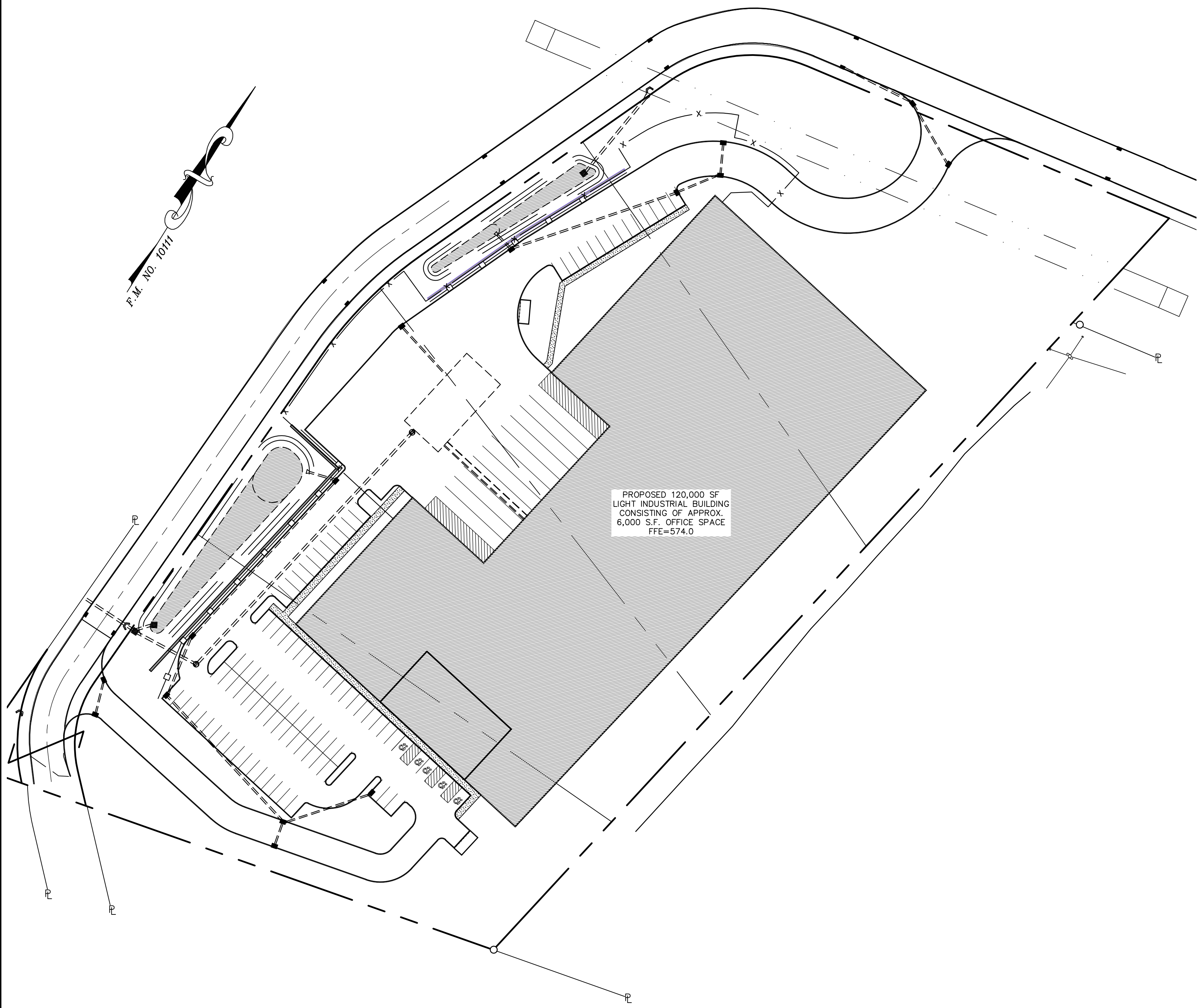


SITE PLAN FOR POMEGRANATE SOLUTIONS, LLC
TOWN OF CHESTER
ORANGE COUNTY, NEW YORK



SITE PLAN SHEET INDEX:

- COVER SHEET
- EXISTING CONDITIONS
- SITE PLAN
- GRADING & UTILITY PLAN
- ROAD PROFILES PLAN
- LANDSCAPING PLAN
- LIGHTING PLAN
- CONSTRUCTION DETAILS
- CONSTRUCTION DETAILS 2

RECORD
OWNER/APPLICANT:

POMEGRANATE SOLUTIONS, LLC
122 PENN STREET
BROOKLYN, NY 11211

L. 14287 P. 537
17 - 1 - 83
17 - 1 - 84
17 - 1 - 85
17 - 1 - 86

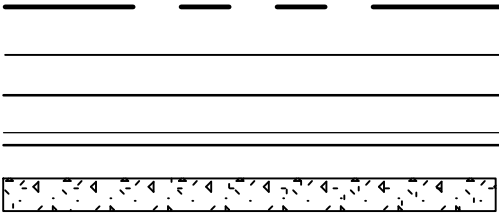
FILED MAP 10111
LOTS 4, 5, 6 & 7

AREAS:

TAX LOT 17 - 1 - 83	2.506± AC.
TAX LOT 17 - 1 - 84	2.146± AC.
TAX LOT 17 - 1 - 85	2.044± AC.
TAX LOT 17 - 1 - 86	2.030± AC.
TOTAL:	8.726± AC.

LEGEND:

- PROPERTY LINE
- ADJOINING PARCEL PROPERTY LINES
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CURB
- PROPOSED SIDEWALK



GENERAL NOTES:

- TAX MAP DESIGNATION: SECTION 17, BLOCK 1, LOT 83-86
- TOTAL AREA: 8.726± ACRES
- DEED REFERENCE: LIBER 14287 PAGE 537 OF DEEDS AS RECORDED IN THE ORANGE COUNTY CLERK'S OFFICE.
- ZONING DISTRICT: IP - INDUSTRIAL PARK
- EXISTING LOTS TO BE CONSOLIDATED
- TOTAL PROPOSED BUILDING FOOTPRINT SQUARE FOOTAGE: 120,000± SQ. FT.
- LOTS TO BE SERVICED BY ON-SITE INDIVIDUAL WELL FOR POTABLE WATER SERVICE.
- LOT TO BE SERVICED BY ON-SITE PRIVATE SUBSURFACE SEWAGE DISPOSAL SYSTEM.
- ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
- THE DESIGN AND LOCATION OF SANITARY FACILITIES (WATER AND SEWER SYSTEMS) SHALL NOT BE CHANGED.
- THE PROPERTY OWNER SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES.
- SEWAGE DISPOSAL SYSTEMS SHALL NO LONGER BE CONSTRUCTED OR USED WHEN PUBLIC FACILITIES BECOME AVAILABLE. CONNECTION TO THE PUBLIC SEWER SYSTEM IS REQUIRED WITHIN 1 YEAR OF AVAILABILITY.
- A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER (OR OTHER DESIGN PROFESSIONAL AS ALLOWED BY THE NYS EDUCATION DEPARTMENT) SHALL INSPECT THE SANITARY FACILITIES AT THE TIME OF CONSTRUCTION. THE ENGINEER SHALL CERTIFY TO THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT ANY SEPTIC TANK JOINTS HAVE BEEN SEALED AND TESTED FOR WATER TIGHTNESS.
- NO SITE PREPARATION OR CONSTRUCTION SHALL COMMENCE UNTIL ALL REQUIRED PERMITTING AND APPROVALS HAVE BEEN OBTAINED AND THE APPROVED CLEARING LIMIT BOUNDARY HAS BEEN DELINEATED WITH CONSTRUCTION FENCING THROUGHOUT THE SITE.
- ALL EXISTING STRUCTURES AND DEBRIS ON SITE SHALL BE REMOVED.
- MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - A. NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", 2008; AS SUPPLEMENTED.
 - B. CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.
 - C. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - D. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- GAS, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
- TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT TOP COURSE.
- UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
- STORM SEWER PIPING SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) N-12 OR APPROVED EQUAL AS NOTED. PROPER PIPE COVERAGE PER MANUFACTURER'S SPECIFICATIONS SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
- TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD, LATEST REVISION).
- FINAL BUILDING FOOTPRINT DIMENSIONS SHALL BE FURNISHED ON THE ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS AND REQUIREMENTS OF THIS SITE PLAN.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED AND ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED.
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO THEIR SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIAL, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT LANC & TULLY ENGINEERING AND SURVEYING, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OF CORRELATED ITEMS NOT RECEIVED.
- NEITHER THE PROFESSIONAL ACTIVITIES OF LANC & TULLY ENGINEERING AND SURVEYING, P.C., NOR THE PRESENCE OF LANC & TULLY ENGINEERING AND SURVEYING, P.C. OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH AND SAFETY PRECAUTIONS. REQUIRED BY ANY REGULATORY AGENCIES. LANC & TULLY ENGINEERING AND SURVEYING, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENAL TIES ASSESSED WITH RESPECT TO ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
- THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

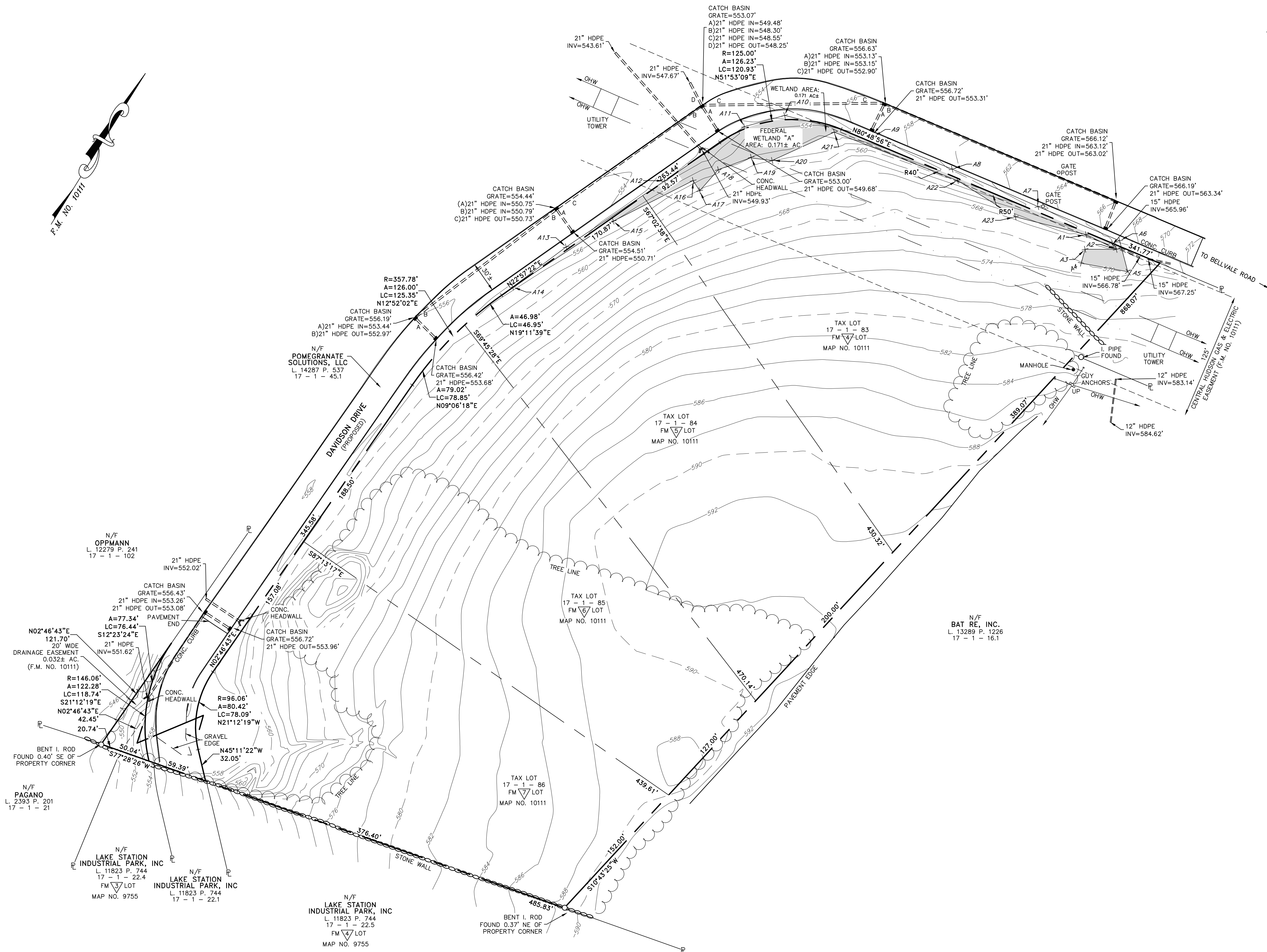
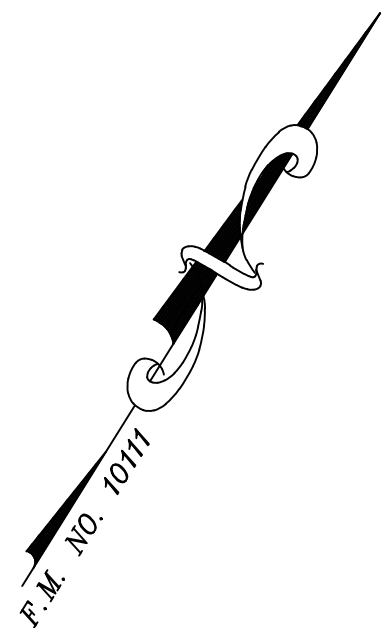
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		P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700	
COVER SHEET FOR			
POMEGRANATE SOLUTIONS, LLC			
TOWN OF CHESTER ORANGE COUNTY, NEW YORK			
Drawn By: CMF	Checked By: JQ	Scale: 1" = 60'	Tax Map No.: 17-1-83, 84, 85, 86
Date: FEBRUARY 26, 2020			Revision: JULY 21, 2020 OCTOBER 21, 2020
CAD File: 170117-SITE PLAN.DWG			Layout: COVER
Sheet No.: 1 OF 9			Drawing No.: C3D

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SURVEY NOTES:

- THIS SURVEY IS SUBJECT TO ANY FINDINGS OF A TITLE SEARCH.
- SUBSURFACE STRUCTURES AND UTILITIES NOT VISIBLE AT THE TIME OF SURVEY HAVE NOT BEEN SHOWN.
- REFERENCES:
 - MAP ENTITLED "FINAL PLAN SUGAR LOAF INDUSTRIAL PARK, TOWN OF CHESTER, ORANGE COUNTY, NEW YORK," DATED MAY 2, 1988, LAST REVISED SEPTEMBER 27, 1990 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON DECEMBER 20, 1990, S FILED MAP NO 10111.
 - MAP ENTITLED "LAKE STATION INDUSTRIAL PARK, FINAL SUBDIVISION PLAT, TOWN OF CHESTER, ORANGE COUNTY, NEW YORK," DATED FEBRUARY 28, 1989, LAST REVISED OCTOBER 30, 1989 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON DECEMBER 8, 1989, AS FILED MAP NO. 9755.
 - MAP ENTITLED "SUBDIVISION OF PROPERTY FOR HEINRICH & MAGDALENE KOCH, TOWN OF CHESTER, ORANGE COUNTY, NEW YORK," DATED AUGUST 25, 1978, LAST REVISED AUGUST 30, 1978 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 8, 1978, AS FILED MAP NO. 4633.
 - MAP ENTITLED "SUBDIVISION OF PROPERTY FOR HERBERT & MILA KANIA, TOWN OF CHESTER, ORANGE COUNTY, NEW YORK, DATED MARCH 6, 1984 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 26, 1984, AS FILED MAP NO. 6733.
- CONTOURS SHOWN ARE THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED BY LANC & TULLY ENGINEERING AND SURVEYING, P.C. ELEVATIONS SHOWN ARE BASED ON APPROXIMATE USGS DATUM.
- WETLANDS FLAGS SHOWN AS FIELD DELINEATED BY ECOLOGICAL SOLUTIONS, LLC., AND FIELD LOCATED BY LANC & TULLY ENGINEERING AND SURVEYING, P.C. ON MAY 27, 2020.

RECORD OWNER:

POMEGRANATE SOLUTIONS, LLC
122 PENN STREET
BROOKLYN, NY 11211

L. 14287 P. 537
17 - 1 - 83
17 - 1 - 84
17 - 1 - 85
17 - 1 - 86

FILED MAP 10111
LOTS 4, 5, 6 & 7

AREAS:

TAX LOT 17 - 1 - 83	2.506± AC.
TAX LOT 17 - 1 - 84	2.146± AC.
TAX LOT 17 - 1 - 85	2.044± AC.
TAX LOT 17 - 1 - 86	2.030± AC.
TOTAL:	8.726± AC.

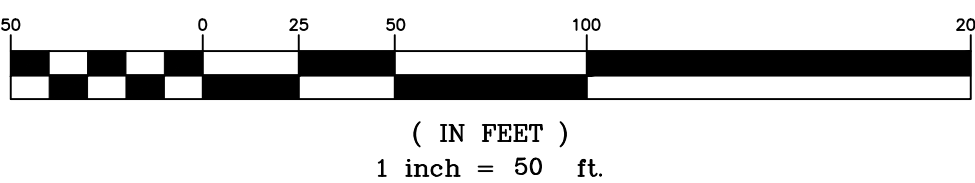
CERTIFICATION:

I HEREBY CERTIFY TO THE PARTIES OF INTEREST LISTED BELOW THAT THIS MAP SHOWS THE RESULTS OF AN ACTUAL FIELD SURVEY COMPLETED ON DECEMBER 14, 2017, AND UPDATED ON MAY 27, 2020.

POMEGRANATE SOLUTIONS, LLC

BY:
RODNEY C. KNOWLTON, L.S.
NEW YORK STATE LICENSE NO. 50276

GRAPHIC SCALE



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LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

EXISTING CONDITIONS PREPARED FOR

POMEGRANATE SOLUTIONS, LLC

TOWN OF CHESTER
ORANGE COUNTY, NEW YORK

Drawn By:	Checked By:	Scale:	Tax Map No.:
CMF	JQ	1" = 50'	17- 1-83, 84, 85, 86

Date:
FEBRUARY 26, 2020
Revisions:
JULY 21, 2020
OCTOBER 21, 2020

CAD File:
170117 SITE PLAN.DWG
Layout:
EXISTING
Sheet No.:
2 OF 9
Drawing No.:
C3D

LEGEND:

PROPERTY LINE
EXISTING CONTOUR MAJOR
EXISTING CONTOUR MINOR
PROPOSED BUILDING SETBACK
PROPOSED PARKING SETBACK
PROPOSED EDGE OF PAVEMENT
PROPOSED CURB
PROPOSED SIDEWALK



20' WIDE
DRAINAGE EASEMENT
0.032± AC.
(F.M. NO. 10111)

N/F
PAGANO
L. 2393 P. 201
17 - 1 - 21

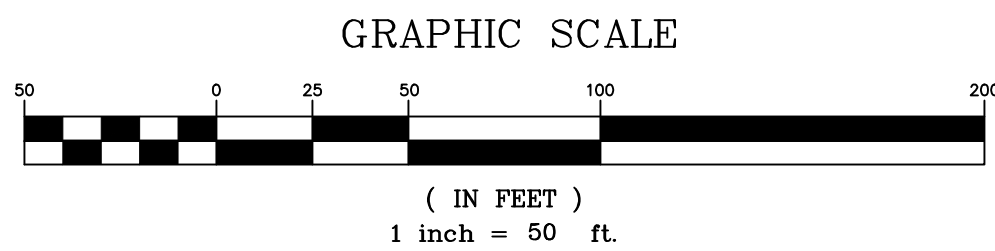
N/F
LAKE STATION
INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.4

N/F
LAKE STATION
INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.1

N/F
LAKE STATION
INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.5

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PARKING CALCULATION TABLE			
USE	REQUIRED RATIO	REQUIRED SPACES	PROVIDED SPACES
PROPOSED	PROPOSED OFFICE	ONE SPACE /200 SQ. FT. 6,000/200 = 30 SPACES	
	PROPOSED INDUSTRIAL	TWO SPACES PER 3 EMPLOYEES ON THE TWO LARGEST CONSECUTIVE SHIFTS 2/3 * 74 EMPLOYEES = 49 SPACES	
	PROPOSED TOTAL	79 SPACES	99 SPACES

Total parking count includes 5 accessible parking spaces per lot as required by ADA Code for parking facilities
with 101-150 spaces. Loading spaces include the minimum of four.

POMEGRANATE SOLUTIONS, LLC
122 PENN STREET
BROOKLYN, NY 11211

L. 14287 P. 537
17 - 1 - 83
17 - 1 - 84
17 - 1 - 85
17 - 1 - 86

FILED MAP 10111
LOTS 4, 5, 6 & 7

AREAS:
TAX LOT 17 - 1 - 83 2,506± AC.
TAX LOT 17 - 1 - 84 2,146± AC.
TAX LOT 17 - 1 - 85 2,044± AC.
TAX LOT 17 - 1 - 86 2,030± AC.
TOTAL: 8,726± AC.

GENERAL NOTES:

- TAX MAP DESIGNATION: 17-1-83, 84, 85, 86
- TOTAL AREA: 8.7 AC±
- ZONING DISTRICT: INDUSTRIAL PARK - IP
- EXISTING LOTS TO BE CONSOLIDATED

TABLE OF ZONING REQUIREMENTS

TOWN OF CHESTER
INDUSTRIAL PARK DISTRICT (IP)

LOT SERVED BY PRIVATE SEWER AND WATER SYSTEMS

MINIMUM	REQUIRED	PROVIDED
LOT AREA	2 AC.	8.7 AC.
LOT WIDTH	200 FT.	427 FT.
FRONT YARD	60 FT.	104.7 FT.
REAR YARD	50 FT.	54.0 FT.
SIDE YARD (ONE)	50 FT.	107.8 FT.
SIDE YARD (BOTH)	100 FT.	>140 ft
MAXIMUM		
BUILDING COVERAGE	40%	32%
BUILDING HEIGHT	45 FT.	45 FT.
BUILDING FOR Light Industrial Use		

RECORD
OWNER/APPLICANT:

POMEGRANATE SOLUTIONS, LLC
122 PENN STREET
BROOKLYN, NY 11211

L. 14287 P. 537
17 - 1 - 83
17 - 1 - 84
17 - 1 - 85
17 - 1 - 86

FILED MAP 10111
LOTS 4, 5, 6 & 7

AREAS:

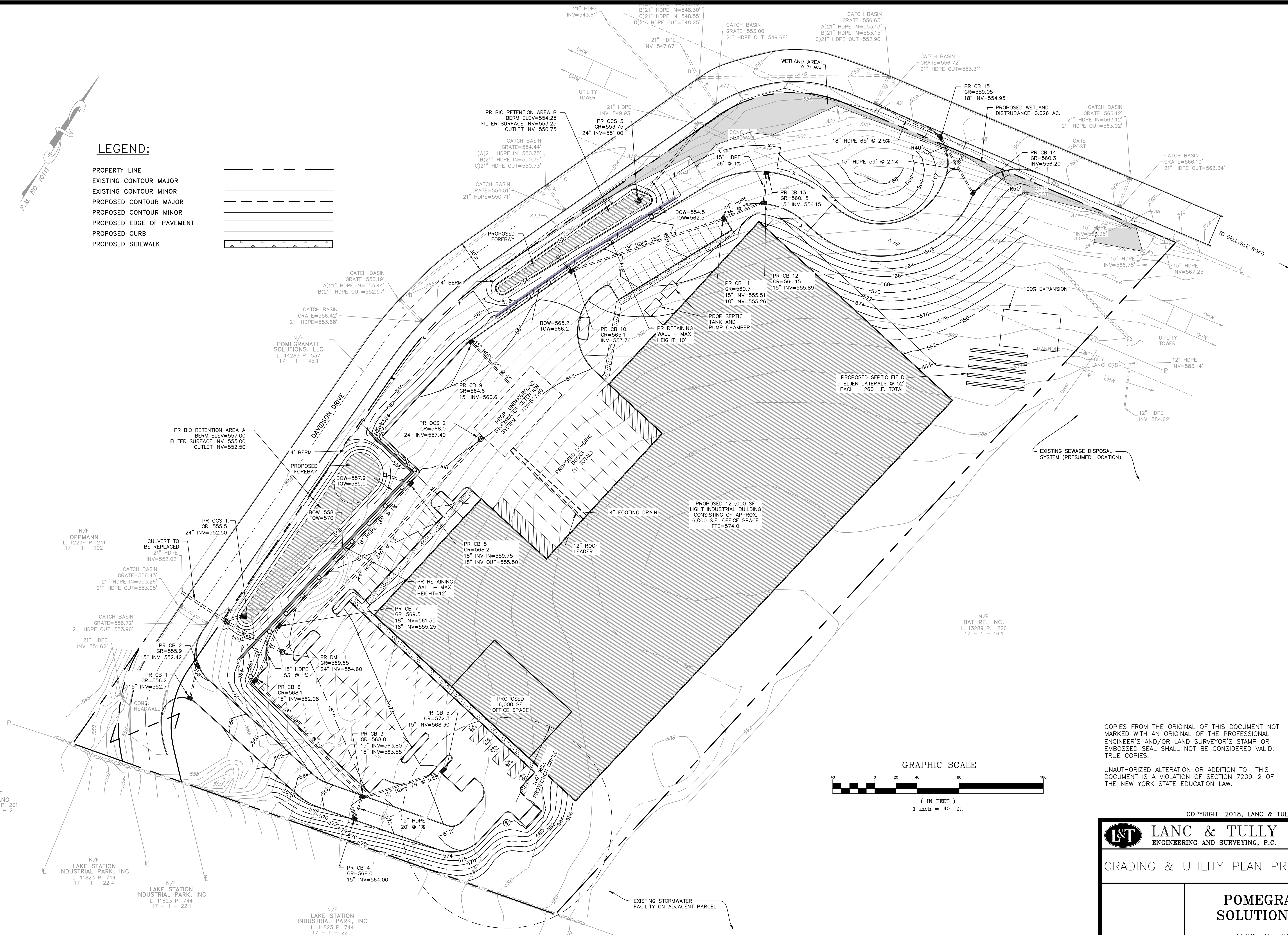
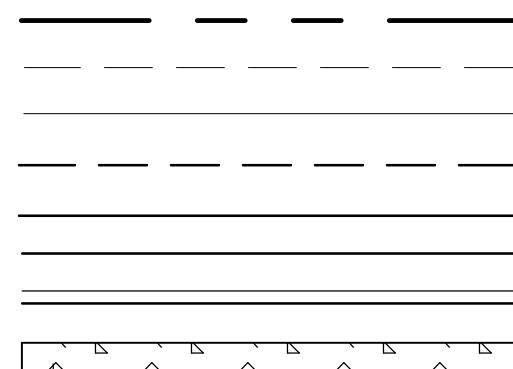
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	LANC & TULLY ENGINEERING AND SURVEYING, P.C.	P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700
SITE PLAN PREPARED FOR		Date: FEBRUARY 26, 2020 Revisions: JULY 21, 2020 OCTOBER 21, 2020
POMEGRANATE SOLUTIONS, LLC TOWN OF CHESTER ORANGE COUNTY, NEW YORK		CAD File: 170117-SITE PLAN.DWG Layout: SITE PLAN Sheet No.: 3 OF 9 Drawing No.: C3D B - 17 - 0117 - 01
Drawn By: CMF	Checked By: JQ	Scale: 1" = 50' Tax Map No.: 17- 1-83, 84, 85, 86

LEGEND:

PROPERTY LINE
EXISTING CONTOUR MAJOR
EXISTING CONTOUR MINOR
PROPOSED CONTOUR MAJOR
PROPOSED CONTOUR MINOR
PROPOSED EDGE OF PAVEMENT
PROPOSED CURB
PROPOSED SIDEWALK



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LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

GRADING & UTILITY PLAN PREPARED FOR

Date: FEBRUARY 22 2000

FEBRUARY 26, 2020
Donations:

Revisions:
JULY 21, 2020
OCTOBER 21, 2020

POMEGRANATE
SOLUTIONS, LLC

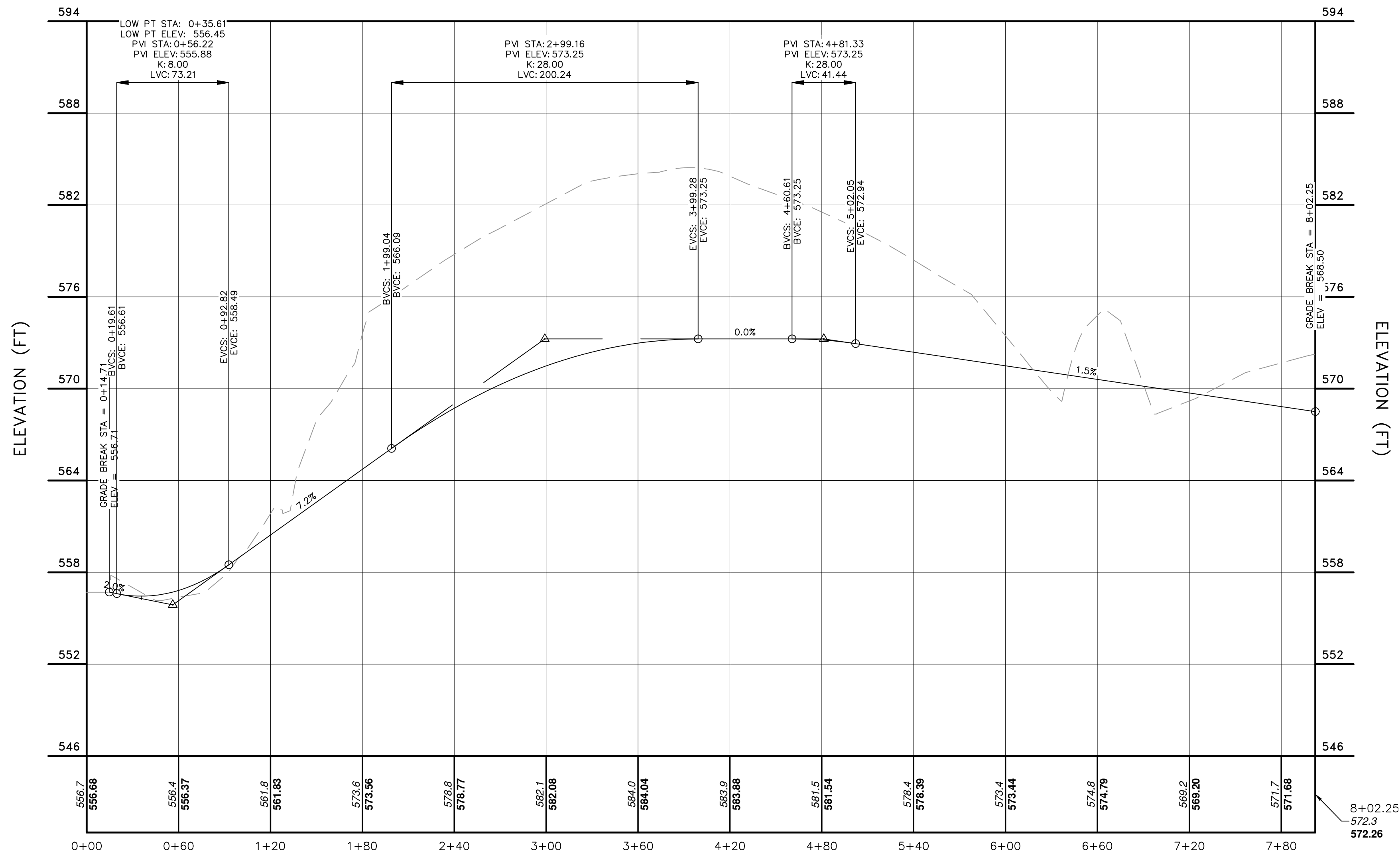
TOWN OF CHESTER
ORANGE COUNTY, NEW YORK

CAD File:

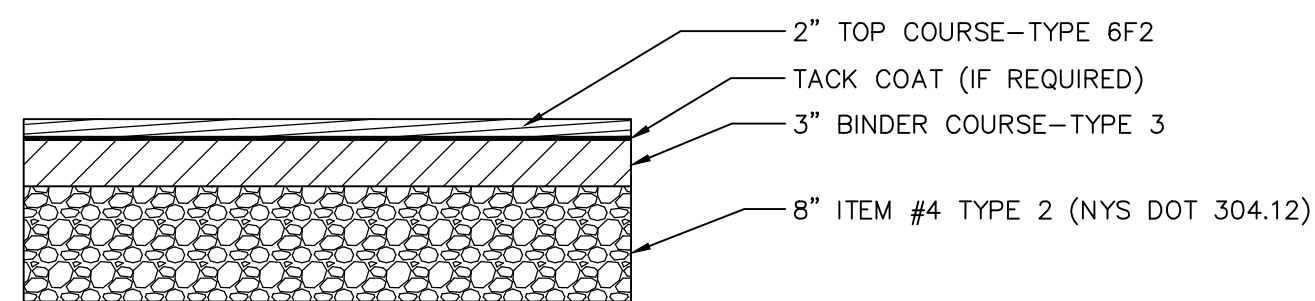
Layout:
GRADING PLAN

Sheet No.: 4 OF 9

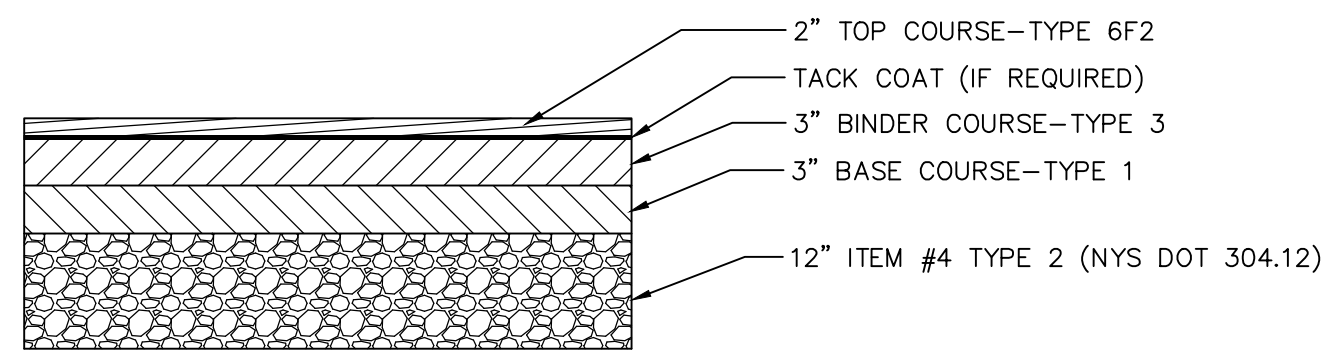
Drawn By:	Checked By:	Scale:	Tax Map No.:	Drawing No.:
CMF	JQ	1" = 40'	17- 1-83, 84, 85, 86	8 - 17 - 0117 -



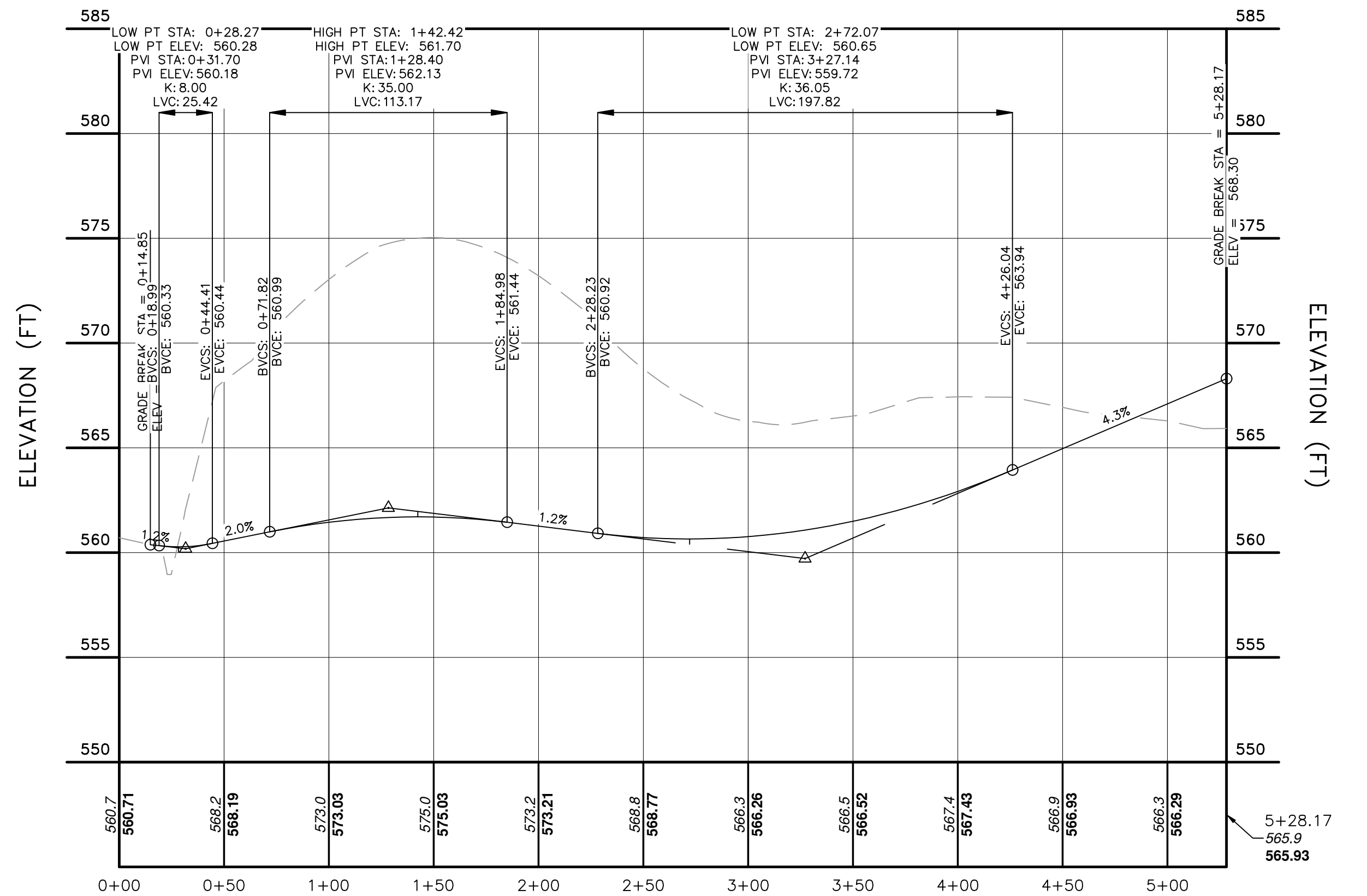
South Access Drive
ST 0+00 THRU ST 8+02.25
SCALE: HORIZONTAL 1"=60'
VERTICAL 1"=6'



PAVEMENT SECTION 1
PASSENGER TRAFFIC AND PARKING AREAS
NOT TO SCALE



PAVEMENT SECTION 3
HEAVY DUTY TRUCK TRAFFIC AREAS
NOT TO SCALE



North Access Drive
ST 0+00 THRU ST 5+28.17
SCALE: HORIZONTAL 1"=50'
VERTICAL 1"=5'

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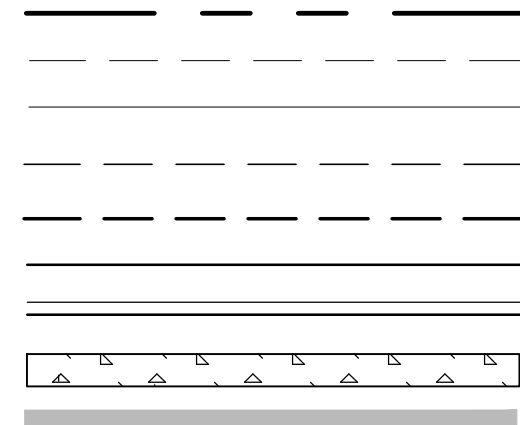


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LANC & TULLY ENGINEERING AND SURVEYING, P.C.		P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700	
ROAD PFILES			
POMEGRANATE SOLUTIONS, LLC TOWN OF CHESTER ORANGE COUNTY, NEW YORK		Date: FEBRUARY 26, 2020 Revisions: JULY 21, 2020 COVER OCTOBER 21, 2020	
Drawn By: CMF	Checked By: JQ	Scale: 1" = 50'	Tax Map No.: 17-1-83, 84, 85, 86
Drawing No.: B - 17 - 0117 - 01		Sheet No.: 5 OF 9	

LEGEND:

PROPERTY LINE
EXISTING CONTOUR MAJOR
EXISTING CONTOUR MINOR
PROPOSED YARD
PROPOSED PARKING SETBACK
PROPOSED EDGE OF PAVEMENT
PROPOSED CURB
PROPOSED SIDEWALK
PROPOSED WALL



20' WIDE
DRAINAGE EASEMENT
0.032± AC.
(F.M. NO. 10111)

N02°46'43"E
42.45'

N/F
PAGANO
L. 2393 P. 201
17 - 1 - 21

N/F
LAKE STATION
INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.4

N/F
LAKE STATION
INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.1

N/F
LAKE STATION
INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.5

BENT I. ROD
FOUND 0.37' NE OF
PROPERTY CORNER

N/F
POMEGRANATE
SOLUTIONS, LLC
L. 14287 P. 537
17 - 1 - 45.1

PROPOSED 120,000 SF
LIGHT INDUSTRIAL BUILDING
CONSISTING OF APPROX.
6,000 S.F. OFFICE SPACE
FFE=574.0

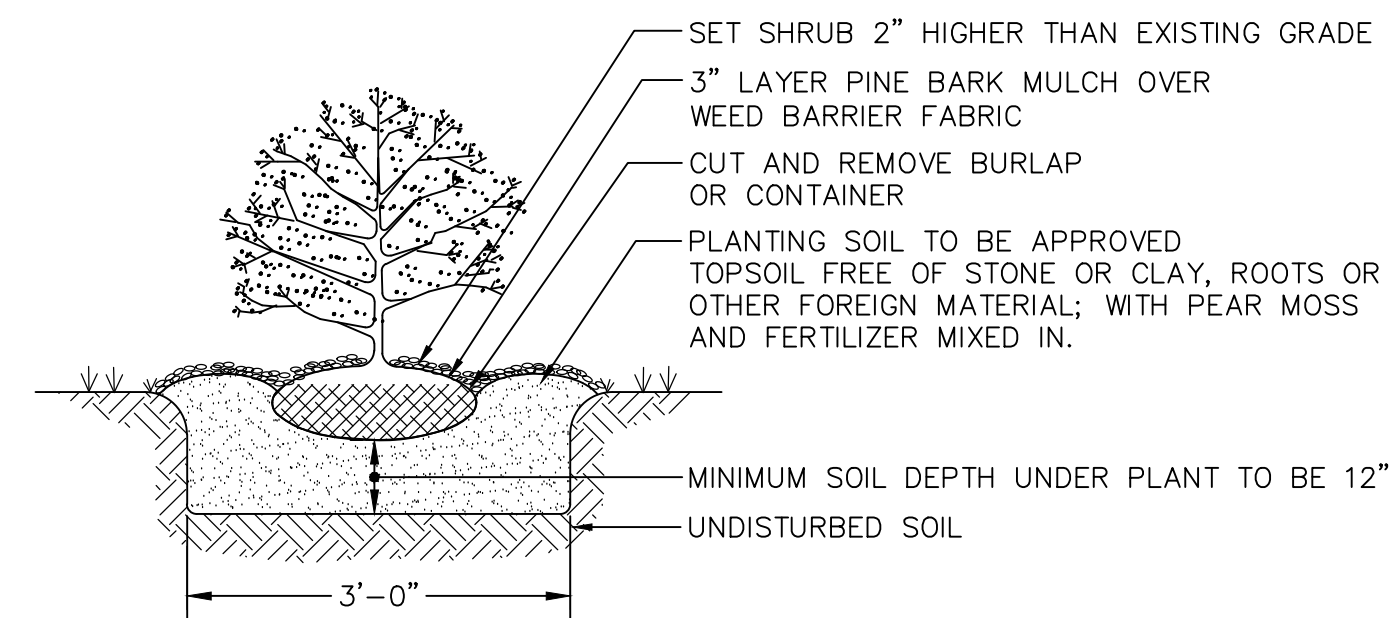
PROPOSED
6,000 SF
OFFICE SPACE

PROPOSED LOADING
DOCKS
(11 TOTAL)

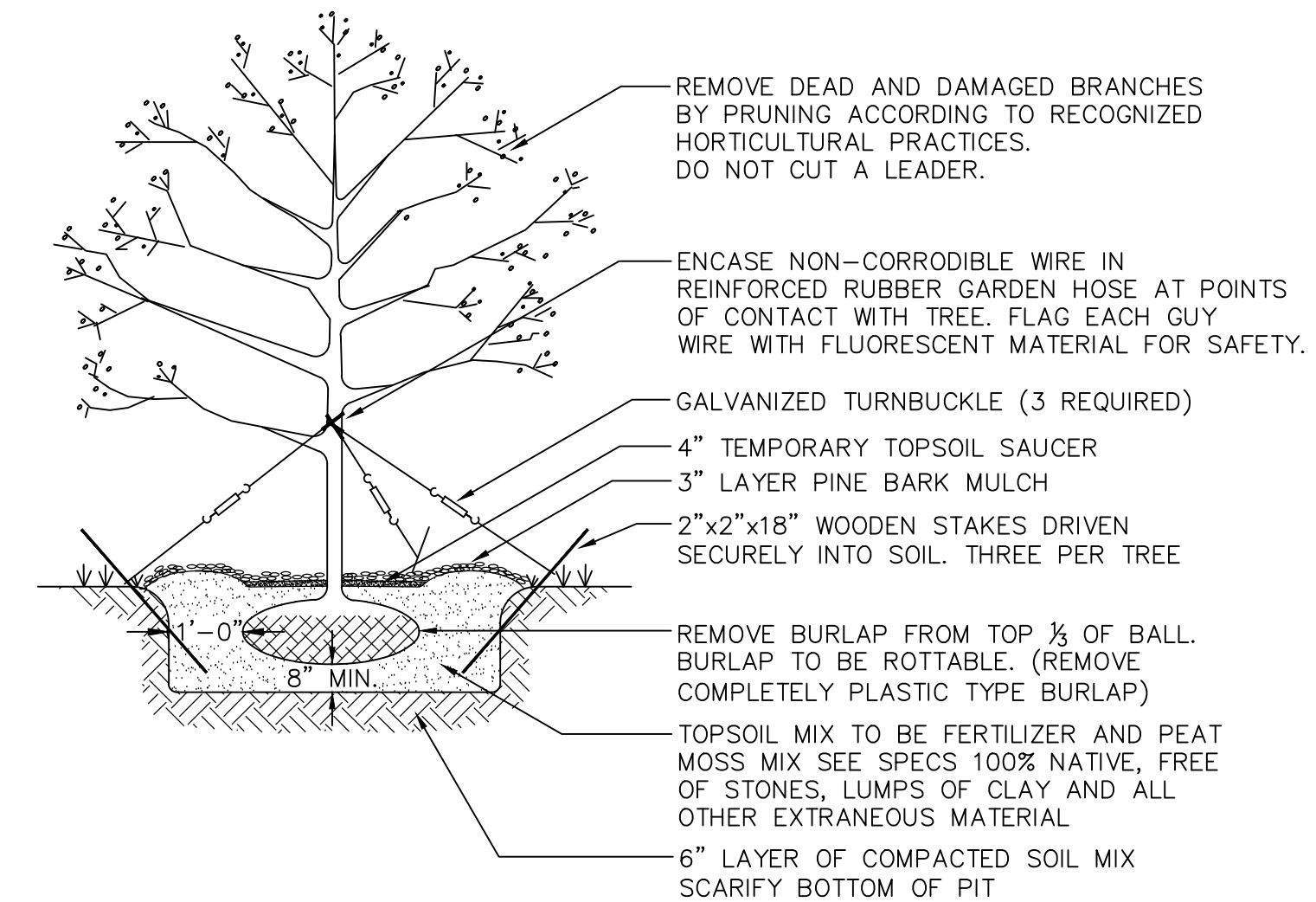
WETLAND AREA:
0.171 AC±
FEDERAL
WETLAND "A"
AREA: 0.171± AC

N/F
BAT RE, INC.
L. 13289 P. 1226
17 - 1 - 16.1

SITE PLANT SCHEDULE					
KEY	BOTANICAL NAME	COMMON NAME	SIZE, NOTES	QUANTITY	SYMBOL
DECIDUOUS TREES					
AR	ACER RUBRUM "RED SUNSET"	RED SUNSET RED MAPLE	2-1/2" CAL MIN, B&B	4	
QP	QUERCUS PALUSTRIS	PIN OAK	2-1/2" CAL MIN, B&B	8	
SHRUBS					
FG	FOTHERGILLA MAJOR	LARGE FOTHERGILLA	18"-24" DIA, CONTAINER	17	



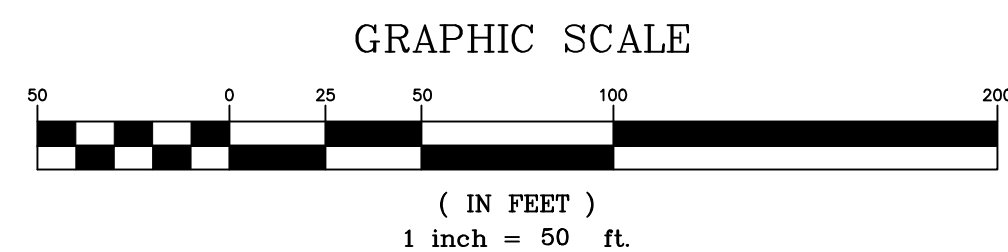
SHRUB PLANTING DETAIL
NOT TO SCALE



DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

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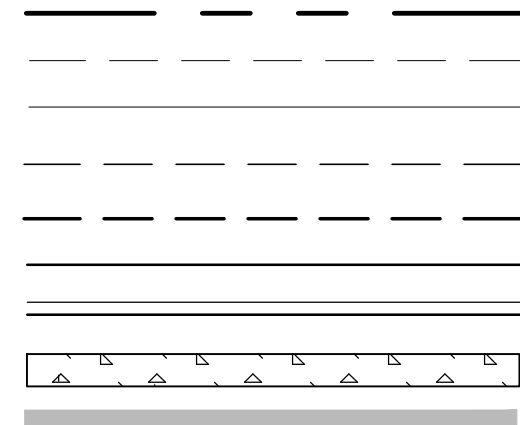
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P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700	
LANDSCAPE PLAN PREPARED FOR	
POMEGRANATE SOLUTIONS, LLC	
TOWN OF CHESTER ORANGE COUNTY, NEW YORK	
Drawn By: CMF	Checked By: JQ
Scale: 1" = 50'	Tax Map No.: 17- 1-83, 84, 85, 86
Drawing No.: B - 17 - 0117 - 01	C3D
Date: FEBRUARY 26, 2020	Revisions: JULY 21, 2020 OCTOBER 21, 2020
CAD File: 170117-LANDSCAPE PLAN	Layout: LANDSCAPE
Sheet No.: 6 OF 9	

LEGEND:

PROPERTY LINE
EXISTING CONTOUR MAJOR
EXISTING CONTOUR MINOR
PROPOSED YARD
PROPOSED PARKING SETBACK
PROPOSED EDGE OF PAVEMENT
PROPOSED CURB
PROPOSED SIDEWALK
PROPOSED WALL



20' WIDE
DRAINAGE EASEMENT
0.032± AC.
(F.M. NO. 10111)

N02°46'43"E
42.45'

N/F
PAGANO
L. 2393 P. 201
17 - 1 - 21

N/F
LAKE STATION
INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.4

N/F
LAKE STATION
INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.1

N/F
LAKE STATION
INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.5

BENT I. ROD
FOUND 0.37' NE OF
PROPERTY CORNER

PR 6' WIDE
SIDEWALK

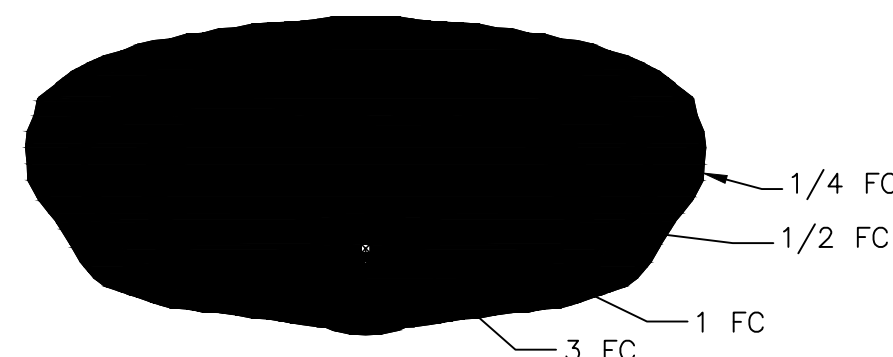
PROPOSED
6,000 SF
OFFICE SPACE

PROPOSED 120,000 SF
LIGHT INDUSTRIAL BUILDING
CONSISTING OF APPROX.
6,000 S.F. OFFICE SPACE
FFE=574.0

FEDERAL
WETLAND "A"
AREA: 0.171± AC.

WETLAND AREA:
0.171 AC±

N/F
BAT RE, INC.
L. 13289 P. 1226
17 - 1 - 16.1



NOTE: FOOTCANDLE LINES SHOWN
ARE BASED ON A 20' HEIGHT

LUMARK "RIDGEVIEW"
LED AREA LUMINAIRE
TYPE SL3 DISTRIBUTION

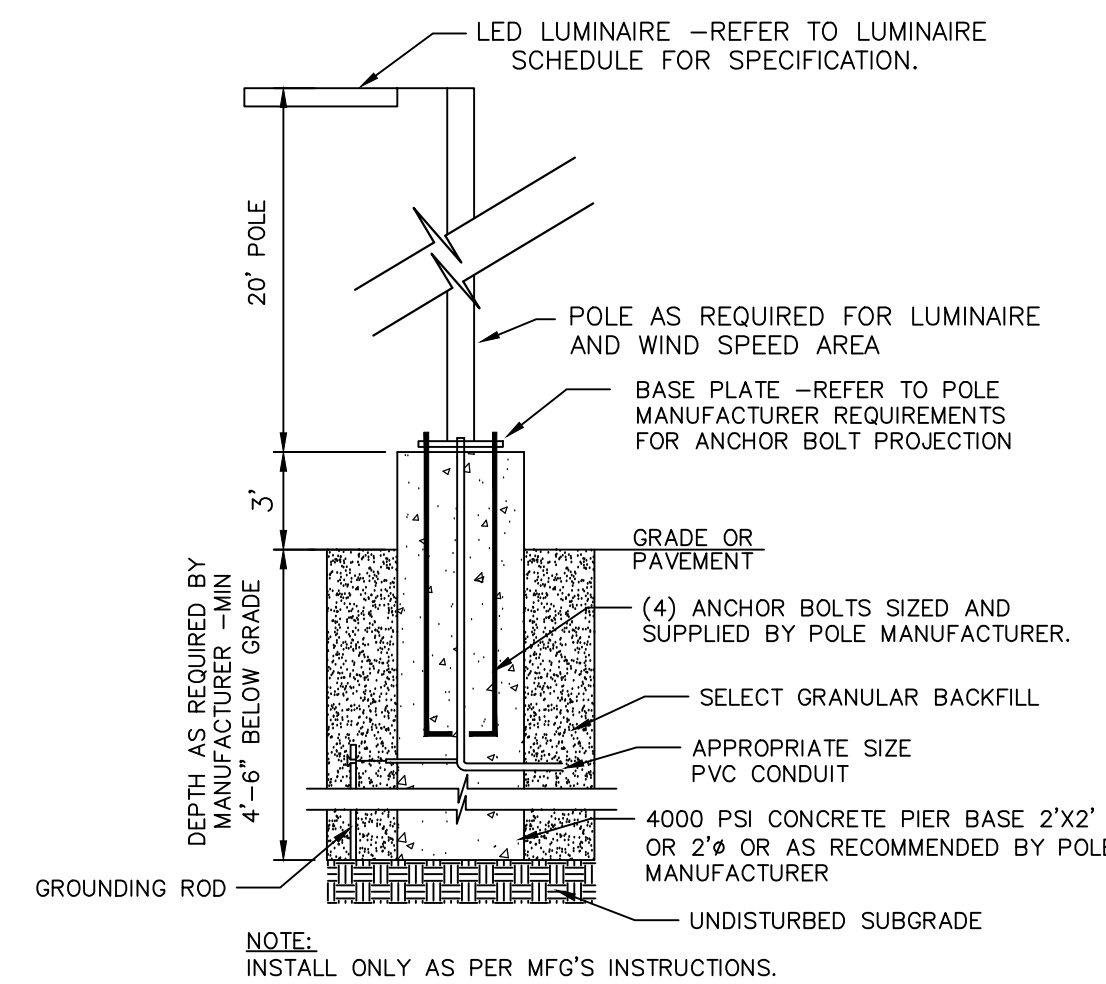
PHOTOMETRIC DIAGRAM
N.T.S.



NOTE: FOOTCANDLE LINES SHOWN ARE
BASED ON A 10' WALL MOUNTING
HEIGHT

EATON "GAN GALLEON"
LUMINAIRE "A"
TYPE SL4 DISTRIBUTION

PHOTOMETRIC DIAGRAM
N.T.S.

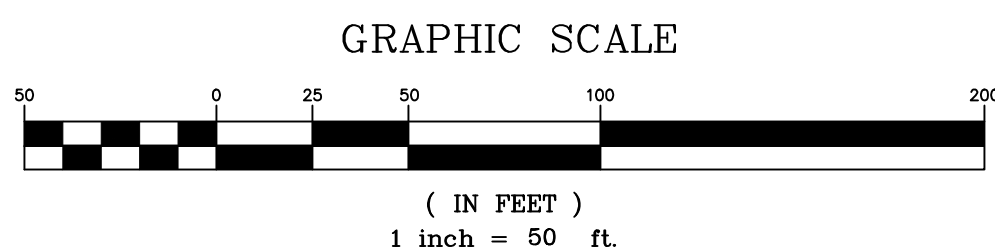


LIGHT POLE BASE DETAIL
NOT TO SCALE

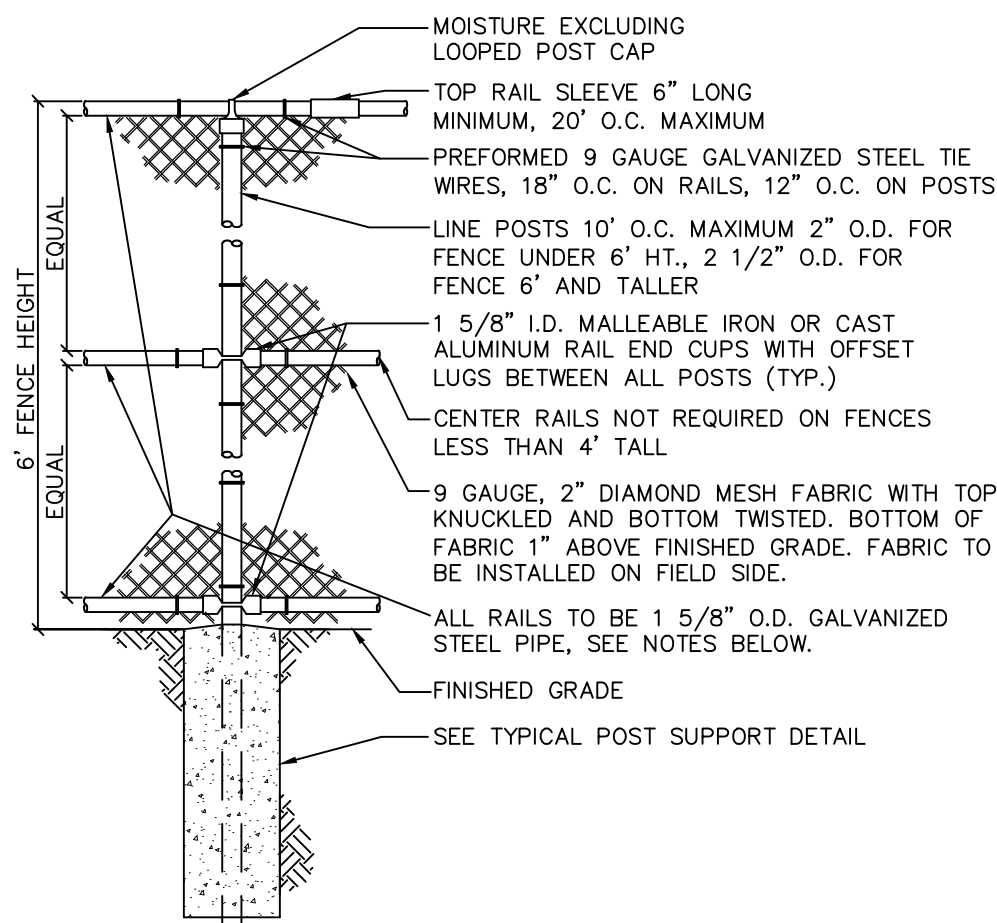
1. FINISH ON ALL LUMINAIRES AND POLES SHALL BE SELECTED BY OWNER.
2. THE LIGHT POLE BASE SHALL BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER AND SUBMITTED TO THE VILLAGE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

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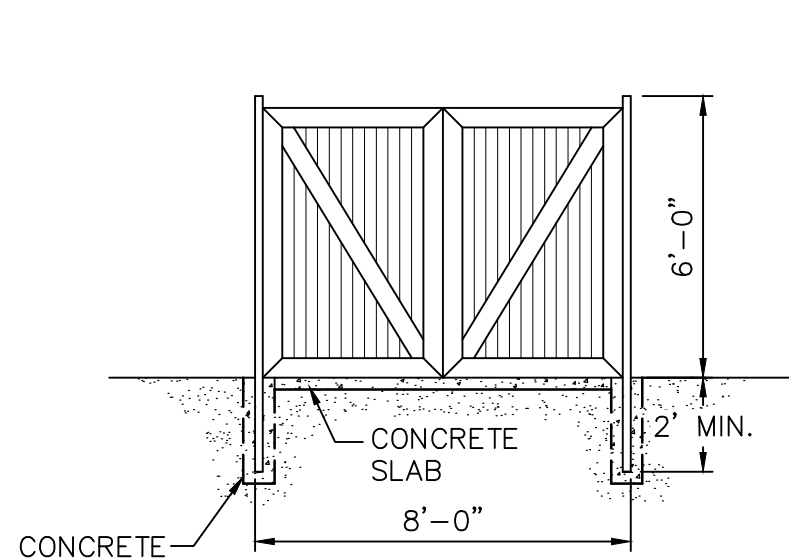
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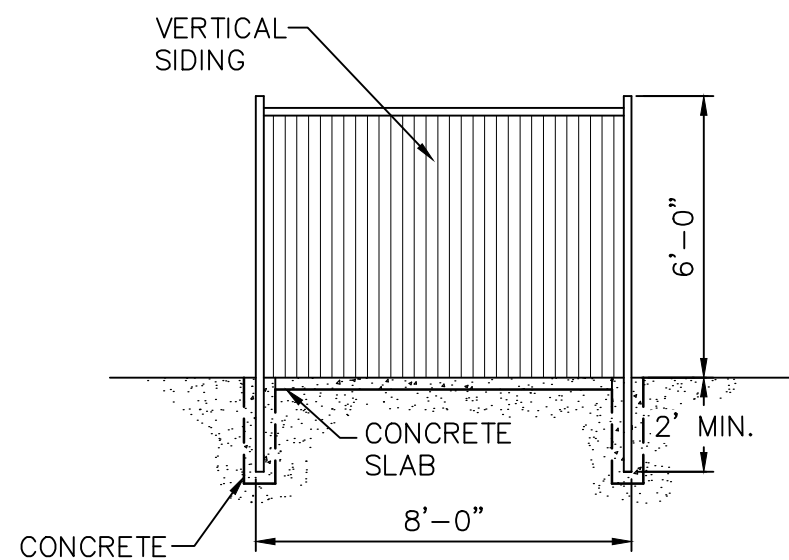
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LIGHTING PLAN PREPARED FOR		Date: FEBRUARY 26, 2020 Revisions: JULY 21, 2020 OCTOBER 21, 2020	
POMEGRANATE SOLUTIONS, LLC		CAD File: 170117-LIGHTING PLAN Layout: Sheet No.: 7 OF 9	
TOWN OF CHESTER ORANGE COUNTY, NEW YORK		Drawing No.: C3D B - 17 - 0117 - 01	
Drawn By: CMF	Checked By: JQ	Scale: 1" = 50'	Tax Map No.: 17-1-83, 84, 85, 86



CHAIN LINK FENCE DETAIL
NOT TO SCALE

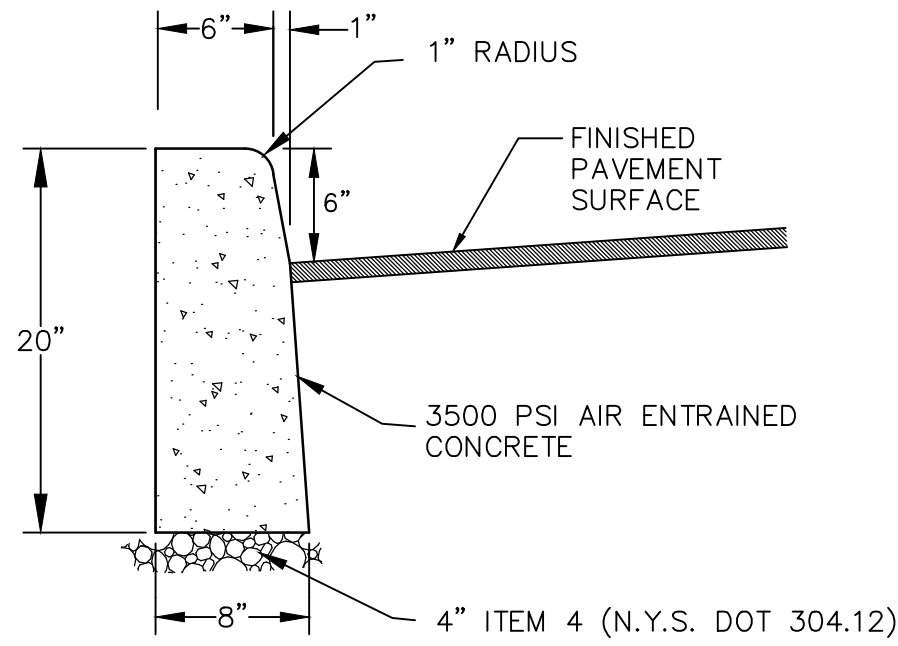


**PICK UP
ENTRANCE**

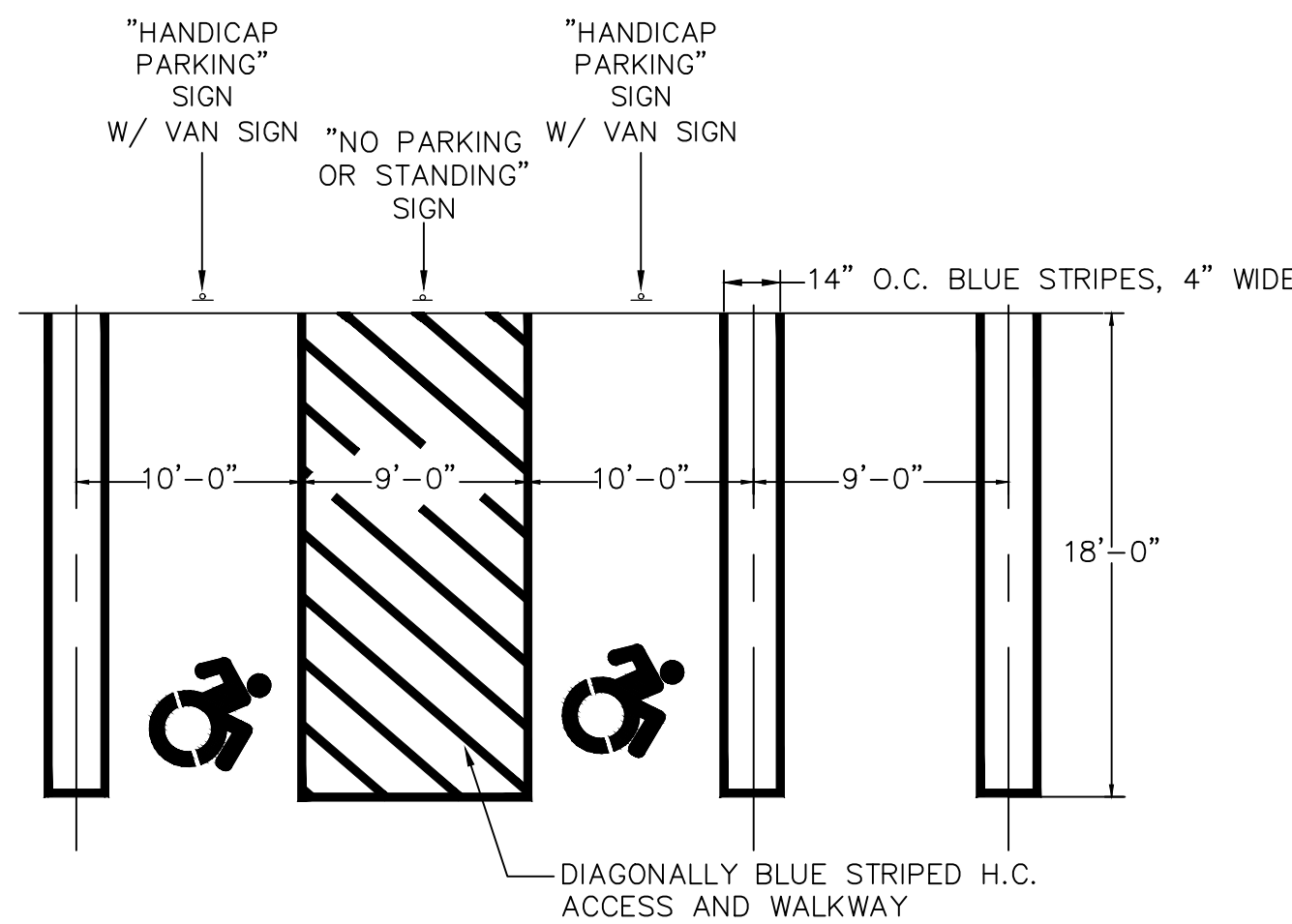


**ENCLOSED
SIDES**

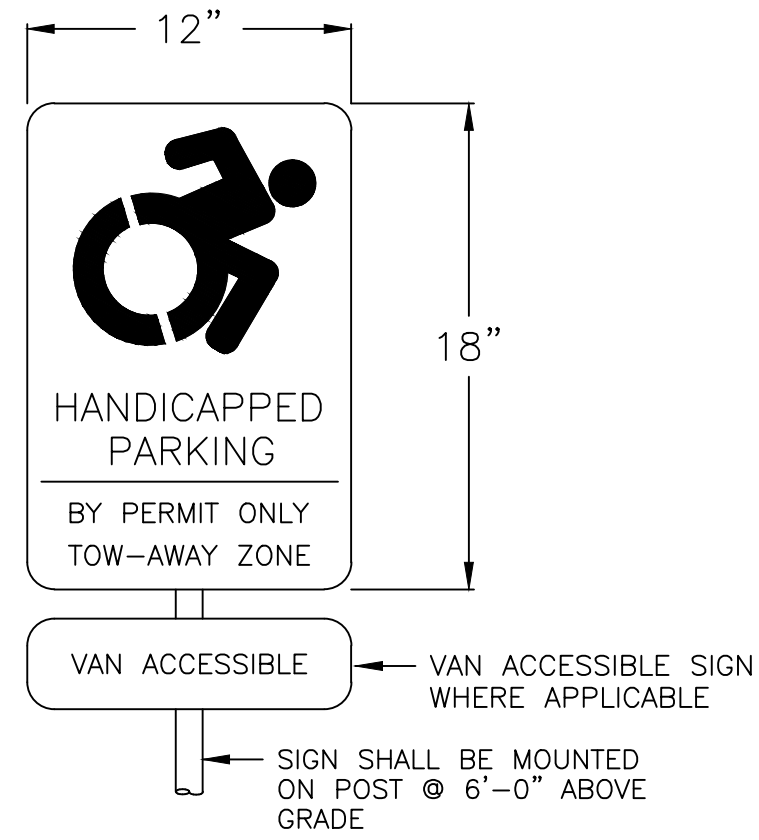
REFUSE STORAGE ENCLOSURE DETAIL
NOT TO SCALE



CONCRETE CURB
NOT TO SCALE

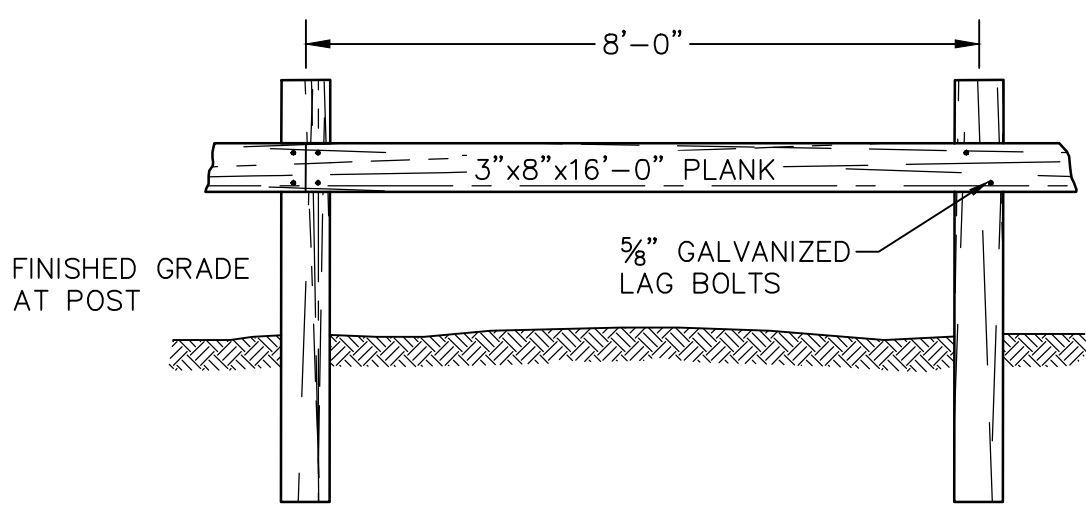


PARKING SPACE STRIPING DETAIL

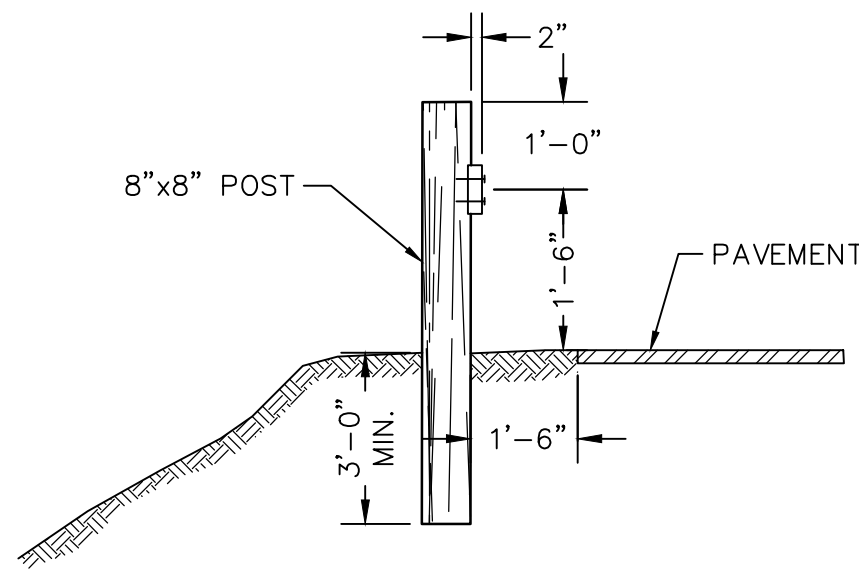


HANDICAP SIGN

SIGN & STRIPE DETAILS
NOT TO SCALE



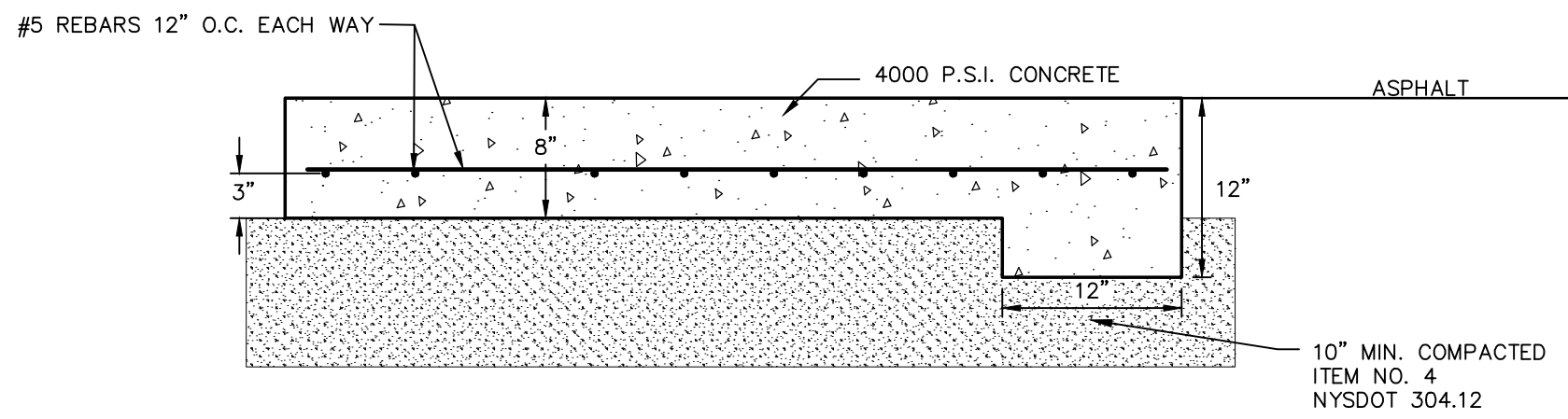
ELEVATION



SECTION

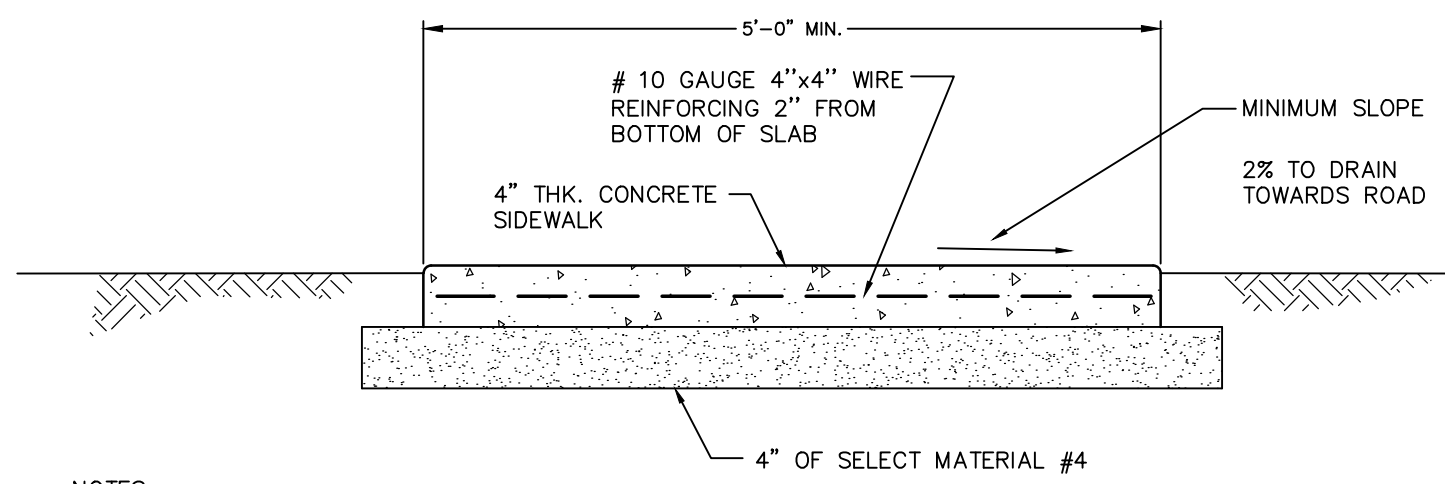
NOTE:
ALL WOOD TO BE PRESSURE TREATED.

WOOD GUIDE RAIL
NOT TO SCALE



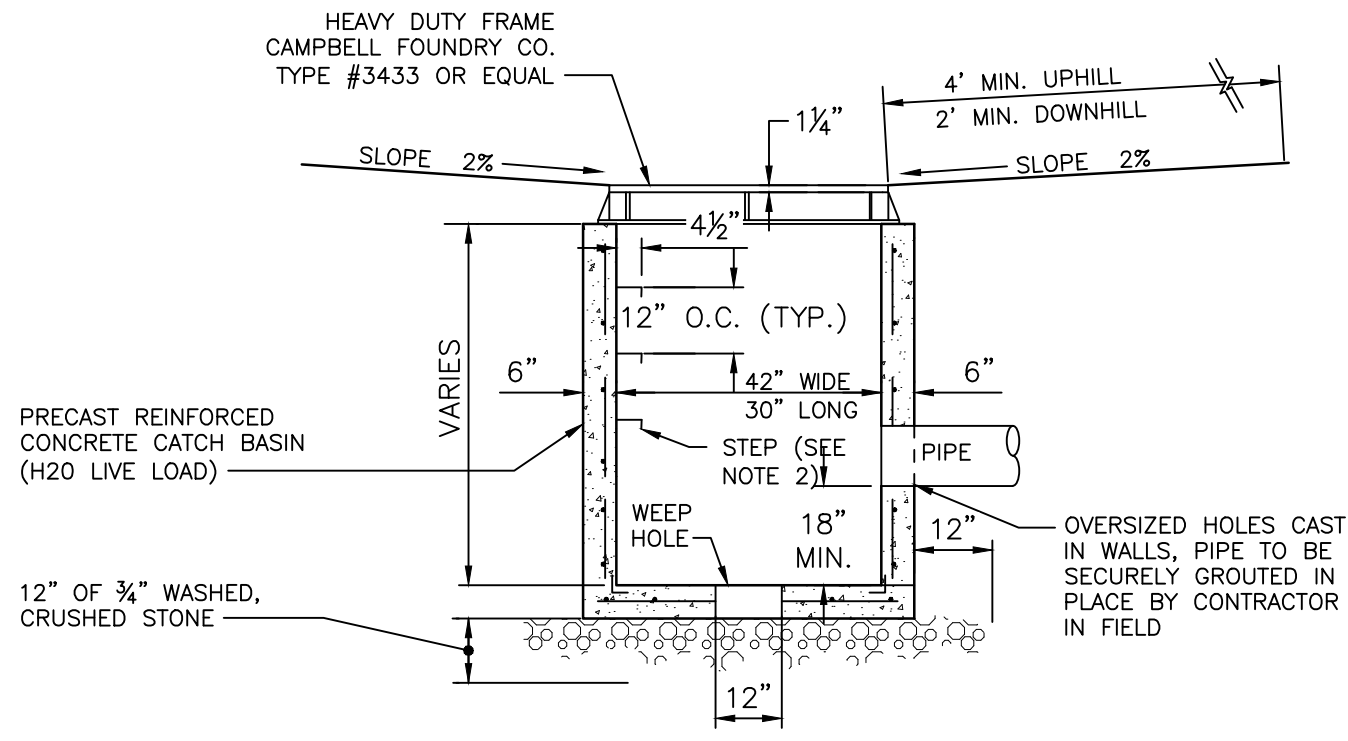
- NOTES:
1. CONCRETE APRON SHALL BE INCREASED TO 12\"
 2. ITEM NO. 4 SUBBASE TO BE COMPACTED TO 95% PROCTOR.
 3. CONCRETE SHALL BE 4,000 PSI 5% AIR ENTRAINMENT.
 4. EXPANSION JOINTS OF 3/16\"
 5. CONCRETE SHALL BE CURED AND SEALED. REFER TO PENSKE SPECIFICATIONS FOR REQUIREMENT.
 6. BROOM FINISH TOP SURFACE.

DUMPSTER ENCLOSURE CONCRETE PAD DETAIL
NOT TO SCALE

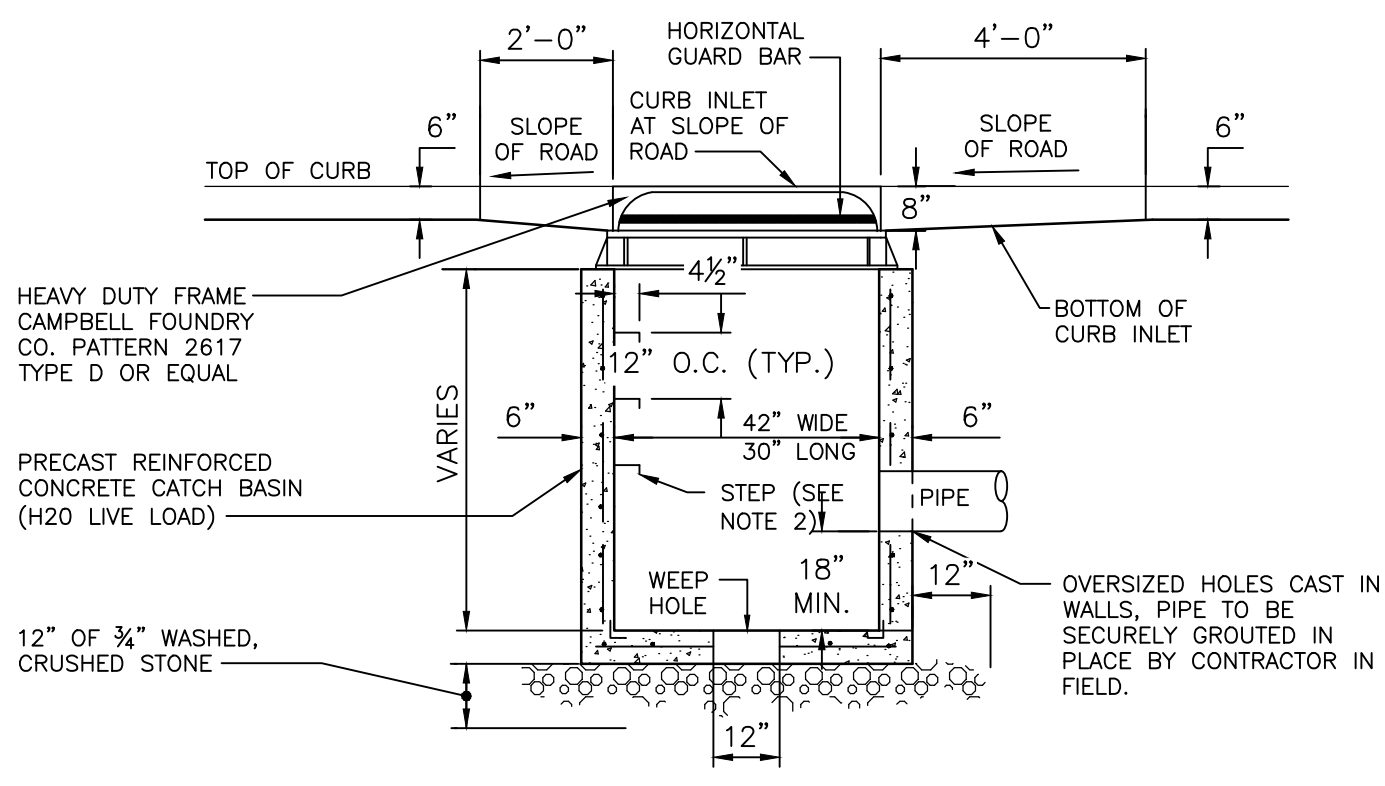


- NOTES:
1. EXPANSION JOINTS OF 3/4\"
 2. CONTRACTION JOINTS 1\"
 3. EDGES SHALL HAVE 1/2\"
 4. USE 4000 PSI CONCRETE.
 5. BROOM FINISH TOP SURFACE.

STANDARD SIDEWALK DETAIL
NOT TO SCALE



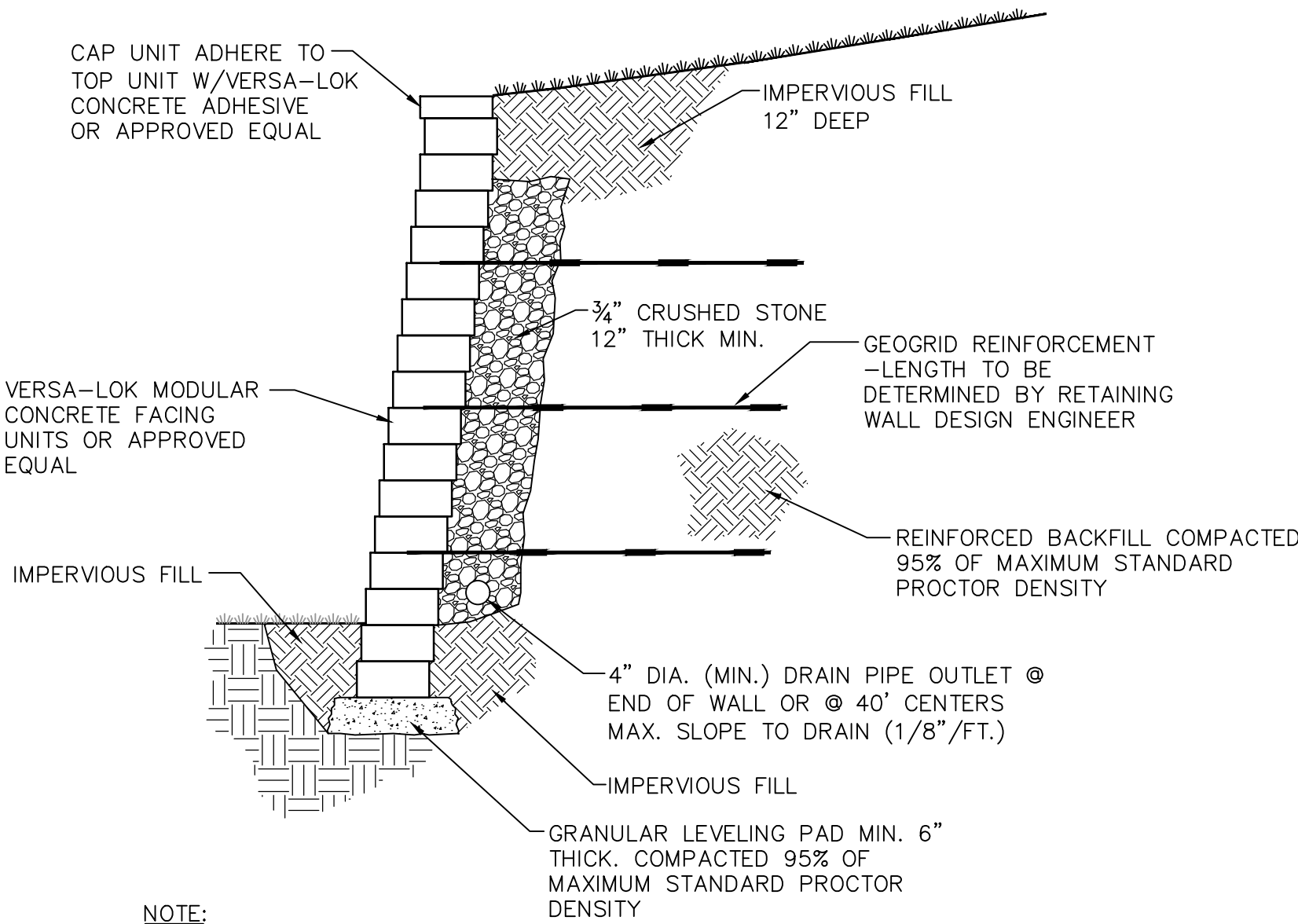
FLAT TOP CATCH BASIN



CURB TOP CATCH BASIN

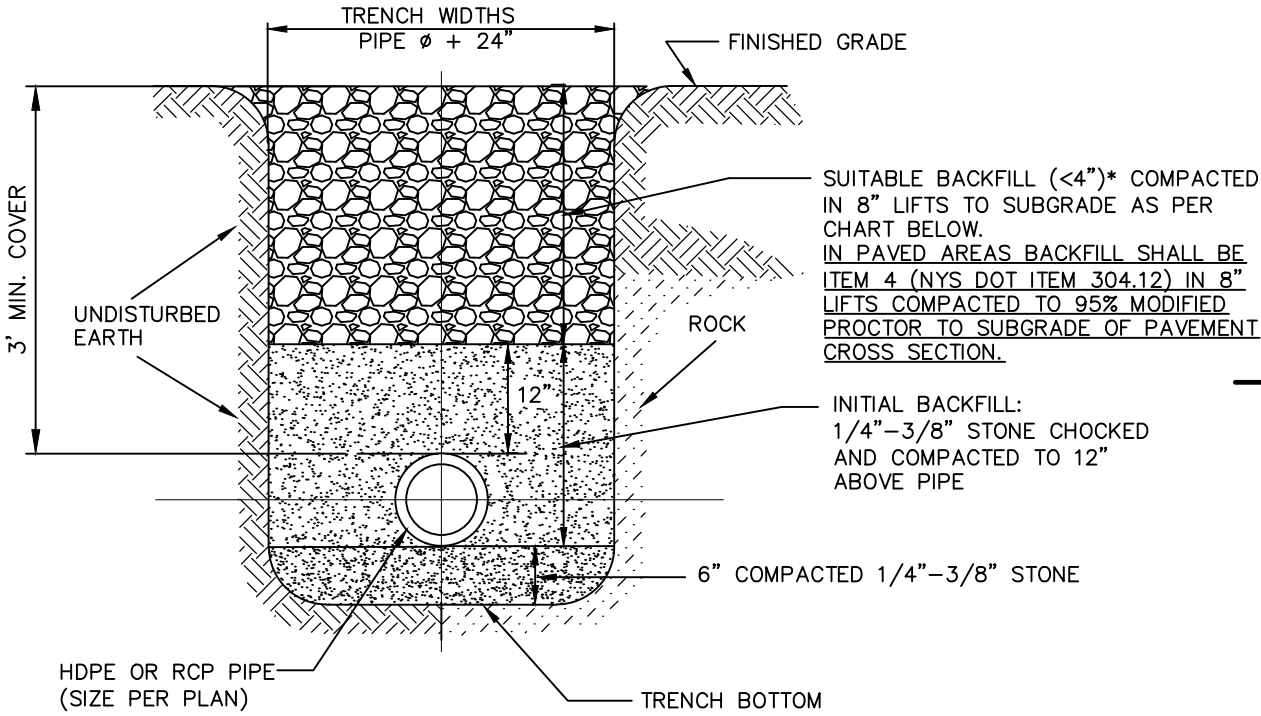
CATCH BASINS
NOT TO SCALE

- NOTES:
1. CONCRETE STRENGTH: 4000 P.S.I. @ 28 DAYS.
 2. STEPS TO BE COPOLYMER POLYPROPYLENE PLASTIC WITH 1/2\"
 3. THE ENDS OF ALL PIPES SHALL BE CUT OFF FLUSH WITH THE INSIDE SURFACE OF THE CATCH BASIN.



- NOTE:
1. WALL SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 2. CONTRACTOR TO PROVIDE ACTUAL WALL DESIGN SIGNED AND SEALED BY NEW YORK STATE LICENSED ENGINEER FOR REVIEW AND APPROVAL PRIOR TO WALL CONSTRUCTION.

TYPICAL SECTION-REINFORCED RETAINING WALL
NOT TO SCALE



EARTH OR ROCK EXCAVATION

ACCEPTABLE BACKFILL MATERIAL & COMPACTION REQUIREMENTS			
DESCRIPTION	SOIL CLASSIFICATION ASTM D2321	ASTM D2487	MINIMUM STANDARD PROCTOR DENSITY %
GRADED OR CRUSHED, CRUSHED STONE, GRAVEL	CLASS I	5	56
SAND, GRAVELS AND GRAVEL/SAND MIXTURES; LITTLE OR NO FINES	CLASS II	GW GP SW SP	57 6
SILTY OR CLAYEY GRAVELS, GRAVEL/SAND/SILT OR GRAVEL AND CLAY MIXTURES; SILTY OR CLAYEY SANDS, SAND/CLAY OR SAND/SILT MIXTURES	CLASS III	GM GC SM SC	57 6
		GRAVEL AND SAND (<10% FINES)	90%

NOTE: INORGANIC SILTS, CLAYS, AND OTHER CLASS IV MATERIAL SHALL NOT PERMITTED.
• BACKFILL SHALL CONTAIN NO STONES OVER 4\"

STORM SEWER TRENCH CROSS SECTION
NOT TO SCALE

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CONSTRUCTION DETAILS
PREPARED FOR

POMEGRANATE SOLUTIONS, LLC

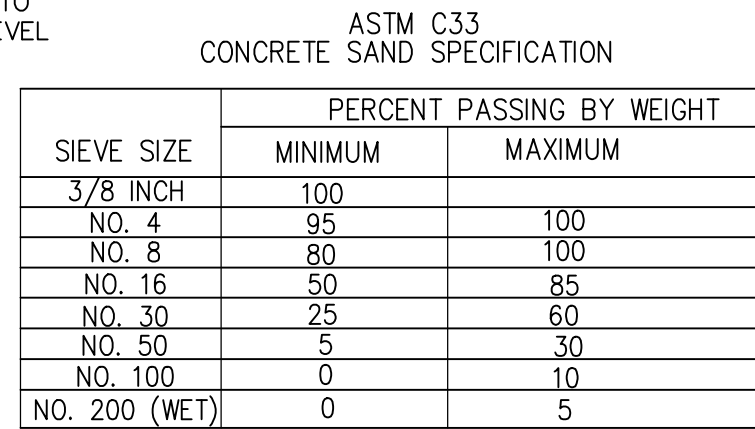
TOWN OF CHESTER
ORANGE COUNTY, NEW YORK

Date: FEBRUARY 26, 2020

Revisions:
JULY 21, 2020
OCTOBER 21, 2020

CAD File: 170117-DETAILS.DWG
Layout: DETAILS
Sheet No.: 8 OF 9
Drawing No.: C3D

Drawn By: CMF
Checked By: JQ
Scale: N.T.S.
Tax Map No.: 17-1-83, 84, 85, 86



NOT TO SCALE



NOT TO SCALE

- Dig! Safely. New York.**
Call 811
before you dig



NOT TO SCALE

INSPECTION SHALL BE MADE WEEKLY BY A LICENSED PROFESSIONAL AND AFTER EVERY ½" RAINFALL EVENT BY THE OWNER OR CONTRACTOR DURING CONSTRUCTION. DURING THE FIRST GROWING SEASON INSPECTIONS SHALL BE CONDUCTED MONTHLY AND BI ANNUALLY THEREAFTER. THE FOLLOWING TASKS SHALL BE PERFORMED AS NEEDED:

1. REMOVAL OF ACCUMULATED SEDIMENT AND CLEANING AND/OR RESTORATION OF THE FILTER BED AREAS WHENEVER ACCUMULATED SEDIMENT REACHES A DEPTH OF 1 INCH.
2. RESTORATION OF ANY DISTURBED PLANT MATERIAL AND ANY ERODED EMBANKMENTS. REPLACEMENT OF PROPOSED PLANTS SHALL OCCUR IF MORE THEN 50% OF THE COVERAGE OF THE FACILITY IS NOT ACHIEVED.
3. REMOVAL OF ACCUMULATED DEBRIS WITHIN THE FILTER BED AREAS AND AT ALL INLET AND OUTFALL STRUCTURES.
4. ANNUAL MOWING (EARLY WINTER) OF THE BASINS. TRIMMING AND PRUNING OF BUSHES. REMOVAL OF ANY FALLEN TREES OR LIMBS.
5. WHEN THE FILTERING CAPACITY OF THE FILTER DIMINISHES SUBSTANTIALLY (I.E., WHEN WATER PONDS ON THE SURFACE OF THE FILTER BED FOR MORE THAN 48 HOURS), THE TOP FEW INCHES OF DISCOLORED MATERIAL SHALL BE REMOVED AND SHALL BE REPLACED WITH FRESH MATERIAL. THE REMOVED SEDIMENTS SHALL BE DISPOSED IN AN ACCEPTABLE MANNER (I.E., LANDFILL).
6. REFER TO LANDSCAPING PLANS FOR PLANTING REQUIREMENTS. IF FOR ANY REASON A CONFLICT OF PLANT MATERIAL OR PLANT MAINTENANCE SHOULD OCCUR, THE LANDSCAPE PLANS ARE TO TAKE PRECEDENCE.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

Date: FEBRUARY 26 2024

Revisions:
JULY 21, 2020
OCTOBER 21, 2020

TOWN OF CHESTER
ORANGE COUNTY, NEW YORK

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