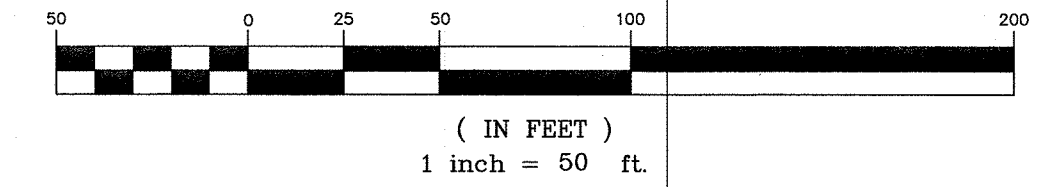
CONSTRUCTION
ENTRANCE
(TYP.)

BE
B.
TM

LIMIT OF DISTURBANCE:
THE PROPOSED LIMIT OF DISTURBANCE IS
2.74± ACRES, AS SHOWN ON THE PLAN.

- CONSTRUCTION NOTES:**
1. CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES AND VERIFY ALL LOCATIONS, ELEVATIONS, INVERTS, ETC. PRIOR TO ANY CONSTRUCTION AND NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES ON THIS PLAN.
 2. CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE UTILITIES FIELD LOCATED BY RESPECTIVE UTILITY COMPANIES AND SHALL ASSUME FULL RESPONSIBILITY AND SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING CONTINUOUS UTILITY SERVICE AND REPAIRS TO ANY DAMAGE.
 3. PROJECT SAFETY AND TRAFFIC MAINTENANCE ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 4. CONTRACTOR TO COORDINATE WITH ALL COMPANIES TO ASSURE ADEQUATE SUPPLY AND SCHEDULING OF NEW SERVICE, WHERE REQUIRED, TO FIT THE CONSTRUCTION SCHEDULING AND SEQUENCE TO ASSURE NO DAMAGE OR DISTURBANCE TO EXISTING SERVICES.

GRAPHIC SCALE



11-10-21	REVISIONS AS PER P.B. COMMENT LETTER	JJR
9-21-21	ORIGINAL PREPARATION DATE	JJR
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MICHAEL T. PFAU
LICENSED PROFESSIONAL SURVEYOR
LICENSE NO. 100033

THOMAS A. PIETRZAK
LICENSED PROFESSIONAL ENGINEER
LICENSE NO. 100075

DATE: 11/10/21

OAK WOODS SUBDIVISION

TOWN OF CHESTER
COUNTY OF ORANGE, NEW YORK
SECTION 15 BLOCK 1 LOT 27.41

PROJECT TITLE

EROSION CONTROL PLAN

DRAWING TITLE			
UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED LAND SURVEYOR'S OR PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 2209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.			
O.C.H.D. SHEET NO.	D.E.C. SHEET NO.	DRAWING NUMBER	
N/A OF #	N/A OF #	5 OF 7	
SCALE	CAD REFERENCE	PROJECT NUMBER	
1"=50'	1914/01 DNG BASE	18122.01	



RESERVED FOR TOWN PLANNING BOARD APPROVAL

EROSION CONTROL SEQUENCE

MEASURES SHALL BE TAKEN TO PREVENT SOIL EROSION DURING PROJECT CONSTRUCTION. ALL FRESHLY DISTURBED AREAS THAT WILL REMAIN DISTURBED FOR MORE THAN A PERIOD OF FOURTEEN (14) DAYS SHALL BE STABILIZED BY TEMPORARY SEEDING AS INDICATED ON THE TEMPORARY SEEDING SCHEDULE. DISTURBED AREAS SHALL BE MINIMAL IN SIZE AND SHALL NOT EXCEED THE APPROVED CLEARING AND GRADING LIMITS. THE FOLLOWING MEASURES SHALL BE IMPLEMENTED AS CONSTRUCTION PROGRESSES.

- A. PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES, THE LIMITS OF CLEARING AND GRADING SHALL BE MARKED. FILTER FABRIC SEDIMENTATION BARRIERS (SILT FENCE) SHALL BE PLACED ALONG THE DOWNGRADE PERIMETER OF THE SITE AND ANY OTHER AREAS WHERE SILT FENCE IS INDICATED AS TO BE INSTALLED "PRIOR TO CONSTRUCTION" ON THE APPROVED PLANS. INSTALLATION IS TO BEGIN AT THE DOWNSTREAM PORTIONS OF THE SITE THEN WORKING UPSTREAM.
- B. STABILIZED CONSTRUCTION ENTRANCES SHALL BE BUILT IN THE AREAS SHOWN ON THE APPROVED PLANS AND WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PUBLIC THROUGHFARE, STABILIZED ENTRANCES SHALL BE BUILT IN ACCORDANCE WITH THE STABILIZED CONSTRUCTION ENTRANCE DETAIL.
- C. UPON COMPLETION OF CLEARING AND GRUBBING ACTIVITIES, TOPSOIL SHALL BE STRIPPED AND STOCKPILED FROM ALL AREAS TO BE DISTURBED. STOCKPILED TOPSOIL SHALL BE STABILIZED BY TEMPORARY SEEDING AND SURROUNDED WITH A PERIMETER SILT FENCE.
- D. TEMPORARY EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO COMMENCING EARTH MOVING ACTIVITIES. THIS INCLUDES SEDIMENTATION TRAPPS, TYPE "B" DIVERSION SWALES (WITH CHECK DAMS IF APPLICABLE) AND SILT FENCE IN AREAS NOT DESIGNATED TO BE GRADED. INSTALLATION SHALL BEGIN AT DOWNSTREAM PORTIONS OF THE SITE THEN WORKING UPSTREAM. INFILTRATION AND FILTER MEDIA INSTALLED UNTILL ALL TRIBUTARY AREAS HAVE BEEN SUBSTANTIALLY STABILIZED.
- E. IMMEDIATELY AFTER COMPLETION OF ROUGH GRADING, REMAINING TEMPORARY EROSION CONTROL SHALL BE INSTALLED AS SPECIFIED ON THE APPROVED PLANS. THIS INCLUDES ANY REMAINING SILT FENCE AND TYPE "A" DIVERSION SWALES (WITH CHECK DAMS IF APPLICABLE). AREAS NOT REQUIRING FURTHER EARTHWORK SHALL BE FINE GRADED, TOPSOILED, AND STABILIZED AS EARLY AS POSSIBLE.
- F. ANY PROPOSED STORM DRAINAGE SHALL BE INSTALLED AND INCORPORATED INTO EROSION CONTROL AS SPECIFIED ON THE APPROVED PLANS. STORM DRAINAGE COMPONENTS SHALL BE PROTECTED FROM SILTATION AS INDICATED.
- G. UPON COMPLETION OF CONSTRUCTION ACTIVITES, REMAINING AREAS SHALL BE FINE GRADED, TOPSOILED, AND STABILIZED. PERMANENT VEGETATION AND LANDSCAPING SHALL BE ESTABLISHED.
- H. TEMPORARY EROSION CONTROL DEVICES SHALL BE REMOVED ONCE UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED. REMOVAL OF TEMPORARY EROSION CONTROL DEVICES SHALL BEGIN WITH THE MOST UPSTREAM PORTIONS OF THE SITE THEN WORKING DOWNSTREAM.
- I. ALL NEWLY SEEDED VEGETATIVE COVER SHALL BE MAINTAINED. WASHOUTS OR POORLY GROWING AREAS SHALL BE CORRECTED AS THEY OCCUR.

GENERAL EROSION CONTROL NOTES

1. FILTER FABRIC IS TO BE MIRAFI 140 AS MANUFACTURED BY THE CELANESE CORPORATION OR APPROVED EQUAL. 2. WHEREVER FEASIBLE, NATURAL VEGETATION SHOULD BE RETAINED AND PROTECTED. 3. ONLY THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. 4. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME. 5. ALL WORK SHALL BE IN ACCORDANCE WITH ALL OF THE ATTACHED DRAWINGS.

MAINTENANCE REQUIREMENTS

1. THE MAINTENANCE OF EROSION CONTROL DEVICES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE JOB SUPERINTENDENT WILL MONITOR THE CONDITION OF ALL THE DEVICES, CLEAN AND REPLACE STRUCTURES AS CLIMATIC CONDITIONS REQUIRE. THE DEVELOPER WILL ALSO BE SUBJECT TO THE DIRECTIVE OF THE DESIGN ENGINEER AND TOWN REPRESENTATIVES TO INCLUDE TOWN ENGINEER, HIGHWAY SUPERINTENDENT AND BUILDING INSPECTOR.
2. GENERAL CONTRACTOR AND ALL CONTRACTORS SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE APPROVED PLANS AND MAY BE SUBJECT TO ADDITIONAL EROSION CONTROL REQUIREMENTS AS CONDITIONS MAY ARISE IN THE FIELD OR AS DIRECTED BY THE DESIGN ENGINEER.
3. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES IN ACCORDANCE WITH THE APPROVED PLANS. MANUFACTURER'S RECOMMENDATIONS, AS DIRECTED BY THE DESIGN ENGINEER AND TOWN REPRESENTATIVES INCLUDING TOWN ENGINEER, HIGHWAY SUPERINTENDENT AND BUILDING INSPECTOR.
4. NO EROSION CONTROL STRUCTURES SHALL BE REMOVED UNTIL ALL WORK UPSTREAM THEREFROM HAS BEEN COMPLETED, INCLUDING STABILIZATION AND APPROVED BY THE DESIGN ENGINEER AND TOWN REPRESENTATIVES.
5. CONSTRUCTION ACTIVITIES TO BE LIMITED TO THE PERIOD OF 7:00 AM TO 7:00 PM.
6. ALL CONSTRUCTION EQUIPMENT SHALL HAVE PROPERLY SIZED MAINTAINED MUFFLERS.
7. ALL CONSTRUCTION EQUIPMENT SHALL BE TURNED OFF WHEN NOT IN USE.

SLOPE STABILIZATION, SEEDING METHOD & MULCHING

SLOPES OF 4:1 OR GREATER (HORIZONTAL:VERTICAL)
- SLOPES SHALL BE HYDROSEEDED WITH THE MIXTURES AND RATES INDICATED IN THE PERMANENT SEEDING MIXTURE SCHEDULE. STRAW OR HAY MULCH SHALL BE APPLIED AT A RATE OF 2000 LBS/ACRE. STRAW OR HAY MULCH SHALL BE ANCHORED WITH BIO-MAT NETTING AS MANUFACTURED BY ROLANKA INTERNATIONAL OR APPROVED EQUIVALENT. NETTING TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS.

GENTLE SLOPES AND FLAT AREAS
- AREAS SHALL BE SEEDED BY HYDROSEEDING OR BROADCASTING WITH THE MIXTURES AND RATES INDICATED ON THE PERMANENT SEEDING MIXTURE AND RATES INDICATED ON THE PERMANENT SEEDING MIXTURE SCHEDULE. HYDROSEEDED AREAS SHALL BE MULCHED WITH A WOOD FIBER MULCH APPLIED AT A RATE OF 500 LBS/ACRES. BROADCAST AREAS SHALL BE MULCHED WITH HAY OR STRAW AT A RATE OF 2000 LBS/ACRE. AREAS SEEDED BY BROADCASTING SHALL BE LIGHTLY RAKED AND PACKED PRIOR TO PLACING MULCH.

STREAMS, DRAINAGE SWALES AND EMBANKMENTS

1. ALL CONSTRUCTION ACTIVITIES IN OR EXISTING AROUND DRAINAGE SWALES OR WETLANDS ARE TO BE PROVIDED WITH TEMPORARY EROSION CONTROL STRUCTURES AS SHOWN IN DETAIL, LOCATED IMMEDIATELY DOWNSTREAM FROM SUCH ACTIVITY. THESE STRUCTURES ARE TO BE IN PLACE AS SHOWN PRIOR TO THE START OF ANY UPSTREAM CONSTRUCTION ACTIVITY.
2. CONSTRUCTION EQUIPMENT SHALL NOT UNNECESSARILY CROSS LIVE STREAMS OR DRAINAGE SWALES EXCEPT BY MEANS OF BRIDGES AND CULVERTS OR OTHER APPROVED METHODS.
3. ALL EMBANKMENTS TO BE GRADED AND SEEDED IMMEDIATELY UPON BEING LAID BACK.
4. STABILIZATION OF THE SWALES WILL INCLUDE SEEDING AND STRAW MULCH ON SLOPES LESS THAN 5% AND JUTE NETTING OR EQUAL ON SLOPES EXCEEDING 5%.
5. TOPSOIL AND/OR EARTH STOCKPILE SHALL BE LOCATED OUTSIDE OF EXISTING DRAINAGE SWALES, WETLANDS AND ADJACENT AREAS. SILT FENCE WILL BE PLACED ALONG THE TOE OF THE PILES AND PILES SHALL RECEIVE TEMPORARY SEEDING.

SOIL RESTORATION NOTE:

TO INCREASE INFILTRATION OF STORM WATER AND IMPROVE DIRECT GROUNDWATER RECHARGE FROM RAIN EVENTS, SOIL RESTORATION PRACTICES, AS OUTLINED IN CHAPTER 5.1.6 OF THE NEW YORK STATE STORMWATER MANAGEMENT DESIGN MANUAL, SHOULD BE APPLIED TO THE SITE. AERATION AND DEEP RIPPING PROCEDURES SHALL BE AS DESCRIBED IN APPENDIX 8 OF SWPPP, AND SHALL BE APPLIED TO ALL FLAT TO MODERATELY SLOPED AREAS OF SOIL DISTURBANCE WHICH ARE PROPOSED TO REMAIN PERVIOUS.

SEEDBED PREPARATION & AMENDMENTS

MODERATE TO STEEP SLOPES AND LOW MAINTENANCE AREAS

- SCARIFY SOIL TO DEPTH OF 4" TO 6" IF COMPACTED.
- REMOVED LARGE STONES AND STUMPS ALLOWING ROCKS, ROOTS CLOUDS AND OTHER NATURAL DEBRIS TO REMAIN.
- ROUGHEN SLOPE FACES BY MAKING GROVES 2"-3" DEEP, PERPENDICULAR TO THE SLOPE WITH DISK OR YORK RAKE.
- LIME AS REQUIRED TO ACHIEVE A pH OF 6.0.
- FERTILIZE AT A RATE OF 600 LBS/ACRE OF 5-10-10 FERTILIZER OR AS RECOMMENDED BY SOIL TESTS.
- INCORPORATE LIME AND FERTILIZER INTO TOP 4" OF SOIL BY ROUGHENING.

GENERAL RECREATION AREAS AND LAWNS

- PLACE TOPSOIL TO A MINIMUM DEPTH OF 4"
- SCARIFY SOIL TO A DEPTH OF 4"-6" IF COMPACTED
- REMOVE ALL STONES OVER 1" IN DIAMETER, STICKS AND FOREIGN MATTER FROM THE SURFACE.
- LIME AS REQUIRED TO ACHIEVE A pH OF 6.5.
- FERTILIZE AT A RATE OF 850 LBS/ACRE OF 5-10-10 OR EQUIVALENT FERTILIZER OR AS RECOMMENDED BY SOIL TESTS.
- INCORPORATE LIME AND FERTILIZER INTO TOP 2"-4" OF TOPSOIL.
- SMOOTH AND FIRM THE SEEDBED.

TEMPORARY SEEDING SPECIFICATIONS

- SCARIFY SOILS IF COMPACTED
- LIME TO pH OF 6.0 IF REQUIRED
- FERTILIZE WITH 600 LBS/ACRE 5-10-10 FERTILIZER IF REQ..
- SEED WITH SPECIES AND RATE SHOWN BELOW
- MULCH WITH HAY OR STRAW AT A RATE OF 2000 LBS/ACRE.
- ANCHOR MULCH WITH NETTING OF WOOD FIBER OR JUTE IF STEEP SLOPE OR HIGH POTENTIAL FOR EROSION.

SPECIES	APPLICATION RATE
RYEGRASS (ANNUAL OR PERENNIAL)	30 LBS/ACRE
(USE WINTER RYE IF SEEDING IN OCT./NOV.)	(0.7 LBS/1000 SF)

PERMANENT SEEDING MIXTURES

MODERATE TO STEEP SLOPES AND LOW MAINTENANCE AREAS

SPECIES	APPLICATION RATE
EMPIRE BIRDSFOOT TREFOIL	8 LBS/ACRE
TALL FESCUE	20 LBS/ACRE
RYEGRASS	5 LBS/ACRE

GENERAL RECREATION AREAS AND LAWNS

SPECIES	APPLICATION RATE
SUNNY SITES (WELL, MODERATELY WELL AND SOMEWHAT POORLY DRAINED SOILS)	

65% KENTUCKY BLUEGRASS BLEND	85-114 LBS/ACRE
20% PERENNIAL RYEGRASS	26-35 LBS/ACRE
15% FINE FESCUE	19-26 LBS/ACRE

SUNNY DROUGHTY SITES (SOMEWHAT EXCESSIVELY TO EXCESSIVELY DRAINED SOILS)

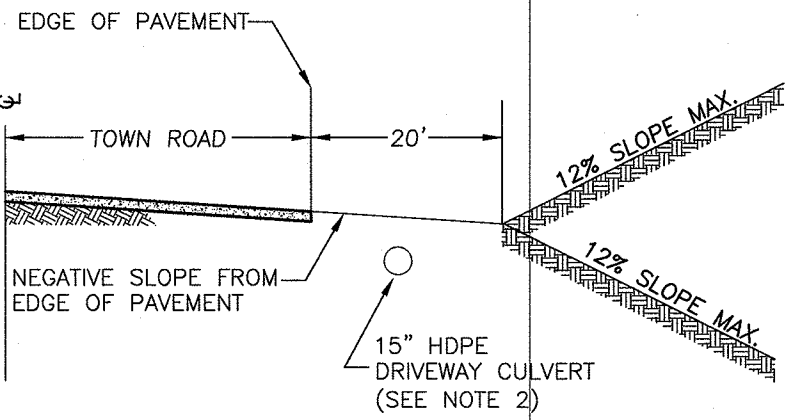
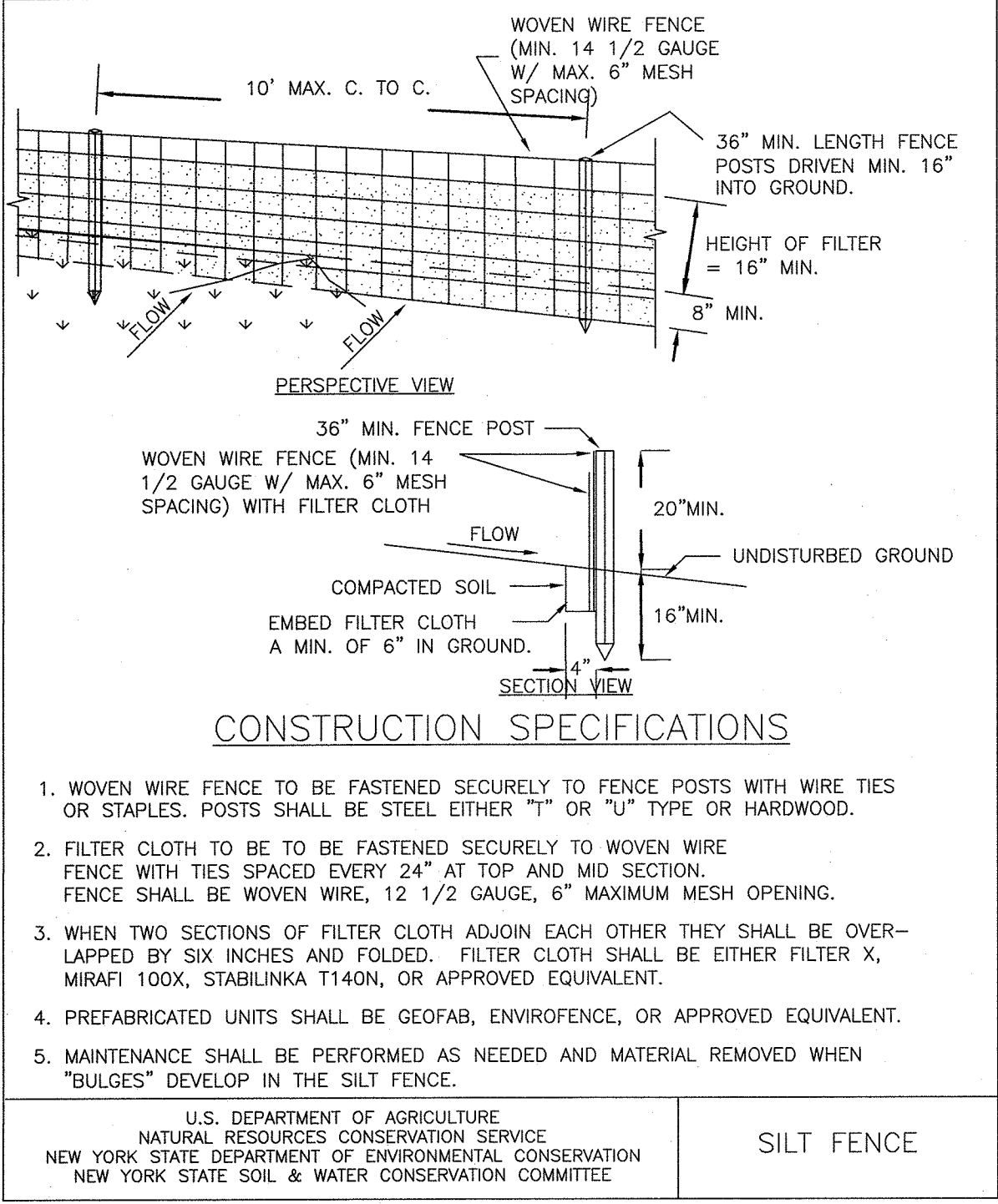
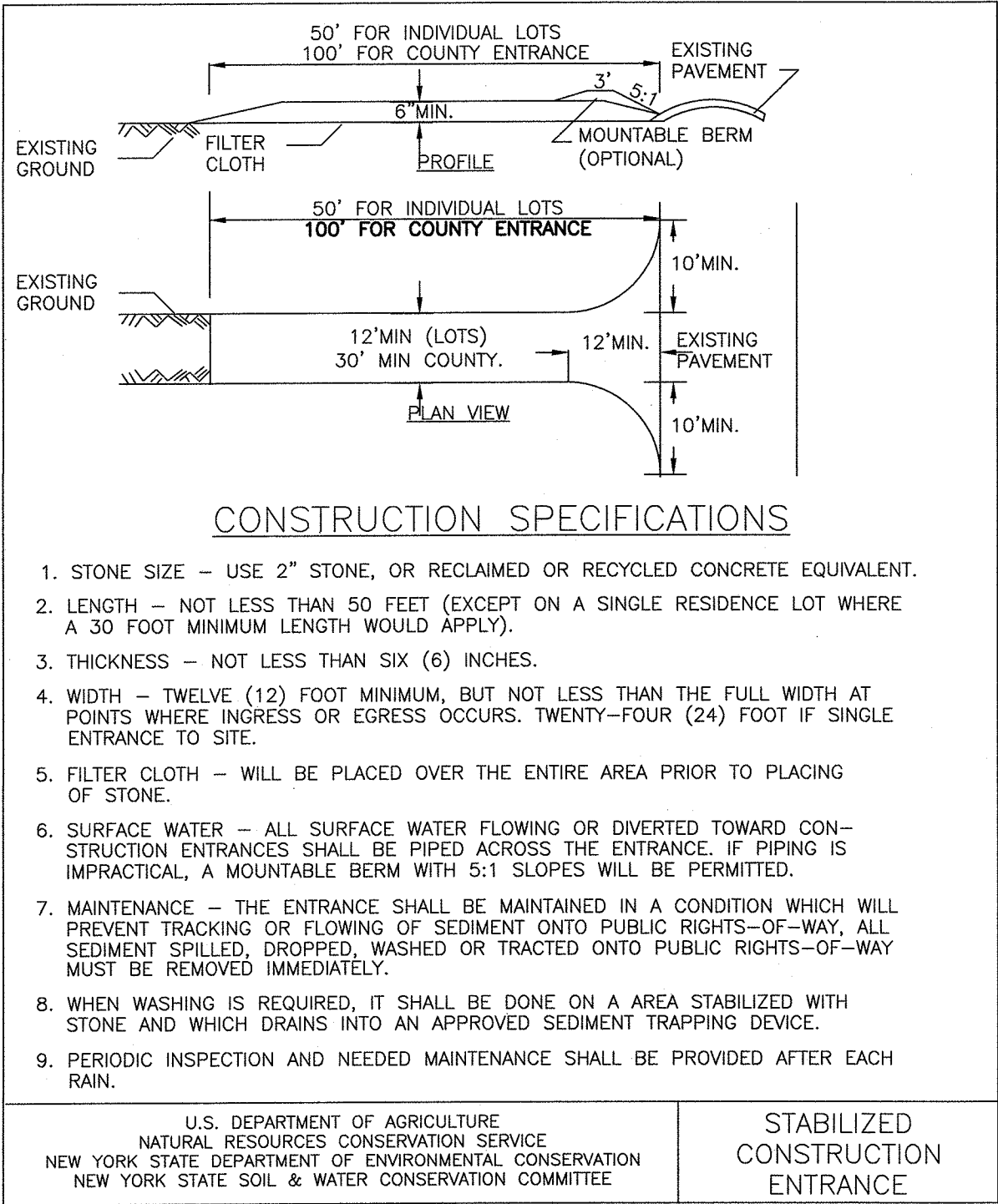
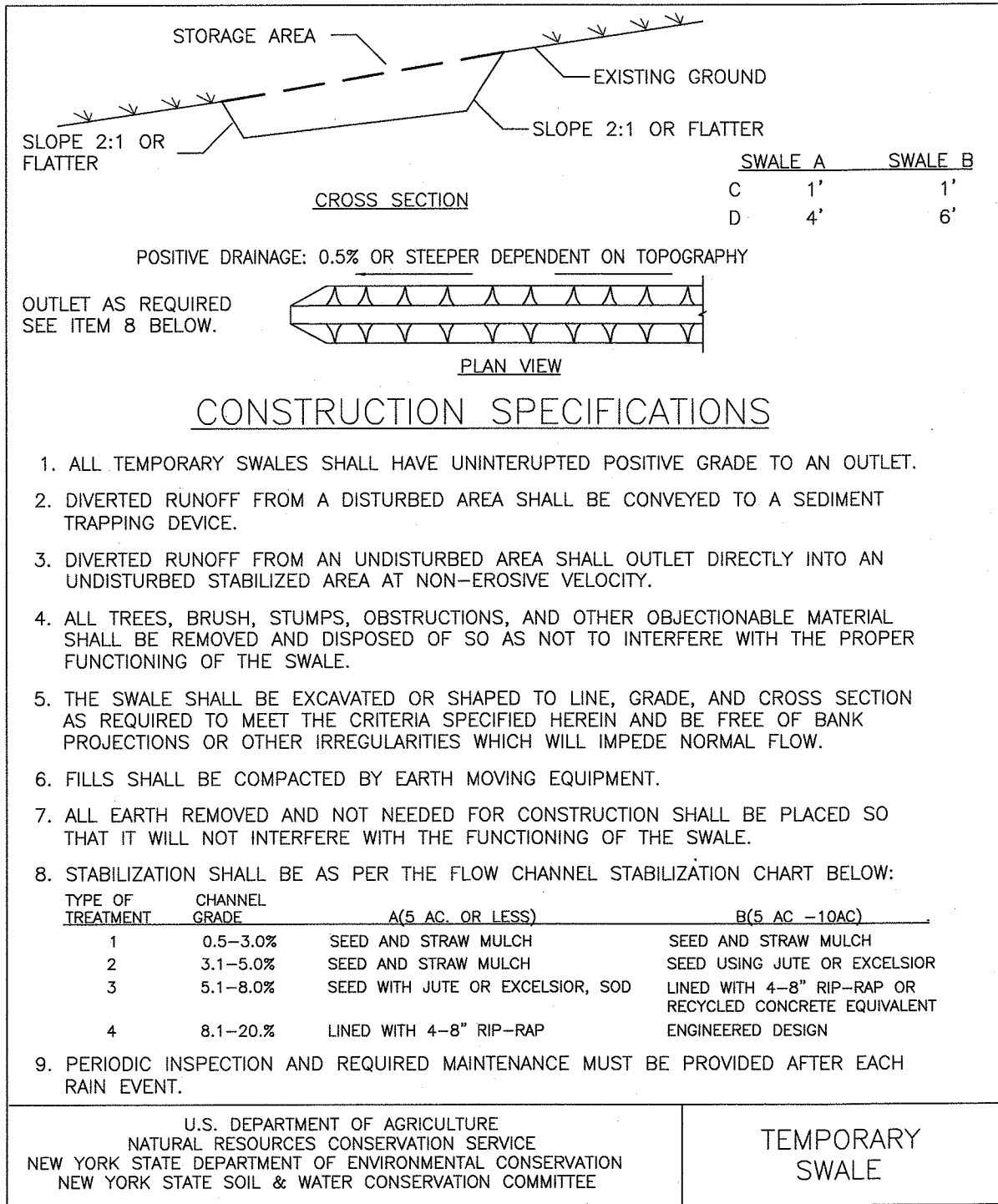
65% FINE FESCUE	114-143 LBS/ACRE
15% PERENNIAL RYEGRASS	26-33 LBS/ACRE
20% KENTUCKY BLUEGRASS BLEND	35-44 LBS/ACRE

SHADY DRY SITES (WELL TO SOMEWHAT POORLY DRAINED SOILS)

80% SHADE TOLERANT KENTUCKY BLUEGRASS BLEND	105-138 LBS/ACRE
20% PERENNIAL RYEGRASS	25-37 LBS/ACRE

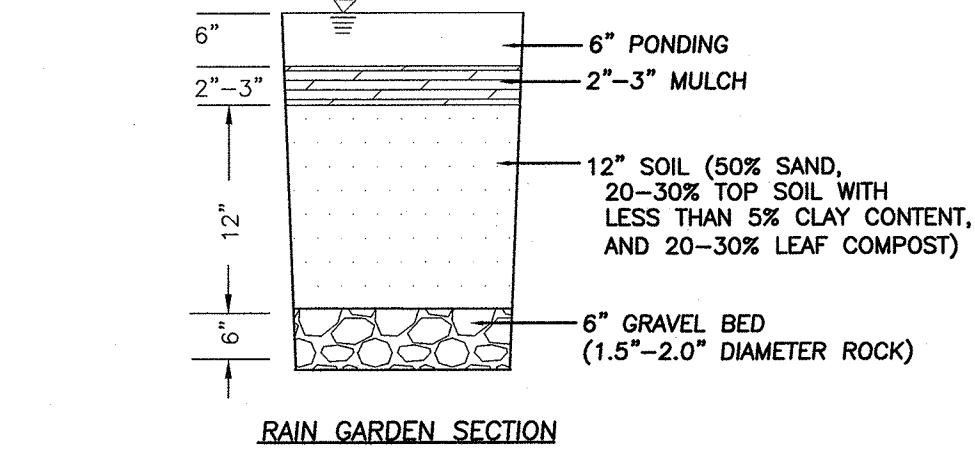
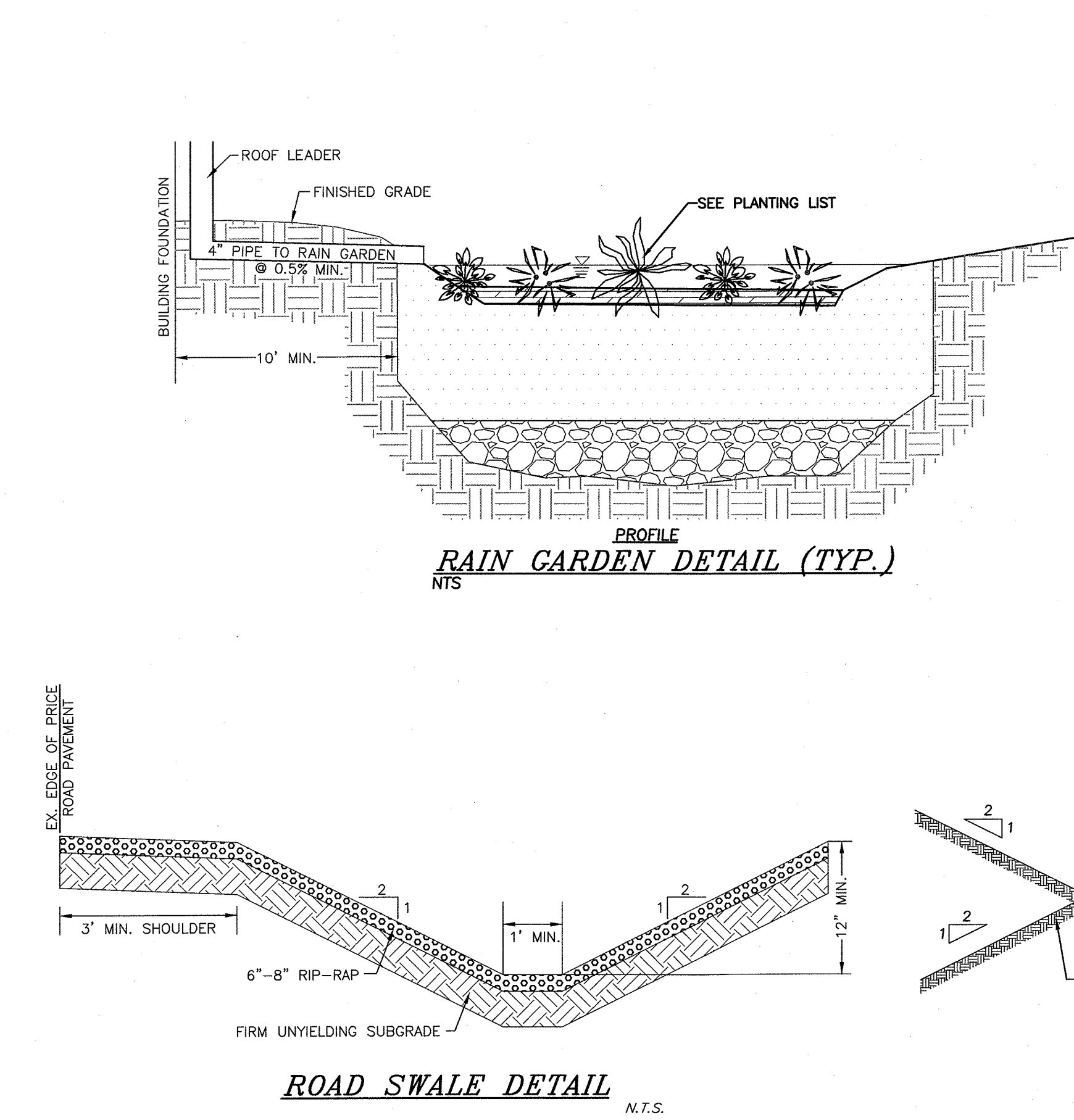
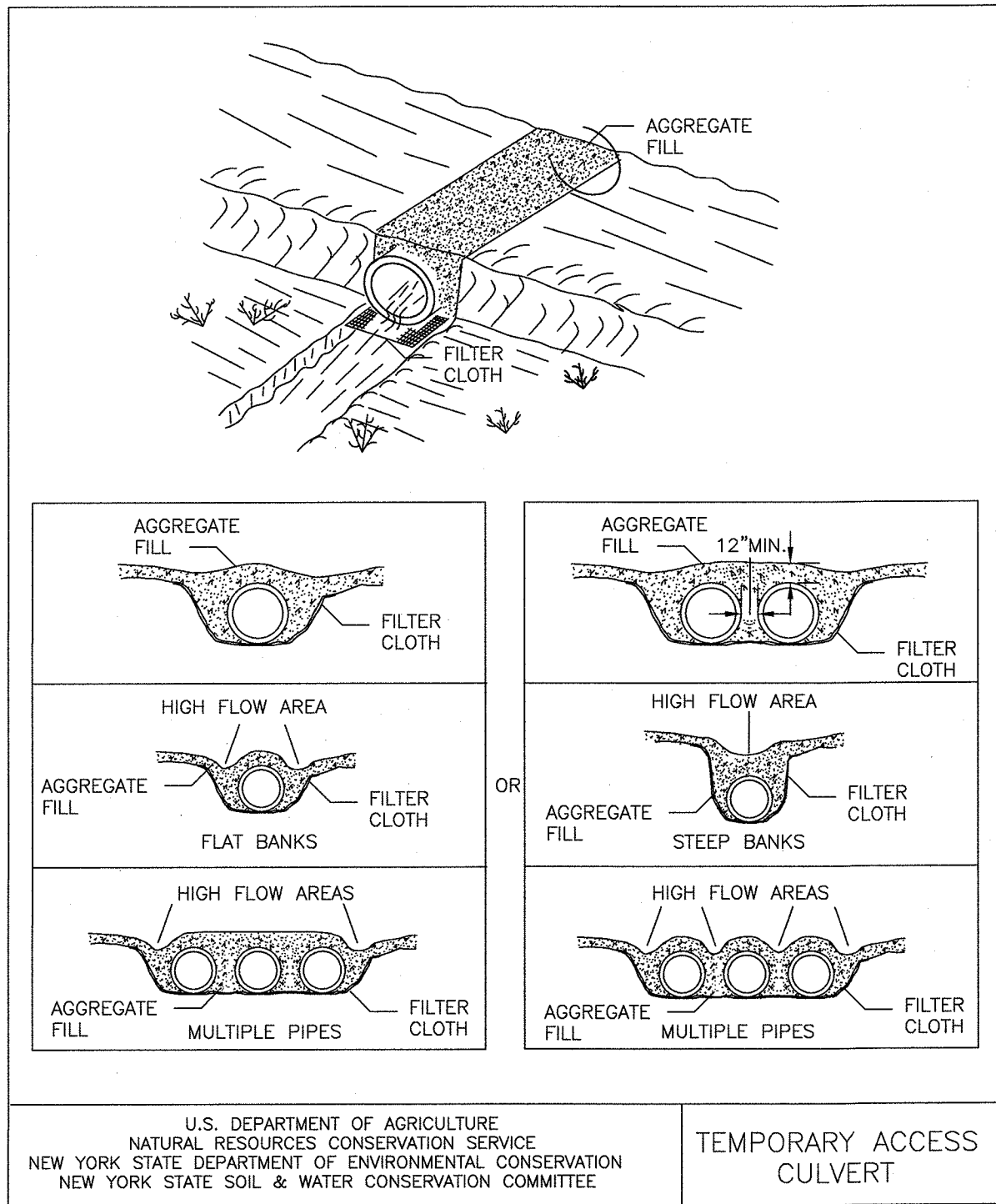
SHADY WET SITES (SOMEWHAT POOR TO POORLY DRAINED SOILS)

70% ROUGH BLUEGRASS	60-91 LBS/ACRE
80% SHADE TOLERANT KENTUCKY BLUEGRASS BLEND	25-39 LBS/ACRE



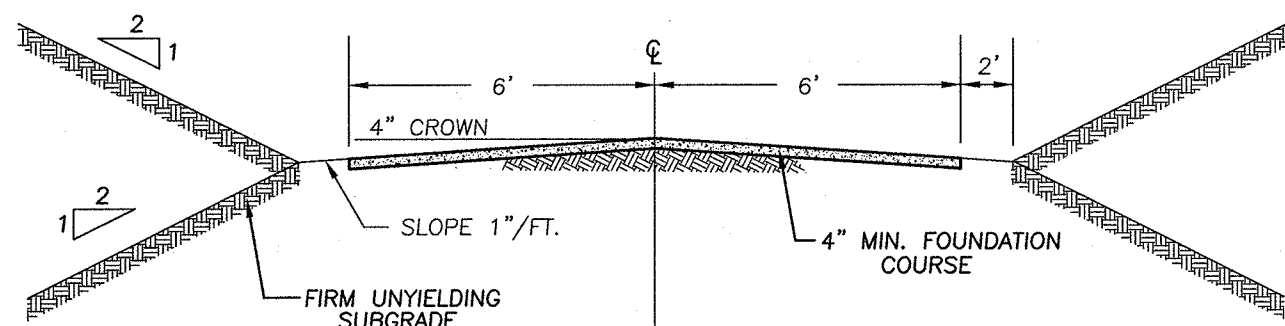
DRIVEWAY PROFILE
N.T.S.

- NOTES:
1. RESIDENTIAL DRIVEWAYS SHALL SLOPE FROM THE STREET AT A MAXIMUM GRADE OF 2% FOR A MIN. DISTANCE OF 20' MEASURED FROM THE EDGE OF PAVEMENT.
2. A MINIMUM 18" COVER TO BE PROVIDED OVER ALL DRIVEWAY CULVERTS. COVER MAY BE REDUCED TO 12" UTILIZING D.I.P. CULVERT PIPE.
3. THE FIRST 10' MINIMUM OF ALL DRIVEWAYS TO BE PAVED.

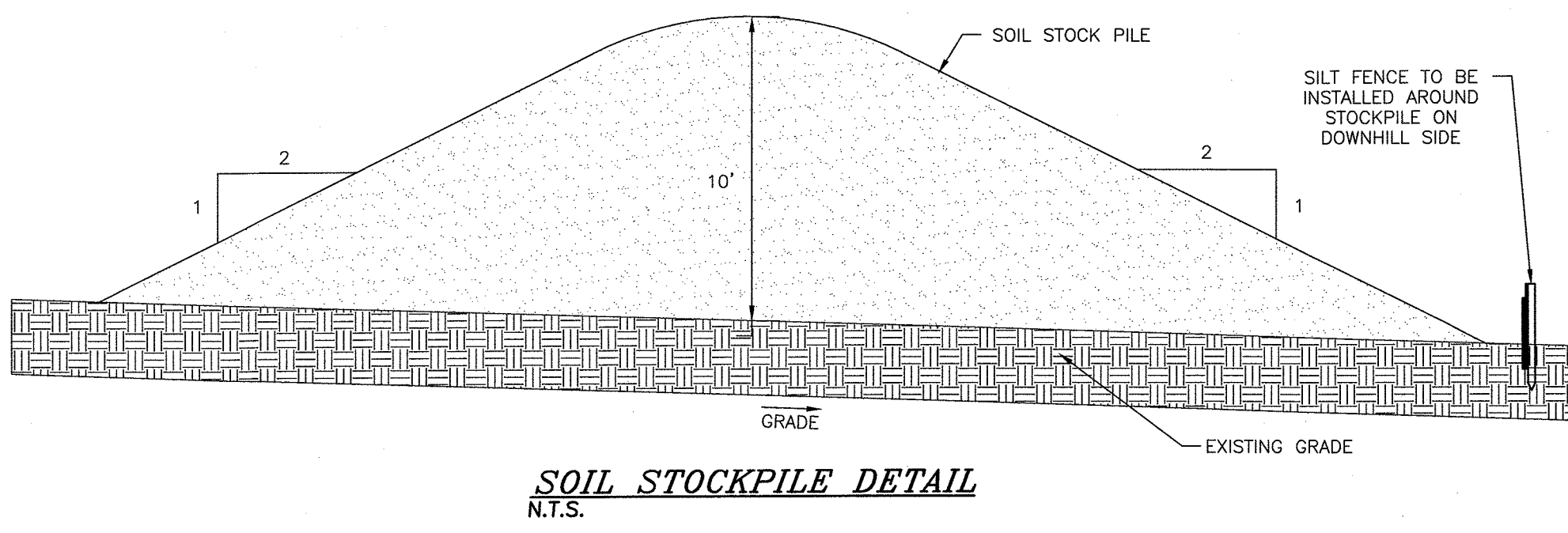


BOTANICAL NAME	COMMON NAME	SIZE	SEASON
WINTERBERRY	ILEX VERTICILLATA	24" HIGH	AUTUMN
ARROWWOOD	VIBURNUM DENTATUM	24" HIGH	SPRING
SWEET PEPPERBUSH	CLETHRA ALNIFOLIA	24" HIGH	SUMMER

- NOTES:
1. A MIX OF THE SHRUB SPECIES LISTED IS TO BE SELECTED FOR EACH INDIVIDUAL RAIN GARDEN.
2. SHRUBS ARE TO BE SPACED 5 FEET ON CENTER.
3. SHRUBS ARE TO BE A MINIMUM OF 24" IN HEIGHT.
4. SHRUBS SHOULD BE CONTAINER GROWN WITH A WELL ESTABLISHED ROOT SYSTEM.
5. SHRUBS ARE TO BE PRUNED IF THEY START TO BECOME LEGGY AND FLOPPY.
6. ROUTINE MAINTENANCE MAY INCLUDE OCCASIONAL REPLACEMENT OF PLANTS, MULCHING, WEEDING, AND THINNING TO MAINTAIN THE DESIRED APPEARANCE.
7. THE TOP FEW INCHES OF PLANTING SOIL IS TO BE REMOVED AND REPLACED WHEN WATER PONDS FOR MORE THAN 48 HOURS.
8. LONG TERM MAINTENANCE OF THE RAIN GARDEN SHALL BE THE PROPERTY OWNER.



DRIVEWAY CROSS SECTION
N.T.S.



SOIL STOCKPILE DETAIL
N.T.S.

11-10-21 REVISIONS AS PER P.B. COMMENT LETTER
9-21-21 ORIGINAL PREPARATION DATE
DATE DESCRIPTION INITIALS

MAP CHECK DATE: 11/11/21 INITIALED BY: --

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P.E. LICENSE NO. 059045 P.L.S. LICENSE NO. 050075
N.Y.S. EROSION CONTROL NO. 35396

11/10/21

SIGNATURE DATE

OAK WOODS SUBDIVISION
TOWN OF CHESTER
COUNTY OF ORANGE, NEW YORK
SECTION 15 BLOCK 1 LOT 27.41

PROJECT TITLE

EROSION CONTROL
DETAILS

DRAWING TITLE

UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED LAND SURVEYOR'S OR PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 2209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW

O.C.H.D. SHEET NO. N/A OF #	D.E.C. SHEET NO. N/A OF #	DRAWING NUMBER 6 OF 7
SCALE N/A	CAD REFERENCE 19140.01 ENG BASE	PROJECT NUMBER 18122.01

SOIL TEST RESULTS & SEPTIC SYSTEM DESIGN

LOT #	WITNESSED DEEP TEST PIT #1 RESULTS	WITNESSED DEEP TEST PIT #2 RESULTS	WITNESSED PERC RATE	SEPTIC SYSTEM DESIGN
1	0"-6" TOPSOIL 6"-60" SANDY LOAM WITH SMALL ROCKS NO MOTTLING, NO BEDROCK, NO GROUNDWATER	0"-6" TOPSOIL 6"-60" SANDY LOAM WITH SMALL ROCKS NO MOTTLING, NO BEDROCK, NO GROUNDWATER	PT1: 9 MIN. DEPTH: 24" PT2: 18 MIN. DEPTH: 24"	ELJEN SEPTIC DESIGNED FOR: 4 BEDROOM MAXIMUM (Q = 475 GAL/DAY) REQUIRED: 113 L.F. TOTAL DESIGNED: 6 LATERALS @ 20', 120 L.F. TOTAL SEPTIC TANK SIZE: 1,250 GALLONS
2	0"-4" TOPSOIL 4"-66" SANDY LOAM NO MOTTLING, NO BEDROCK, NO GROUNDWATER	0"-4" TOPSOIL 4"-72" SANDY LOAM NO MOTTLING, NO BEDROCK, NO GROUNDWATER	PT1: 6 MIN. DEPTH: 24" PT2: 8 MIN. DEPTH: 24"	ELJEN SEPTIC DESIGNED FOR: 4 BEDROOM MAXIMUM (Q = 475 GAL/DAY) REQUIRED: 88 L.F. TOTAL DESIGNED: 4 LATERALS @ 24', 96 L.F. TOTAL SEPTIC TANK SIZE: 1,250 GALLONS
3	0"-4" TOPSOIL 4"-72" SANDY LOAM WITH SMALL ROCKS NO MOTTLING, NO BEDROCK, NO GROUNDWATER	0"-4" TOPSOIL 4"-66" SANDY LOAM WITH SMALL ROCKS NO MOTTLING, NO BEDROCK, NO GROUNDWATER	PT1: 10 MIN. DEPTH: 24" PT2: 7 MIN. DEPTH: 24"	ELJEN SEPTIC DESIGNED FOR: 4 BEDROOM MAXIMUM (Q = 475 GAL/DAY) REQUIRED: 88 L.F. TOTAL DESIGNED: 4 LATERALS @ 24', 96 L.F. TOTAL SEPTIC TANK SIZE: 1,250 GALLONS
4	0"-6" TOPSOIL 6"-60" SANDY LOAM WITH SMALL ROCKS NO MOTTLING, NO BEDROCK, NO GROUNDWATER	0"-6" TOPSOIL 6"-60" SANDY LOAM WITH SMALL ROCKS NO MOTTLING, NO BEDROCK, NO GROUNDWATER	PT1: 32 MIN. DEPTH: 24" PT2: 6 MIN. DEPTH: 24"	ELJEN SEPTIC DESIGNED FOR: 4 BEDROOM MAXIMUM (Q = 475 GAL/DAY) REQUIRED: 158 L.F. TOTAL DESIGNED: 6 LATERALS @ 28', 168 L.F. TOTAL SEPTIC TANK SIZE: 1,250 GALLONS
5	0"-6" TOPSOIL 6"-72" SANDY SILTY LOAM WITH SMALL ROCKS NO MOTTLING, NO BEDROCK, NO GROUNDWATER	0"-6" TOPSOIL 6"-72" SANDY SILTY LOAM WITH SMALL ROCKS NO MOTTLING, NO BEDROCK, NO GROUNDWATER	PT1: 7 MIN. DEPTH: 24" PT2: 5 MIN. DEPTH: 24"	ELJEN SEPTIC DESIGNED FOR: 4 BEDROOM MAXIMUM (Q = 475 GAL/DAY) REQUIRED: 79 L.F. TOTAL DESIGNED: 4 LATERALS @ 20', 80 L.F. TOTAL SEPTIC TANK SIZE: 1,250 GALLONS
6	0"-6" TOPSOIL 6"-60" SANDY LOAM NO MOTTLING, NO BEDROCK, NO GROUNDWATER	0"-6" TOPSOIL 6"-60" SANDY LOAM NO MOTTLING, NO BEDROCK, NO GROUNDWATER	PT1: 18 MIN. DEPTH: 24" PT2: 7 MIN. DEPTH: 24"	ELJEN SEPTIC DESIGNED FOR: 4 BEDROOM MAXIMUM (Q = 475 GAL/DAY) REQUIRED: 113 L.F. TOTAL DESIGNED: 6 LATERALS @ 20', 120 L.F. TOTAL SEPTIC TANK SIZE: 1,250 GALLONS

SOIL TESTING AND SEPTIC SYSTEM DESIGN NOTES:

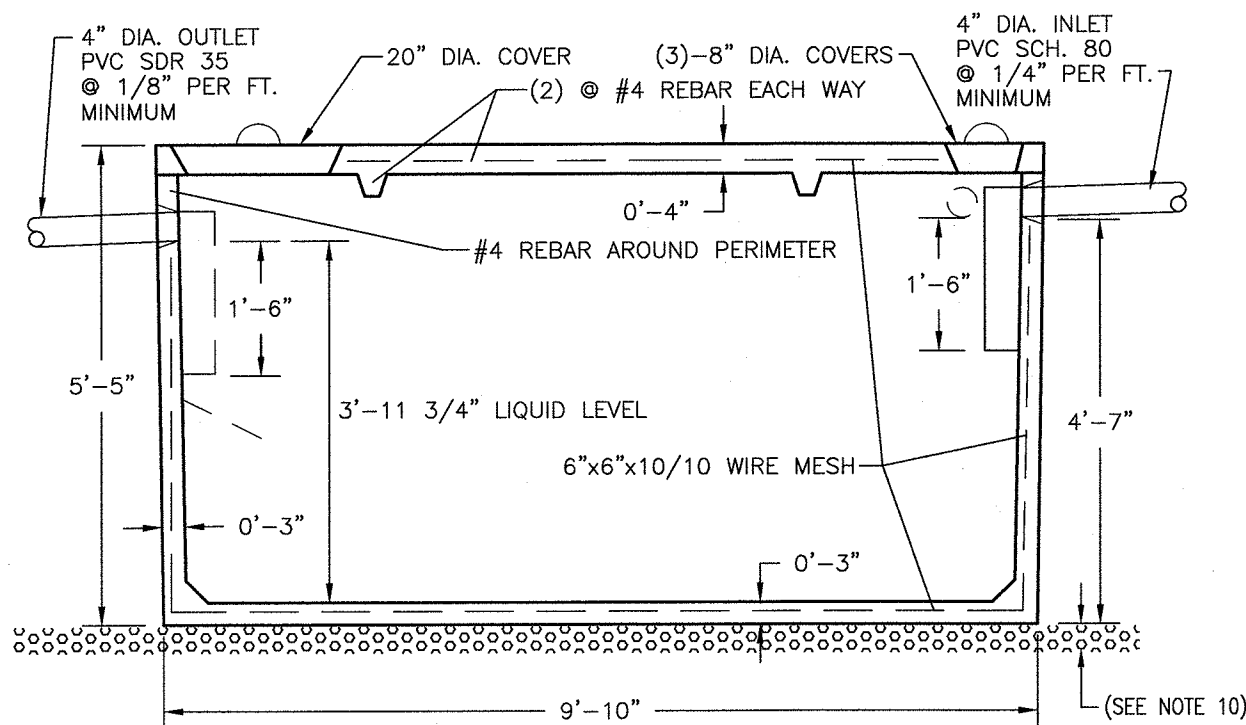
- PERCOLATION TESTS WERE PERFORMED BY PIETRZAK & PFAU, PLLC AND WITNESSED BY FUSCO ENGINEERING ON MAY 20, 2021.
- PERCOLATION TESTS WERE PERFORMED AT A DEPTH OF 24" UNLESS NOTED OTHERWISE.
- DEEP TEST PITS WERE WITNESSED BY PIETRZAK & PFAU, PLLC AND FUSCO ENGINEERING ON JUNE 17, 2021.
- SEPTIC SYSTEM DESIGN BASED ON 110 GALLONS PER BEDROOM PER DAY.
- SEPTIC SYSTEM DESIGN FOR 4 BEDROOM MAXIMUM DWELLING UNLESS NOTED OTHERWISE.
- ALL SEPTIC SYSTEM DESIGNS INCLUDE 35 GALLONS PER DAY OF BACKWASH FOR THE OPTIONAL WATER SOFTENER, HAVING A TOTAL DISCHARGE OF 475 GALLONS PER DAY.
- SURFACE WATER DIVERSION SWALES ARE REQUIRED ON ALL LOTS.

GENERAL NOTES - SEWAGE SYSTEMS

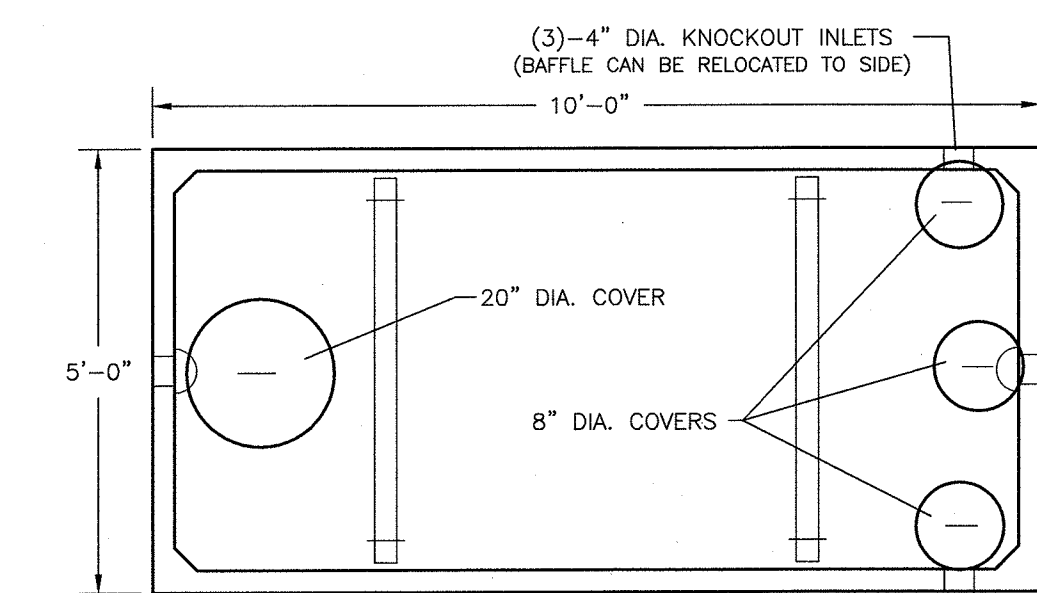
- SEPTIC SYSTEMS TO CONFORM TO THE MINIMUM REQUIREMENTS OF THE N.Y.S. HEALTH DEPARTMENT STANDARDS/CODES FOR INDIVIDUAL DISPOSAL SYSTEMS, APPENDIX 75-A, AND THE AUTHORITY HAVING JURISDICTION.
- THE SANITARY FACILITIES ON THESE PLANS SHALL BE INSPECTED FOR COMPLIANCE, WITH THE APPROVED PLANS, AT THE TIME OF CONSTRUCTION, BY A LICENSED PROFESSIONAL ENGINEER. WRITTEN CERTIFICATION TO THAT EFFECT SHALL BE SUBMITTED TO THE COUNTY HEALTH DEPARTMENT AND THE LOCAL BUILDING CODE ENFORCEMENT OFFICER PRIOR TO OCCUPANCY, AND SHALL INDICATE THAT ANY JOINTS HAVE BEEN SEALED AND TESTED FOR WATER TIGHTNESS AND THAT THE TANK IS INSTALLED IN ACCORDANCE WITH APPENDIX 75-A AND THE MANUFACTURERS INSTRUCTIONS.
- SEPTIC FIELDS AND WELLS SHALL NOT BE RELOCATED.
- ALL PERCOLATION TESTS TAKEN AT 24" - 30" UNLESS OTHERWISE NOTED.
- SEPTIC SYSTEM DESIGNS ARE BASED ON THE SLOWEST PERCOLATION RATE FOUND WITHIN THE AREA OF THE SYSTEM.
- LAUNDRY WASTE IS TO BE DISCHARGED INTO THE SEPTIC SYSTEM.
- HOUSE SEWER AND SEWER RUNS SHALL NOT EXCEED 75' BETWEEN POINTS OF POSSIBLE CLEANOUT. AT LEAST ONE CLEANOUT IS TO BE PROVIDED. BENDS ARE TO BE AVOIDED BUT WHERE REQUIRED AN ADDITIONAL CLEANOUT SHALL BE INSTALLED.
- THE MAXIMUM LENGTH OF ABSORPTION LINES USED IN CONJUNCTION WITH GRAVITY DISTRIBUTION SHALL BE 60 FEET.
- FOOTING DRAINS ARE NOT TO DISCHARGE INTO THE SEPTIC SYSTEM. FOOTING DRAINS ARE TO RUN TO DAYLIGHT WITH RODENT SCREEN.
- UNLESS OTHERWISE INDICATED ON THESE PLANS, INDIVIDUAL SEPTIC TANKS ARE NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS.
- TRENCHES SHALL NOT BE CONSTRUCTED IN WET SOILS.
- SIDES AND BOTTOM OF TRENCHES SHALL BE RAKED IMMEDIATELY PRIOR TO PLACING SAND.
- THE END OF ALL DISTRIBUTOR PIPES SHALL BE PLUGGED.
- HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE TILE FIELD EXCEPT FOR THE ACTUAL CONSTRUCTION OF THE FIELD. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE AREA OF THE PROPOSED FIELD BEFORE, DURING AND AFTER CONSTRUCTION. EXTREME CARE MUST BE TAKEN DURING THE ACTUAL CONSTRUCTION SO AS TO AVOID ANY UNDESIRED COMPACTION THAT COULD RESULT IN A CHANGE OF THE ABSORPTION CAPACITY OF THE SOIL, ON WHICH THE DESIGN WAS BASED.
- THERE IS NO REGRADING ALLOWED IN THE AREA OF THE ABSORPTION FIELD.
- NO SWIMMING POOLS, DRIVEWAYS, OR STRUCTURES WHICH MAY COMPACT THE SOIL SHALL BE LOCATED OVER ANY PORTION OF THE ABSORPTION FIELD.
- THIS SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS, OR "JACUZZI" TYPE SPA TUBS OVER 100 GALLONS. AS SUCH, THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SDS IS REDESIGNED TO ACCOUNT FOR THEM AND REAPPROVED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH.
- THERE MUST BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC TANK (OR ANY PUMPING OR DOSING CHAMBER) TO THE HOUSE, ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT.

GENERAL NOTES - WATER SYSTEMS

- WELL CONSTRUCTION SHALL CONFORM TO THE MINIMUM REQUIREMENTS OF THE N.Y.S. HEALTH DEPARTMENT STANDARDS.
- TREATMENT FOR HARDNESS SHOULD BE CONSIDERED ONLY IF EXCESSIVE HARDNESS IS FOUND (GREATER THAN 150 MG/L).
- THE DESIGN AND LOCATION OF SANITARY FACILITIES (WATER AND SEWER SYSTEMS) SHALL NOT BE CHANGED.
- FOOTING DRAINS WITHIN 25 FEET OF A WELL MUST BE WATER TIGHT.
- WELLS ARE TO BE INSTALLED 100 FEET FROM ANY SEPTIC SYSTEM, AND 200 FEET FROM ANY SEPTIC SYSTEM UPHILL FROM THE WELL.
- WELL CASING IS TO BE INSTALLED 10 FEET INTO IMPERVIOUS BEDROCK.
- NEW YORK STATE SANITARY CODE, PART 5, APPENDIX 5-B REQUIRES A 50% INCREASE IN SEPARATION DISTANCES OR 50' MINIMUM WELL CASING IF AQUIFER WATER ENTERS THE WELL LESS THAN 50' BELOW GRADE.



SECTION



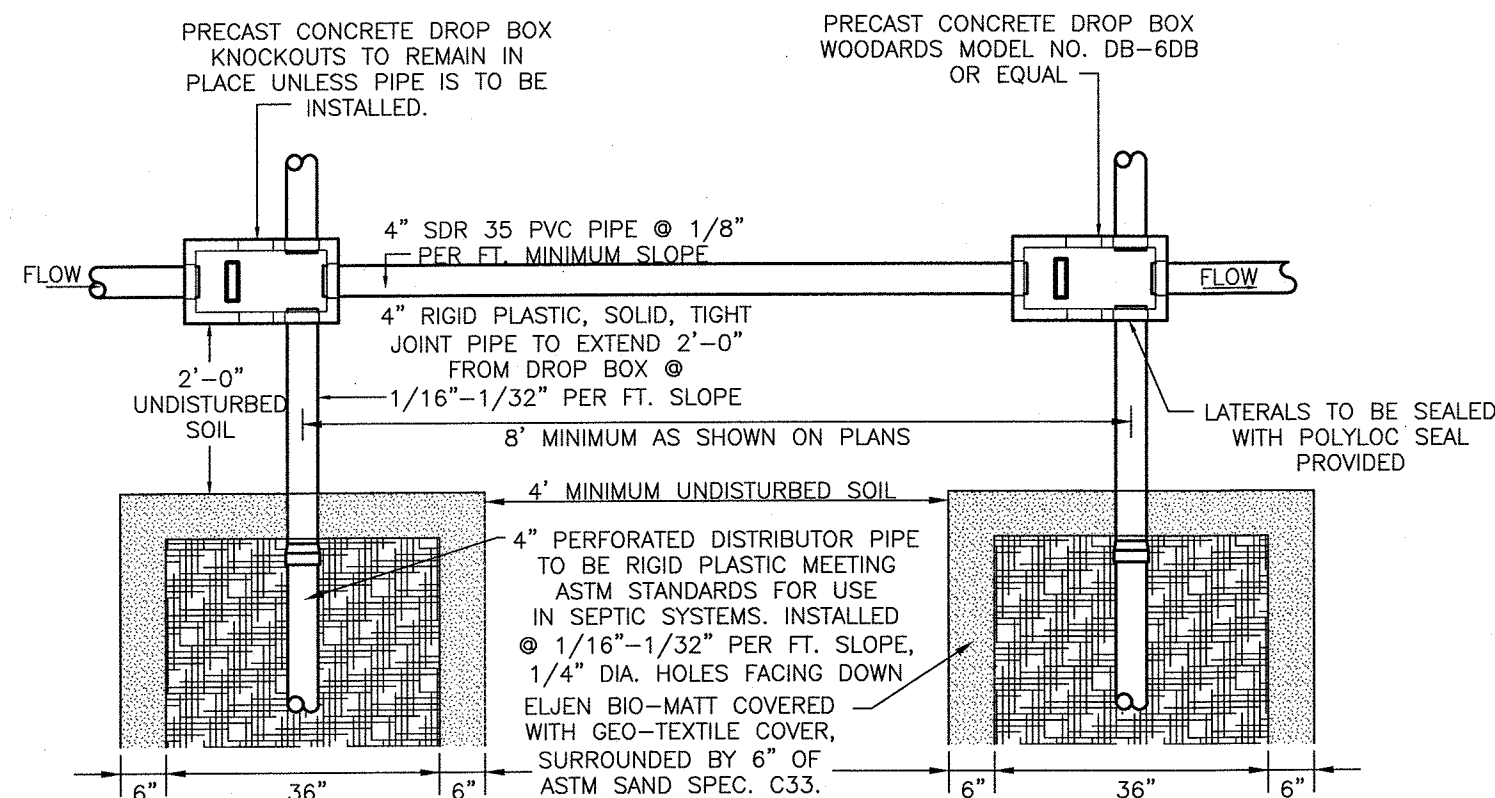
PLAN

NOTES:

- BUILDING SEWER TO BE SCHEDULE 80 PVC.
- SEPTIC TANK TO BE INSTALLED A MINIMUM OF TEN (10) FEET FROM BUILDING FOUNDATION.
- LOCATION STAKE TO BE SET IN GROUND DIRECTLY ABOVE THE INLET END COVER.
- SEPTIC TANK TO BE COVERED WITH EARTH TO A MINIMUM DEPTH OF 6" AND A MAXIMUM DEPTH OF 12".
- PRECAST CONCRETE TO REACH 4000 PSI STRENGTH @ 28 DAYS.
- TANK CONSTRUCTION JOINTS TO BE SEALED WITH BUTYL RUBBER BASE CEMENT.
- INLET INVERT TO BE 3" HIGHER THAN OUTLET INVERT.
- INLET AND OUTLET JOINTS TO BE SEALED WITH PORTLAND CEMENT GROUT.
- PRECAST CONCRETE SEPTIC TANK TO BE AS MANUFACTURED BY WOODARD'S CONCRETE PRODUCTS, INC. MODEL ST1250 OR EQUAL.
- 3" MINIMUM OF SAND, PEA GRAVEL OR TRENCH AGGREGATE FOR BEDDING.
- SEPTIC TANKS SHOULD BE INSPECTED PERIODICALLY AND PUMPED EVERY 2-3 YEARS.

1,250 GALLON SEPTIC TANK DETAIL

N.T.S.



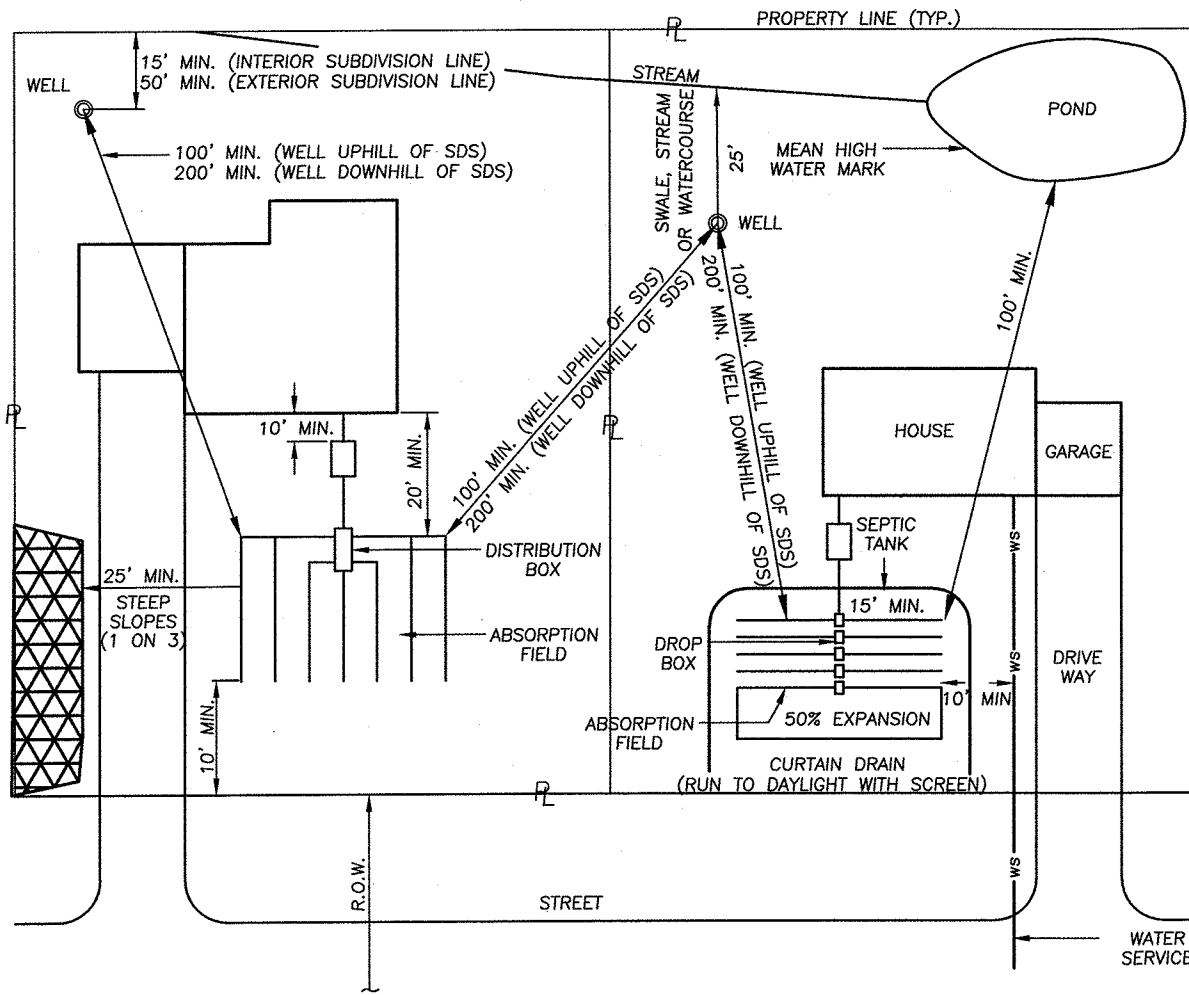
PLAN

NOTES:

- ABSORPTION FIELDS SHALL NOT BE BUILT UNDER DRIVEWAYS, PARTS OF BUILDINGS, OR UNDER ABOVE GROUND POOLS, OR OTHER AREAS SUBJECT TO HEAVY LOADINGS.
- THE SAND BEDDING SHALL BE COVERED WITH THE GEOTEXTILE FABRIC PROVIDED WITH EACH UNIT.
- TRENCHES SHALL NOT BE CONSTRUCTED IN WET SOIL.
- SIDES AND BOTTOM OF TRENCH SHALL BE RAKED IMMEDIATELY PRIOR TO PLACING SAND.
- THE END OF ALL DISTRIBUTOR PIPES SHALL BE PLUGGED.
- HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE FIELD EXCEPT FOR ACTUAL CONSTRUCTION OF THE FIELD. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE AREA OF THE PROPOSED FIELD, BEFORE OR AFTER CONSTRUCTION.
- DISTRIBUTION LATERALS SHALL BE SLOPED AT 1/16"-1/32" PER FOOT.
- ABSORPTION TRENCH BOTTOM TO BE SET LEVEL.
- DISTRIBUTION LATERALS ARE TO BE SET WITH PERFORATIONS FACING DOWN.

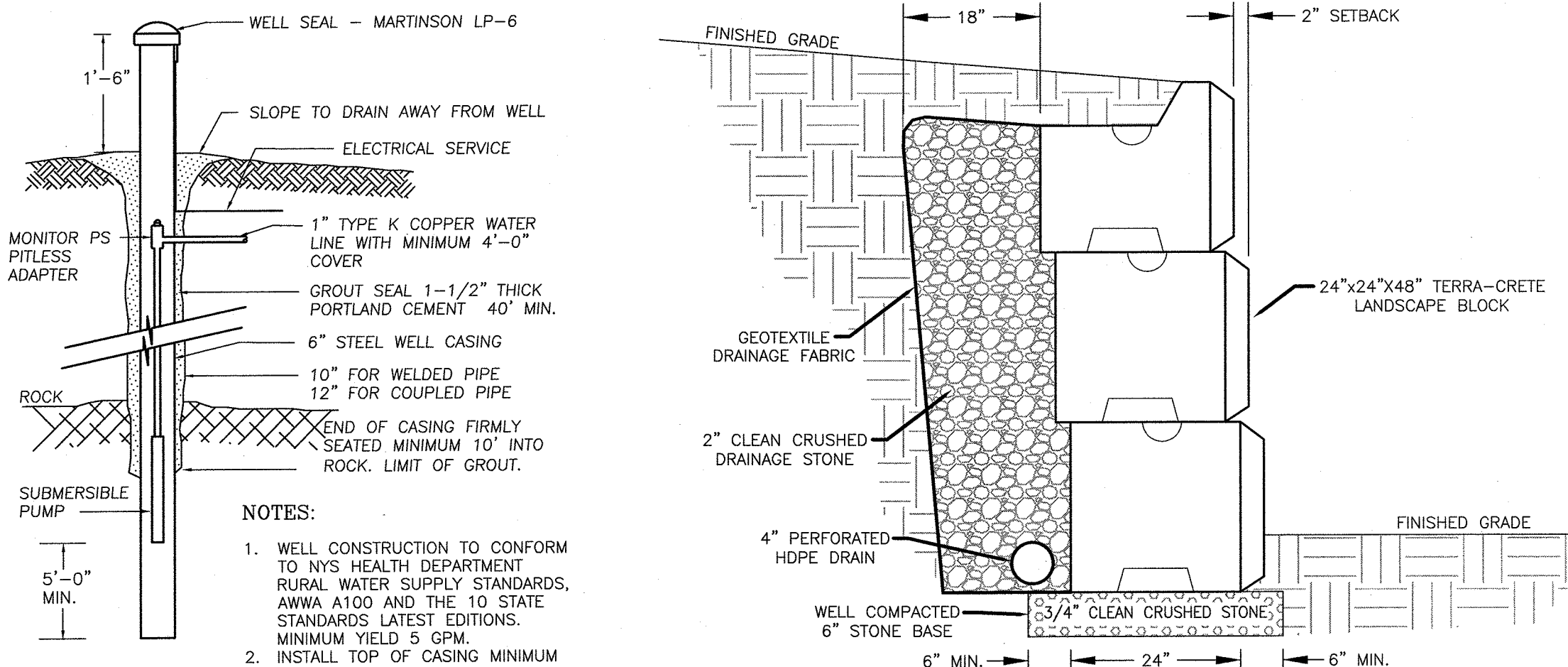
ELJEN IN-DRAIN SYSTEM DROP BOX/ABSORPTION TRENCH DETAIL

N.T.S.



TYPICAL SEPARATION DISTANCE REQUIREMENTS

N.T.S.

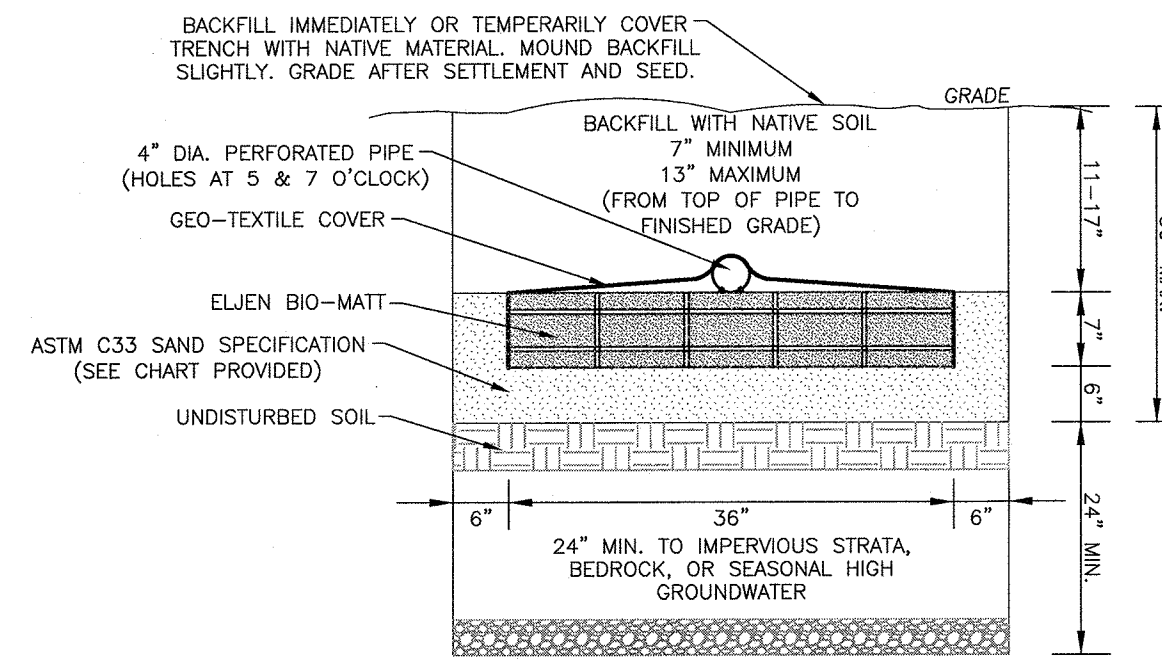


NOTES:

- WELL CONSTRUCTION TO CONFORM TO NYS HEALTH DEPARTMENT RURAL WATER SUPPLY STANDARDS, ANWA A100 AND THE 10 STATE STANDARDS LATEST EDITIONS.
- INSTALL TOP OF CASING MINIMUM 24" ABOVE THE 100 YEAR FLOOD LEVEL.
- ANTICIPATED DEPTHS OF WELL.
- CASINGS ARE 40" AND THROUGH BEDROCK.
- DIAMETER OF DRILL HOLES TO BE 10"-12" THROUGH OVERBURDEN, AND 8" THROUGH ROCK.
- IF WATER IS ENCOUNTERED AT A DEPTH OF LESS THAN 50 FEET, THE MINIMUM CASING AND REQUIREMENT SHALL BE 50 FEET.

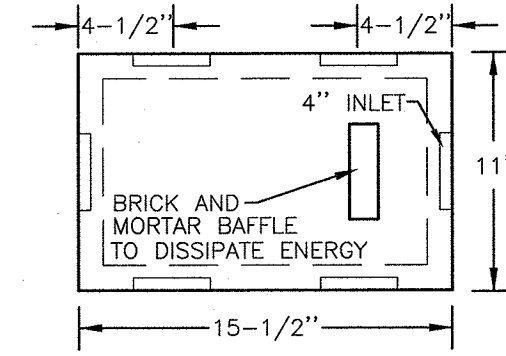
WELL DETAIL

N.T.S.

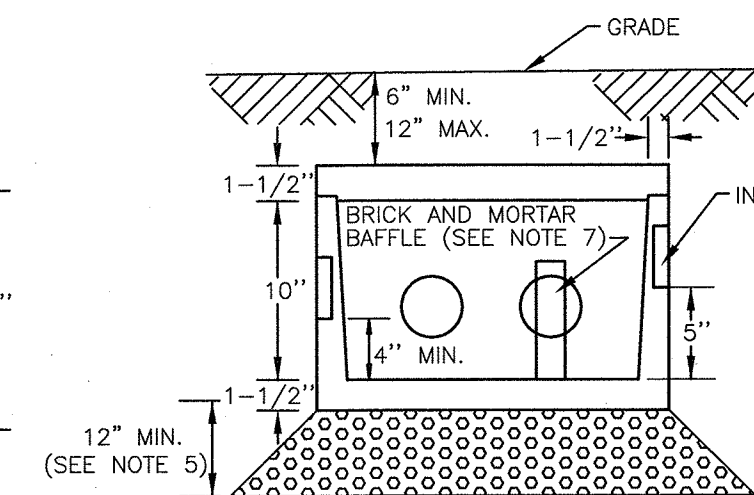


ELJEN IN-DRAIN CROSS SECTION DETAIL

N.T.S.



PLAN



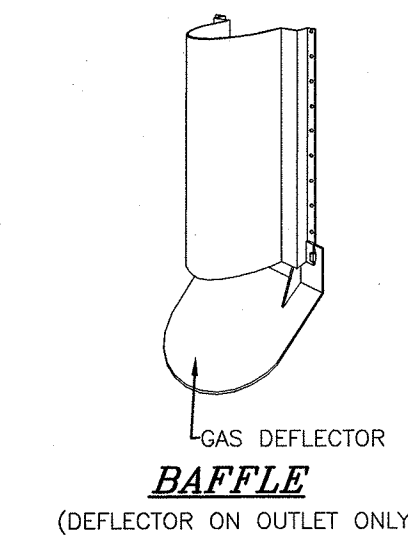
SIDE VIEW

NOTES:

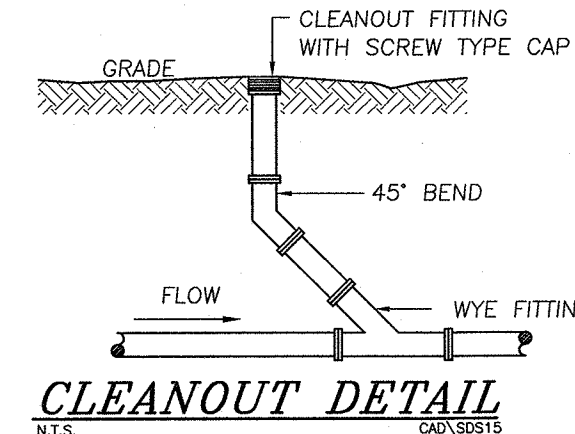
- DROP BOX TO BE AS MANUFACTURED BY WOODARD'S CONCRETE PRODUCTS, INC. MODEL NO. DB-6DB OR APPROVED EQUAL.
- CONCRETE TO TEST 4,000 PSI AT 28 DAYS.
- ALL OUTLETS NOT USED SHALL REMAIN PLUGGED.
- BOX TO BE INSTALLED WITH A MIN. 6" AND MAX. 12" EARTH COVER.
- BOX TO BE INSTALLED ON 12" MIN OF SAND, PEA GRAVEL, OR TRENCH AGGREGATE.
- PIPE JOINTS TO BE SEALED WITH POLYLOK SEAL OR EQUAL.
- BRICK AND MORTAR BAFFLE TO BE INSTALLED IN THE CENTER, FOUR (4) INCHES FROM THE INLET END.

5-OUTLET DROP BOX DETAIL

N.T.S.

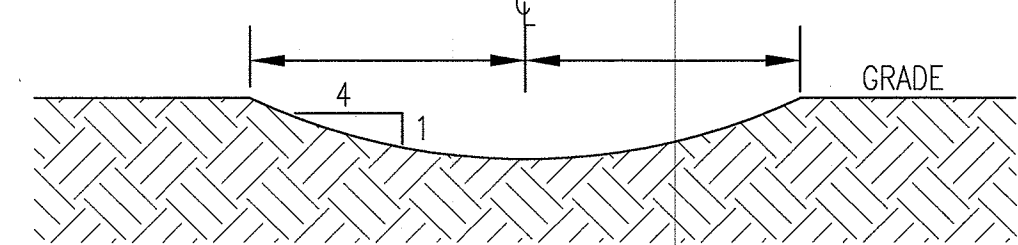


BAFFLE



CLEANOUT DETAIL

ASTM C33 SAND SPECIFICATION		
SIEVE SIZE	SIEVE SQUARE OPENING SIZE	SPECIFICATION % PASSING (WET SIEVE)
0.375"	9.5 mm	100.0 - 100.0
#4	4.75 mm	95.0 - 100.0
#8	2.36 mm	80.0 - 100.0
#16	1.18 mm	50.0 - 85.0
#30	600 µm	25.0 - 60.0
#50	300 µm	5.0 - 30.0
#100	150 µm	< 10.0
#200	75 µm	< 5.0



SWALE CROSS SECTION

N.T.S.

11-10-21	REVISIONS AS PER P.B. COMMENT LETTER	JJR
9-21-21	ORIGINAL PREPARATION DATE	JJR
DATE	DESCRIPTION	INITIALS
REVISIONS		
MAP CHECK DATE:	11/17/21	INITIALED BY: --

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VINCENT A. PIETRZAK P.E., P.L.S. LEAD
P.E. LICENSE NO. 49686 P.L.S. LICENSE NO. 650075
V.P.L.S. LICENSE NO. 35386

SIGNATURE: *[Signature]* DATE: 11/10/21

OAK WOODS SUBDIVISION

TOWN OF CHESTER
COUNTY OF ORANGE, NEW YORK
SECTION 15 BLOCK 1 LOT 27.41

PROJECT TITLE

DETAIL SHEET

DRAWING TITLE		
UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED LAND SURVEYOR'S OR PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7205, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.		
O.C.H.D. SHEET NO. N/A OF #	D.E.C. SHEET NO. N/A OF #	DRAWING NUMBER 7 OF 7
SCALE N/A	CAD REFERENCE 19140.01 ENG BASE	PROJECT NUMBER 18122.01