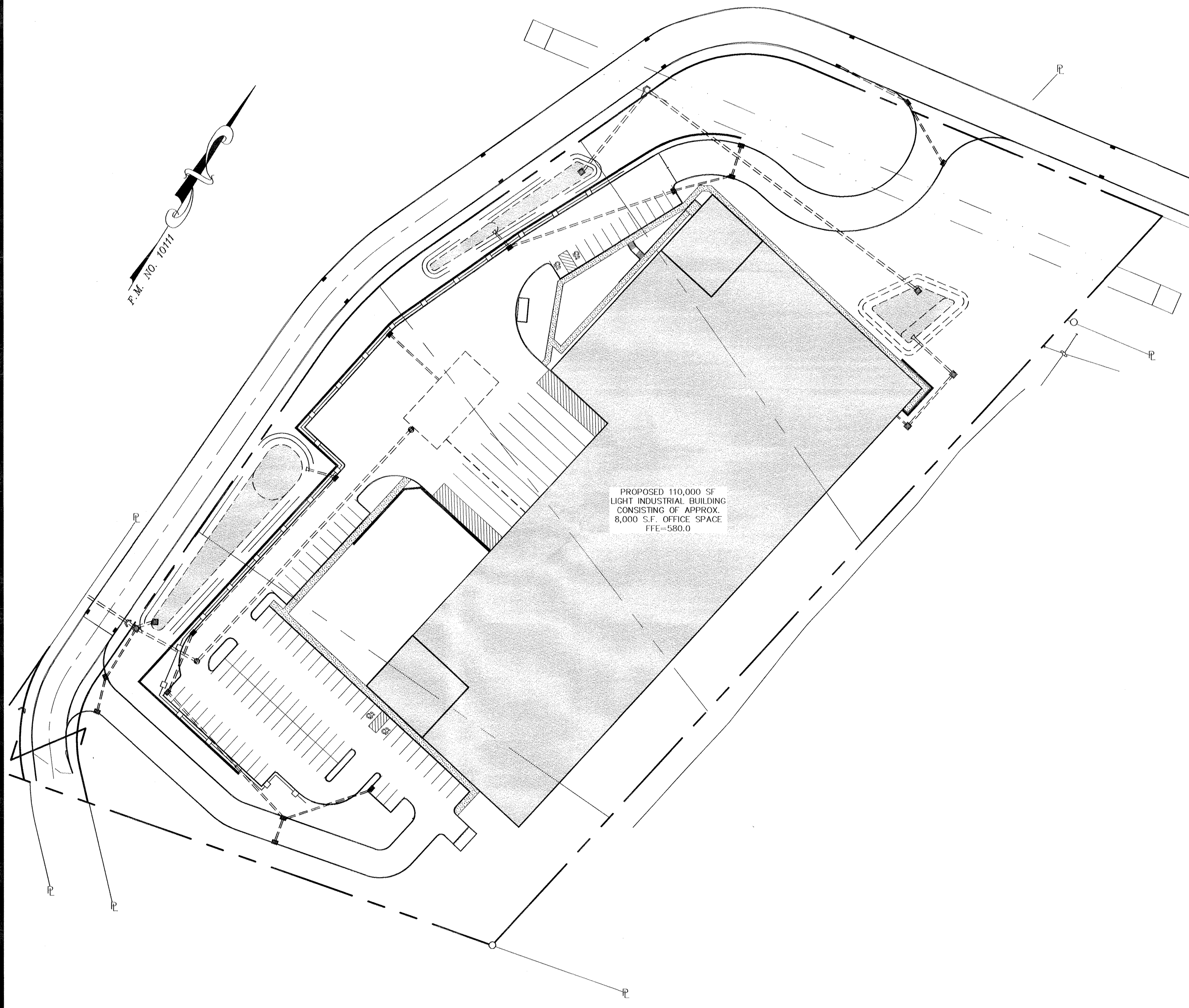


SITE PLAN FOR POMEGRANATE SOLUTIONS, LLC

TOWN OF CHESTER

ORANGE COUNTY, NEW YORK



LOCATION PLAN

1 INCH = 1000 FEET

SITE PLAN SHEET INDEX:

1. COVER SHEET
2. EXISTING CONDITIONS
3. SITE PLAN
4. GRADING & UTILITY PLAN
5. ROAD PROFILES PLAN
6. LANDSCAPING PLAN
7. LIGHTING PLAN
8. CONSTRUCTION DETAILS
9. CONSTRUCTION DETAILS 2

RECORD OWNER/APPLICANT:

POMEGRANATE SOLUTIONS, LLC
122 PENN STREET
BROOKLYN, NY 11211

L. 14287 P. 537
17 - 1 - 83
17 - 1 - 84
17 - 1 - 85
17 - 1 - 86

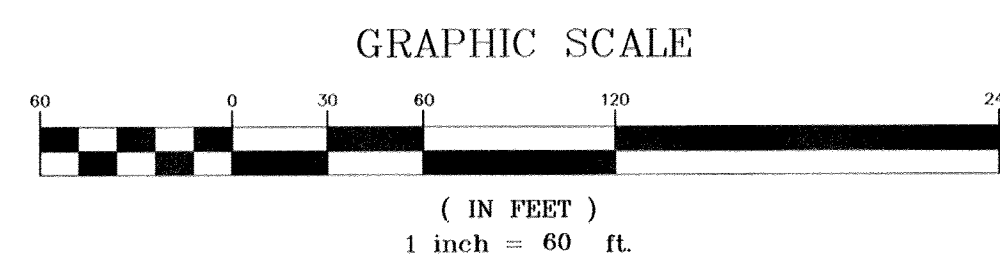
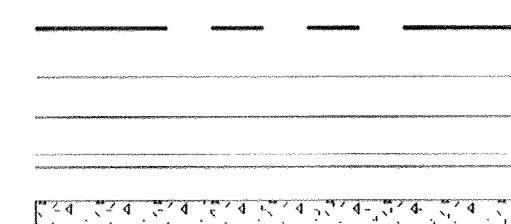
FILED MAP 10111
LOTS 4, 5, 6 & 7

AREAS:

TAX LOT 17 - 1 - 83	2,506± AC.
TAX LOT 17 - 1 - 84	2,146± AC.
TAX LOT 17 - 1 - 85	2,044± AC.
TAX LOT 17 - 1 - 86	2,030± AC.
TOTAL:	8,726± AC.

LEGEND:

PROPERTY LINE
ADJOINING PARCEL PROPERTY LINES
PROPOSED EDGE OF PAVEMENT
PROPOSED CURB
PROPOSED SIDEWALK



OVERALL PLAN

1 INCH = 60 FEET

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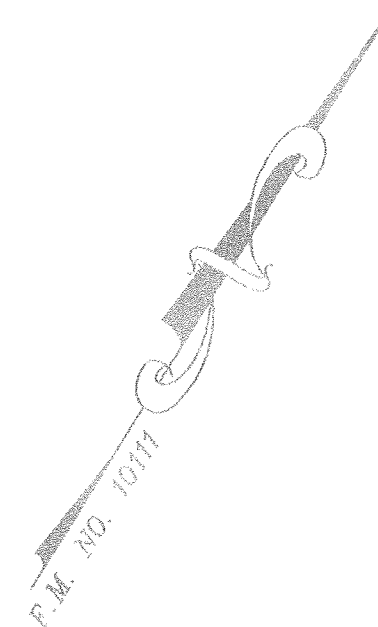
GENERAL NOTES:

1. TAX MAP DESIGNATION: SECTION 17, BLOCK 1, LOT 83-86
2. TOTAL AREA: 8.726± ACRES
3. DEED REFERENCE: LIBER 14287 PAGE 537 OF DEEDS AS RECORDED IN THE ORANGE COUNTY CLERK'S OFFICE.
4. ZONING DISTRICT: IP - INDUSTRIAL PARK
5. EXISTING LOTS TO BE CONSOLIDATED
6. TOTAL PROPOSED BUILDING FOOTPRINT SQUARE FOOTAGE: 120,000± SQ. FT.
7. LOTS TO BE SERVICED BY ON-SITE INDIVIDUAL WELL FOR POTABLE WATER SERVICE.
8. LOT TO BE SERVICED BY ON-SITE PRIVATE SUBSURFACE SEWAGE DISPOSAL SYSTEM.
9. ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
10. THE DESIGN AND LOCATION OF SANITARY FACILITIES (WATER AND SEWER SYSTEMS) SHALL NOT BE CHANGED.
11. THE PROPERTY OWNER SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES.
12. SEWAGE DISPOSAL SYSTEMS SHALL NO LONGER BE CONSTRUCTED OR USED WHEN PUBLIC FACILITIES BECOME AVAILABLE. CONNECTION TO THE PUBLIC SEWER SYSTEM IS REQUIRED WITHIN 1 YEAR OF AVAILABILITY.
13. A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER (OR OTHER DESIGN PROFESSIONAL AS ALLOWED BY THE NYS EDUCATION DEPARTMENT) SHALL INSPECT THE SANITARY FACILITIES AT THE TIME OF CONSTRUCTION. THE ENGINEER SHALL CERTIFY TO THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT ANY SEPTIC TANK JOINTS HAVE BEEN SEALED AND TESTED FOR WATER TIGHTNESS.
14. NO SITE PREPARATION OR CONSTRUCTION SHALL COMMENCE UNTIL ALL REQUIRED PERMITTING AND APPROVALS HAVE BEEN OBTAINED AND THE APPROVED CLEARING LIMIT BOUNDARY HAS BEEN DELINEATED WITH CONSTRUCTION FENCING THROUGHOUT THE SITE.
15. ALL EXISTING STRUCTURES AND DEBRIS ON SITE SHALL BE REMOVED.
16. MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - A. NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", 2008, AS SUPPLEMENTED.
 - B. CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.
 - C. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - D. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
18. GAS, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
19. TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT TOP COURSE.
20. UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
21. STORM SEWER PIPING SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) N-12 OR APPROVED EQUAL AS NOTED. PROPER PIPE COVERAGE PER MANUFACTURER'S SPECIFICATIONS SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
22. TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD, LATEST EDITION).
23. FINAL BUILDING FOOTPRINT DIMENSIONS SHALL BE FURNISHED ON THE ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS AND REQUIREMENTS OF THIS SITE PLAN.
24. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED AND ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED.
25. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO THEIR SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIAL, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
26. THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
27. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS, CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT LANC & TULLY ENGINEERING AND SURVEYING, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OF CORRELATED ITEMS NOT RECEIVED.
28. NEITHER THE PROFESSIONAL ACTIVITIES OF LANC & TULLY ENGINEERING AND SURVEYING, P.C., NOR THE PRESENCE OF LANC & TULLY ENGINEERING AND SURVEYING, P.C. OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES, AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. LANC & TULLY ENGINEERING AND SURVEYING, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
29. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENAL TIES ASSESSED WITH RESPECT TO ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
28. THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

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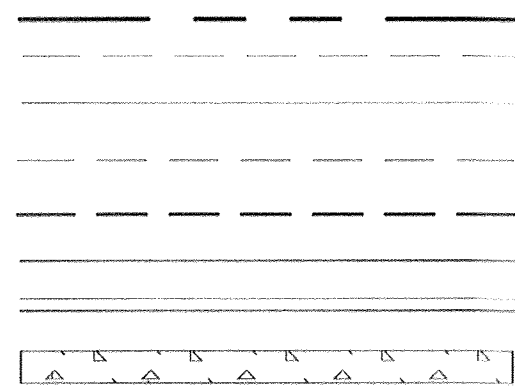
		P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700	
COVER SHEET FOR			
POMEGRANATE SOLUTIONS, LLC			
TOWN OF CHESTER ORANGE COUNTY, NEW YORK			
Drawn By: CMF	Checked By: JG	Scale: 1" = 60'	Tax Map No.: 17-1-83, 84, 85, 86
Date: FEBRUARY 26, 2020		Revision: JULY 21, 2020 OCTOBER 21, 2020 FEBRUARY 17, 2021	
CAD File: 170117 SITE PLAN.DWG		Sheet No.: 1 OF 9	
Drawing No.: C30		B - 17 - 0117 - 01	





LEGEND:

- PROPERTY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- PROPOSED BUILDING SETBACK
- PROPOSED PARKING SETBACK
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CURB
- PROPOSED SIDEWALK



N/F OPPMANN
L. 12279 P. 241
17 - 1 - 102

20' WIDE DRAINAGE EASEMENT
0.032± AC.
(F.M. NO. 10111)

N02°46'43"E
42.45'

BENT L. ROD
FOUND 0.40' SE OF
PROPERTY CORNER

N/F PAGANO
L. 2393 P. 201
17 - 1 - 21

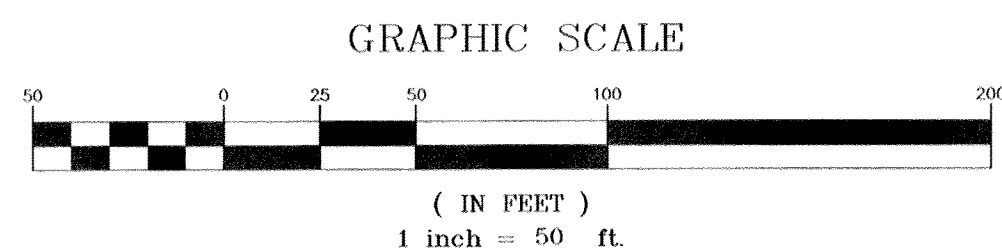
N/F LAKE STATION INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.4

N/F LAKE STATION INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.1

N/F LAKE STATION INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.5

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PARKING CALCULATION TABLE			
USE	REQUIRED RATIO	REQUIRED SPACES	PROVIDED SPACES
PROPOSED	PROPOSED OFFICE ONE SPACE / 200 SQ. FT.	8,000/200 = 40 SPACES	
	PROPOSED INDUSTRIAL TWO SPACES PER 3 EMPLOYEES ON THE TWO LARGEST CONSECUTIVE SHIFTS	2/3 * 68 EMPLOYEES = 46 SPACES	
	PROPOSED TOTAL	86 SPACES	96 SPACES

Total parking count includes 4 accessible parking spaces per lot as required by ADA Code for parking facilities with 76-100 spaces. Loading spaces include the minimum of four.

RECORD OWNER/APPLICANT:

POMEGRANATE SOLUTIONS, LLC
122 PENN STREET
BROOKLYN, NY 11211

L. 14287 P. 537
17 - 1 - 83
17 - 1 - 84
17 - 1 - 85
17 - 1 - 86

FILED MAP 10111
LOTS 4, 5, 6 & 7

AREAS:

TAX LOT 17 - 1 - 83 2.506± AC.
TAX LOT 17 - 1 - 84 2.146± AC.
TAX LOT 17 - 1 - 85 2.044± AC.
TAX LOT 17 - 1 - 86 2.030± AC.
TOTAL: 8.726± AC.

GENERAL NOTES:

- TAX MAP DESIGNATION: 17-1-83, 84, 85, 86
- TOTAL AREA: 8.7 AC±
- ZONING DISTRICT: INDUSTRIAL PARK - IP
- EXISTING LOTS TO BE CONSOLIDATED

TABLE OF ZONING REQUIREMENTS
TOWN OF CHESTER
INDUSTRIAL PARK DISTRICT (IP)

LOT SERVED BY PRIVATE SEWER AND WATER SYSTEMS		
MINIMUM	REQUIRED	PROVIDED
LOT AREA	2 AC.	8.7 AC.
LOT WIDTH	200 FT.	427 FT.
FRONT YARD	60 FT.	104.7 FT.
REAR YARD	50 FT.	54.0 FT.
SIDE YARD (ONE)	50 FT.	107.8 FT.
SIDE YARD (BOTH)	100 FT.	>140 FT.
MAXIMUM		
BUILDING COVERAGE	40%	32%
BUILDING HEIGHT	45 FT.	45 FT.

BUILDING FOR Light Industrial Use

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L&T LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

SITE PLAN
PREPARED FOR

POMEGRANATE SOLUTIONS, LLC

TOWN OF CHESTER
ORANGE COUNTY, NEW YORK

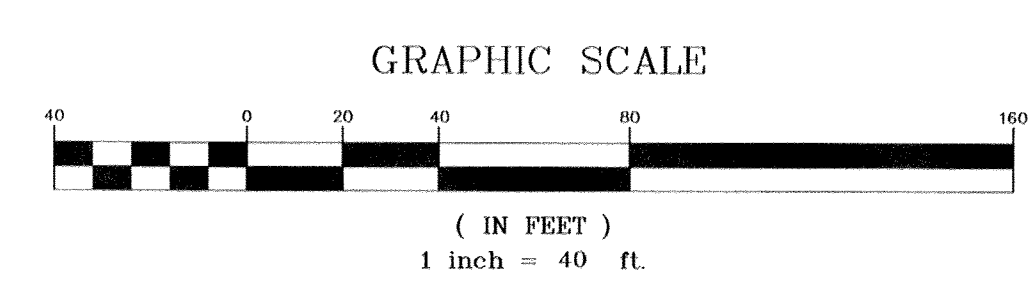
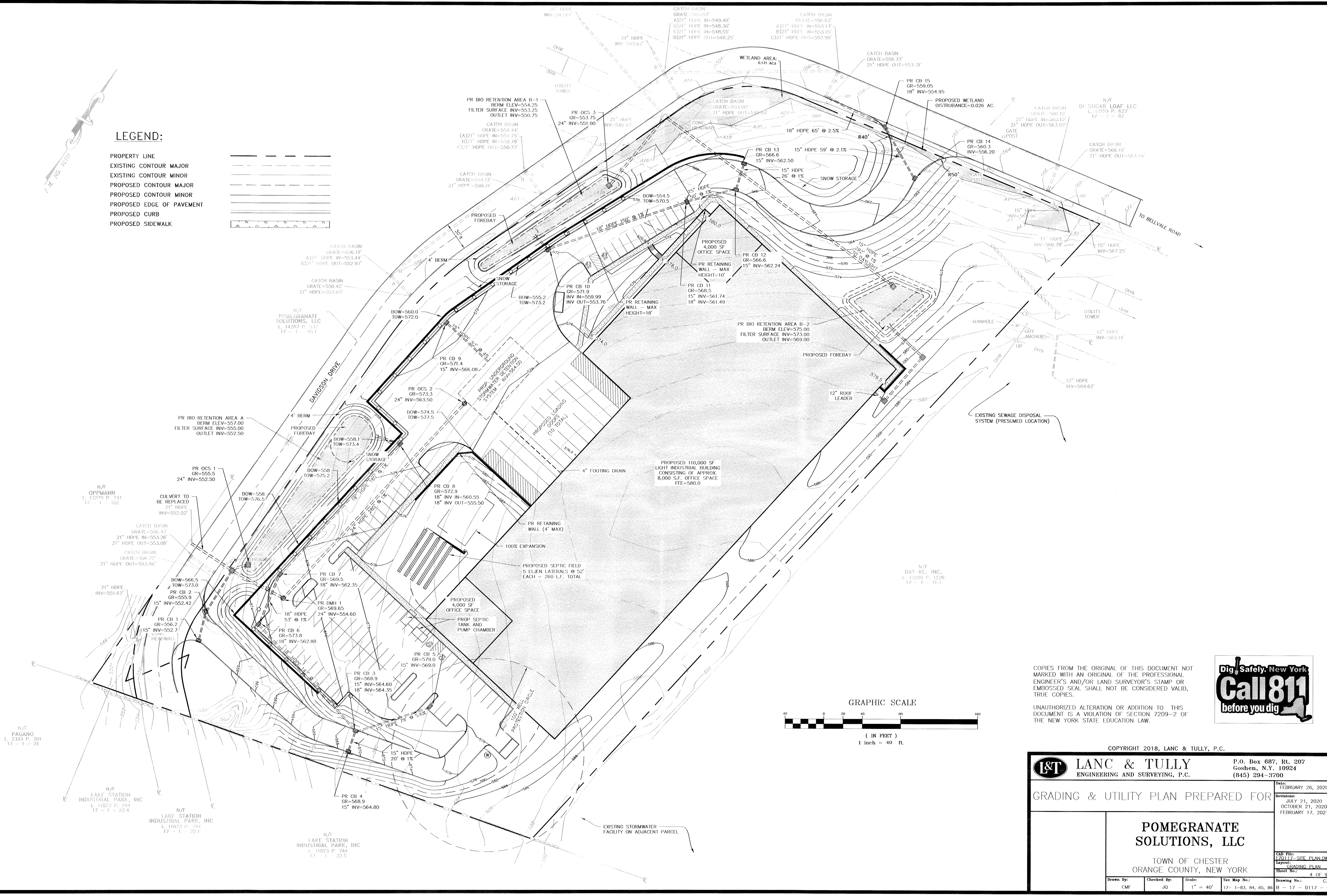
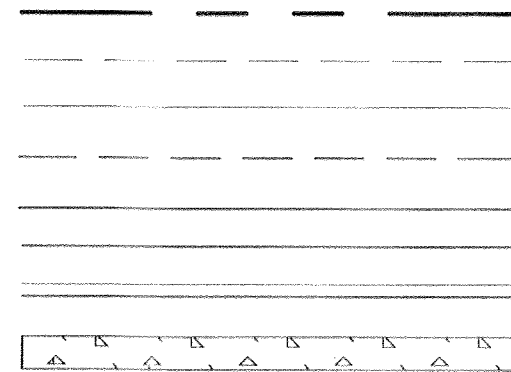
Drawn By: CMF Checked By: JG Scale: 1" = 50' Tax Map No.: 17-1-83, 84, 85, 86 Drawing No.: B-17-0117-01

Date: FEBRUARY 26, 2020
Revisions:
JULY 21, 2020
OCTOBER 21, 2020
FEBRUARY 17, 2021

CAD File: 170117 SITE PLAN.DWG
Layout: SITE PLAN
Sheet No.: 3 OF 9

LEGEND:

PROPERTY LINE
EXISTING CONTOUR MAJOR
EXISTING CONTOUR MINOR
PROPOSED CONTOUR MAJOR
PROPOSED CONTOUR MINOR
PROPOSED EDGE OF PAVEMENT
PROPOSED CURB
PROPOSED SIDEWALK



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Call 811
before you dig

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P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

GRADING & UTILITY PLAN PREPARED FOR

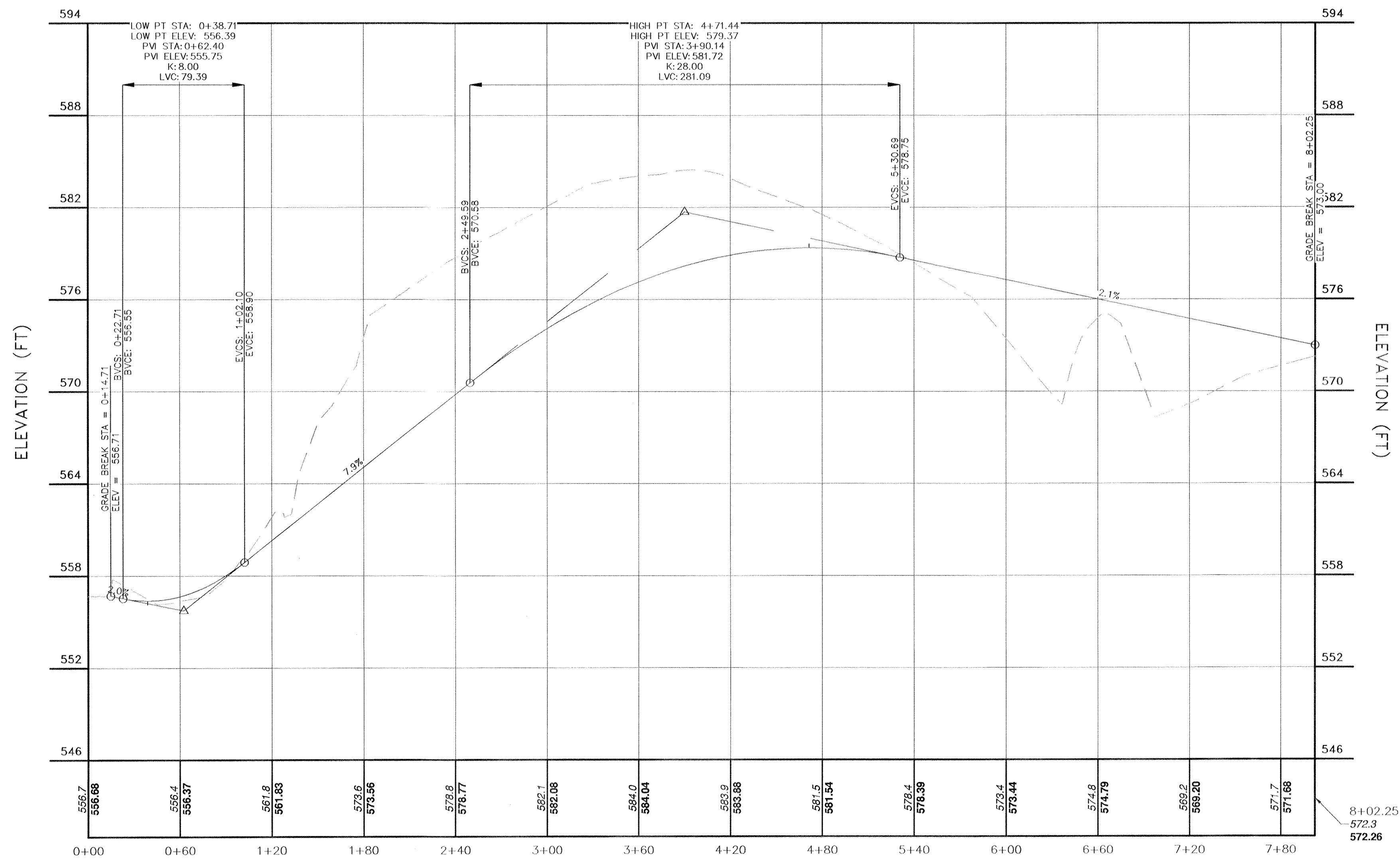
POMEGRANATE SOLUTIONS, LLC

TOWN OF CHESTER
ORANGE COUNTY, NEW YORK

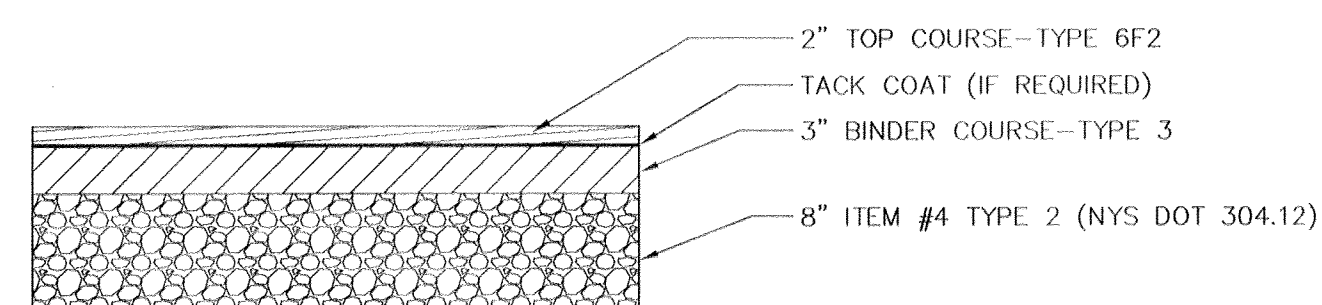
Drawn By: CMF
Checked By: JQ
Scale: 1" = 40'
Tax Map No.: 17-1-83, 84, 85, 86
Drawing No.: B-17-0117-01

Date: FEBRUARY 26, 2020
Revisions:
JULY 21, 2020
OCTOBER 21, 2020
FEBRUARY 17, 2021

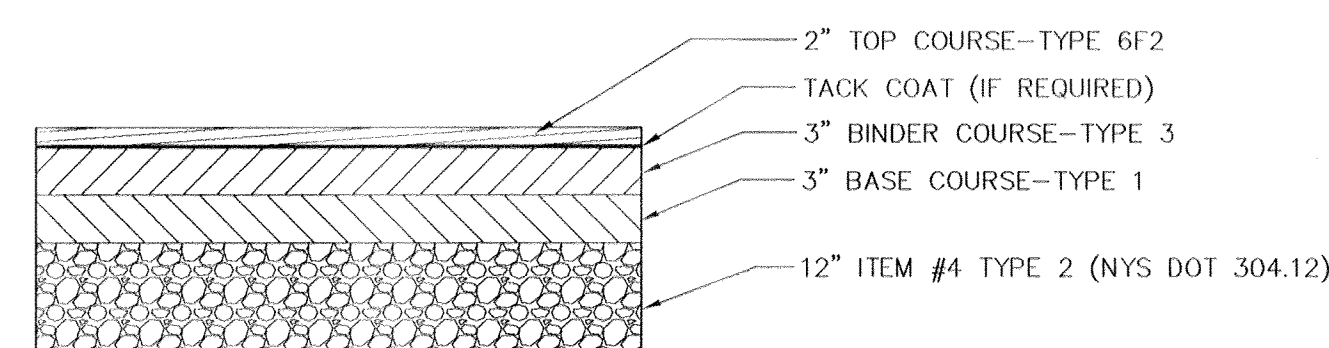
CAD File: 170117-SITE PLAN.DWG
Layout: GRADING PLAN
Sheet No.: 4 OF 9
Drawing No.: C3D



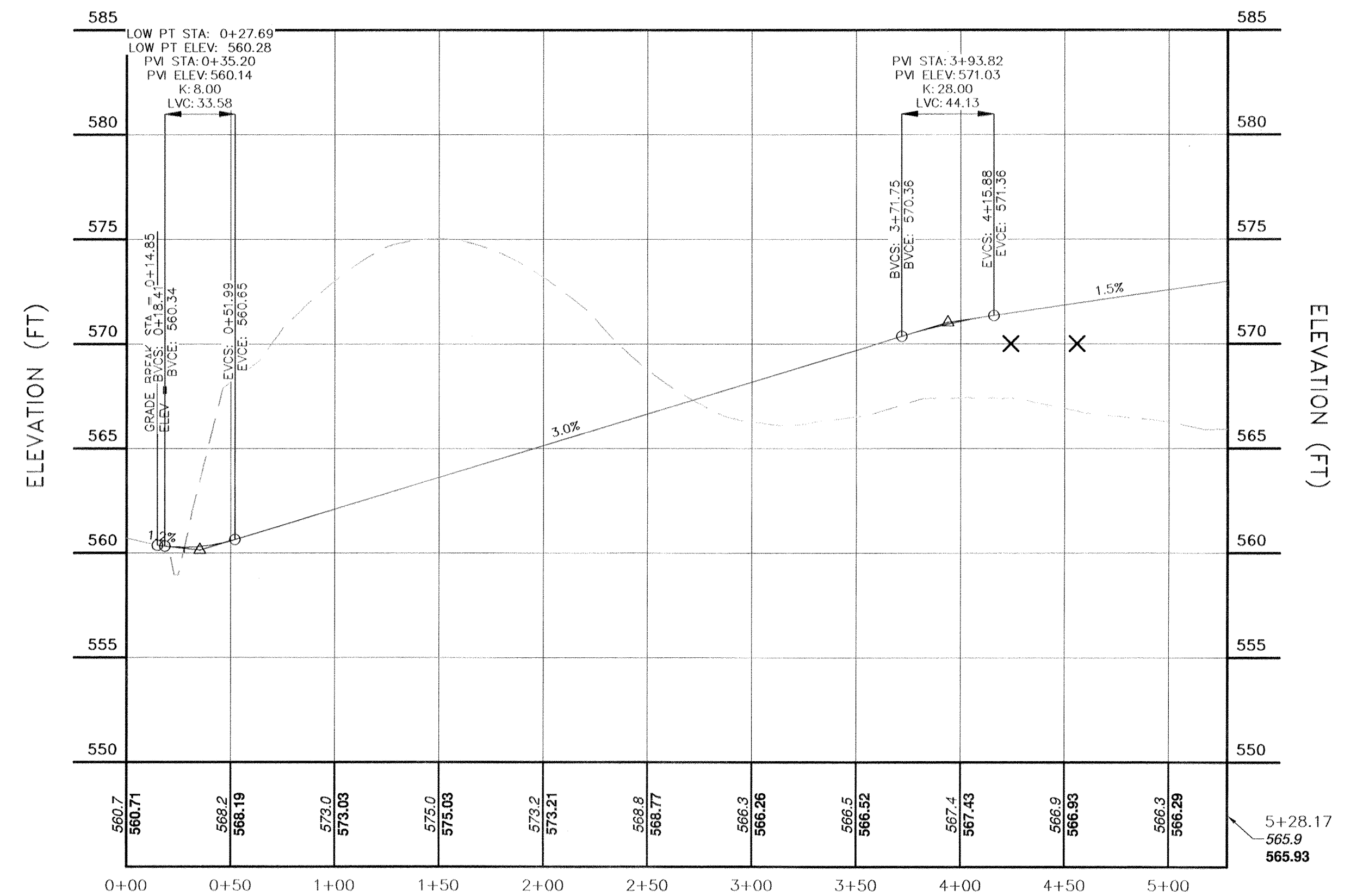
South Access Drive
ST 0+00 THRU ST 8+02.25
SCALE: HORIZONTAL 1"=60'
VERTICAL 1"=6'



PAVEMENT SECTION 1
PASSENGER TRAFFIC AND PARKING AREAS
NOT TO SCALE



PAVEMENT SECTION 3
HEAVY DUTY TRUCK TRAFFIC AREAS
NOT TO SCALE



North Access Drive
ST 0+00 THRU ST 5+28.17
SCALE: HORIZONTAL 1"=50'
VERTICAL 1"=5'

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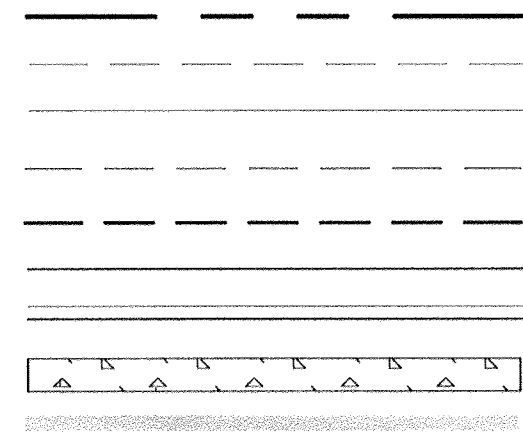
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ROAD PFILES	
POMEGRANATE SOLUTIONS, LLC TOWN OF CHESTER ORANGE COUNTY, NEW YORK	
Date: FEBRUARY 26, 2020 Revisions: JULY 21, 2020 OCTOBER 21, 2020 FEBRUARY 17, 2021	CAD File: 170117-SITE PLAN.DWG Layout: COVER Sheet No.: 5 OF 9
Drawn By: CMF Checked By: JQ Scale: 1" = 50' Tax Map No.: 17-1-83, 84, 85, 86	Drawing No.: C3D B - 17 - 0117 - 01

LEGEND:

- PROPERTY LINE
EXISTING CONTOUR MAJOR
EXISTING CONTOUR MINOR
PROPOSED YARD
PROPOSED PARKING SETBACK
PROPOSED EDGE OF PAVEMENT
PROPOSED CURB
PROPOSED SIDEWALK
PROPOSED WALL



20' WIDE
DRAINAGE EASEMENT
0.032± AC.
(F.M. NO. 10111)

N02°46'43"E
42.45'

N/E
PAGANO
L. 2,394 P. 201
17 - 1 - 21

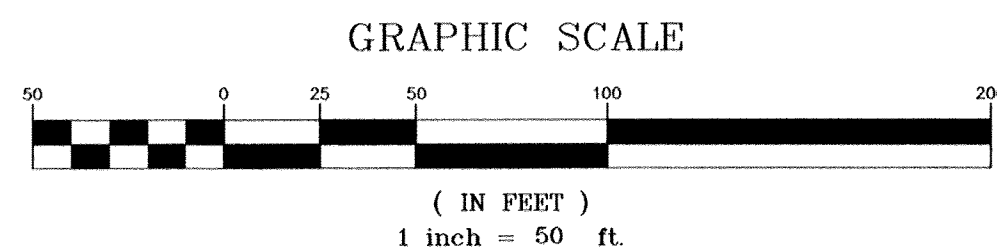
N/E
LAKE STATION
INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.4

N/E
LAKE STATION
INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.1

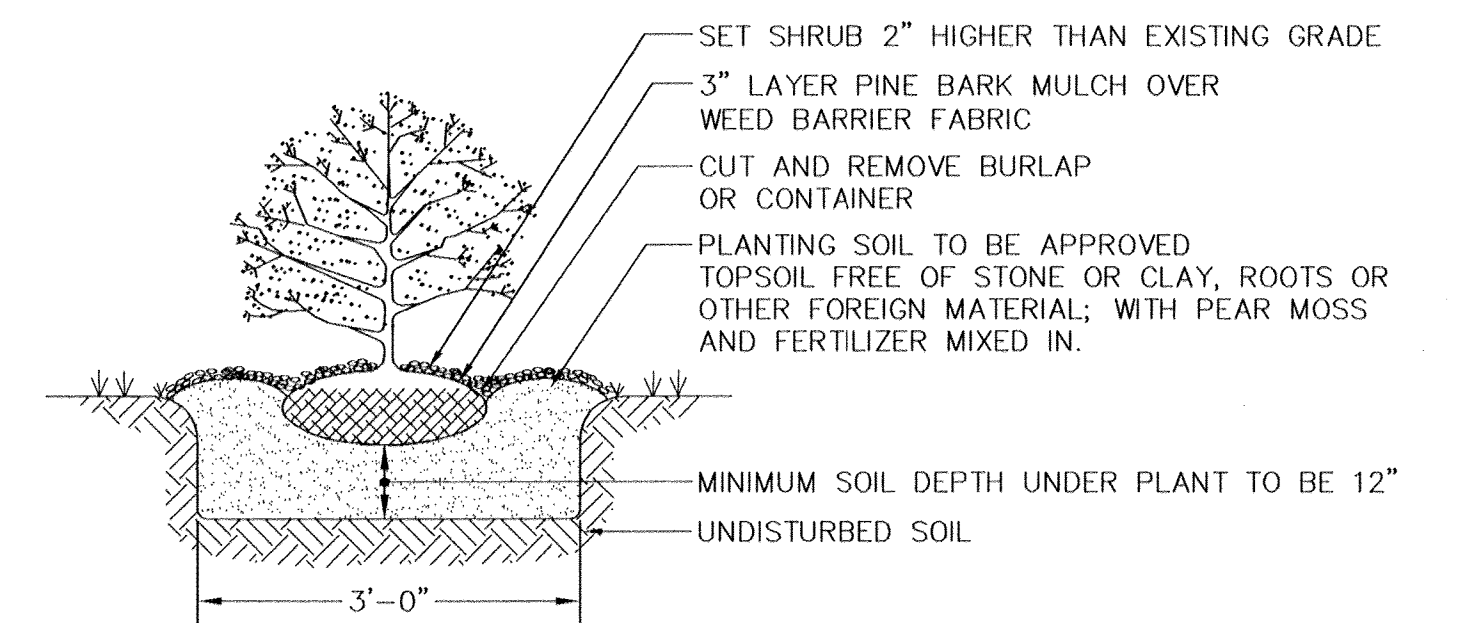
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17 - 1 - 22.5

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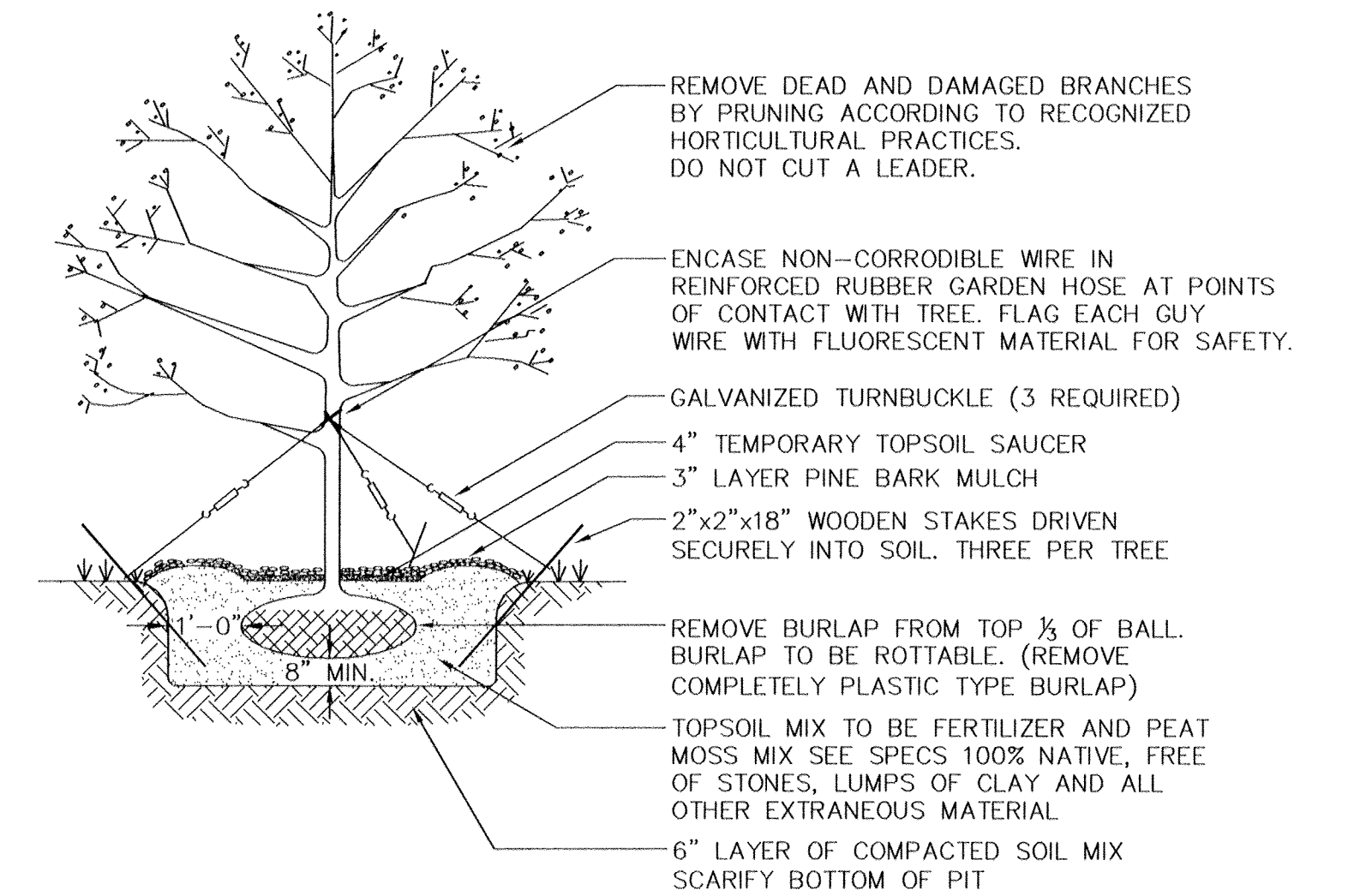
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SITE PLANT SCHEDULE					
KEY	BOTANICAL NAME	COMMON NAME	SIZE, NOTES	QUANTITY	SYMBOL
DECIDUOUS TREES					
AR	ACER RUBRUM "RED SUNSET"	RED SUNSET RED MAPLE	2-1/2" CAL MIN. B&B	6	
OP	QUERCUS PALUSTRIS	PIN OAK	2-1/2" CAL MIN. B&B	16	
SHRUBS					
FG	FOTHERGILLA MAJOR	LARGE FOTHERGILLA	18"-24" DIA, CONTAINER	22	



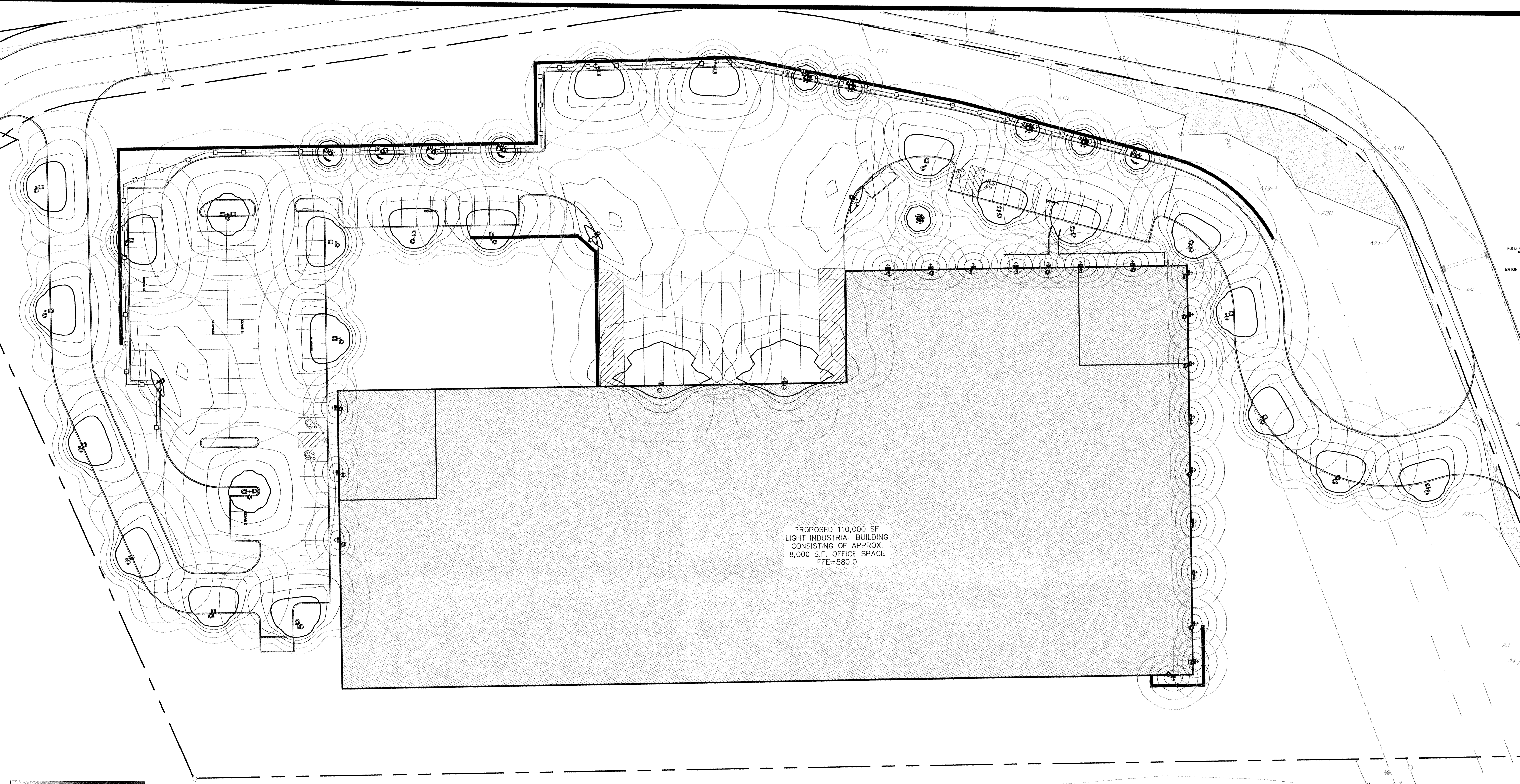
SHRUB PLANTING DETAIL
NOT TO SCALE



DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

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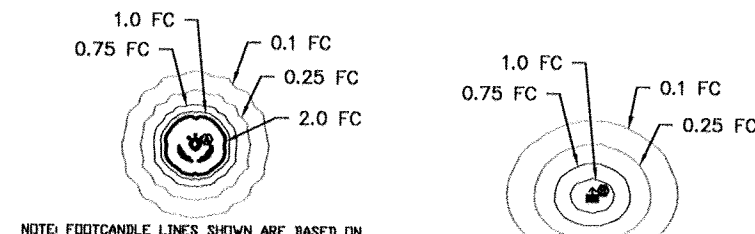
	LANC & TULLY ENGINEERING AND SURVEYING, P.C.	P.O. Box 687, Rt. 107 Goshen, N.Y. 10924 (845) 294-3700
LANDSCAPE PLAN PREPARED FOR		Date: FEBRUARY 26, 2020
POMEGRANATE SOLUTIONS, LLC		Revisions: JULY 21, 2020 OCTOBER 21, 2020 FEBRUARY 17, 2021
TOWN OF CHESTER ORANGE COUNTY, NEW YORK		CAD File: 2017-LANDSCAPE PLAN
Drawn By: CMF		Sheet No.: 6 OF 9
Checked By: JG		Drawing No.: C30
Scale: 1" = 50'		Tax Map No.: 17-1-83, 84, 85, 86
Tax Map No.: 17-1-83, 84, 85, 86		B - 17 - 0117 - 01



PROPOSED 110,000 SF
LIGHT INDUSTRIAL BUILDING
CONSISTING OF APPROX.
8,000 S.F. OFFICE SPACE
FFE=580.0

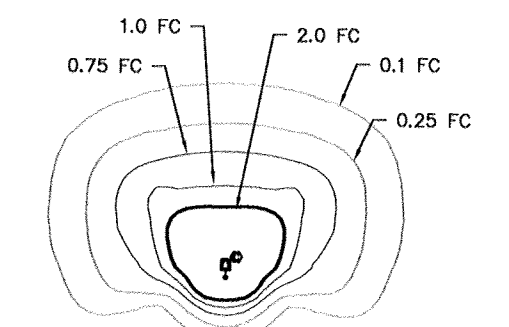


EATON "GAN GALLEON"
LED AREA LUMINAIRE
TYPICAL WALL MOUNT AREA LUMINAIRE

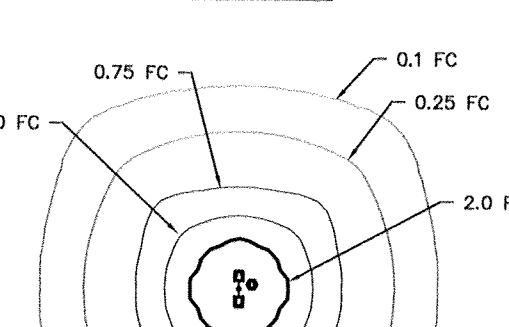


LUMINAIRE "A"
EATON ROUND BOLLARD WITH ACRYLIC LENS
PHOTOMETRIC DIAGRAM

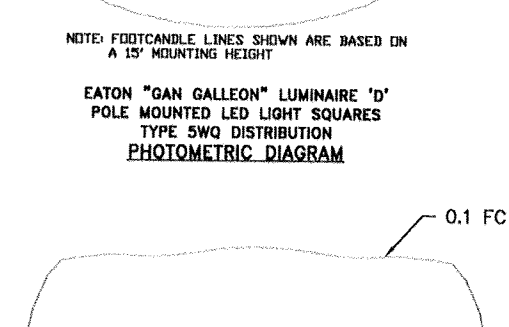
LUMINAIRE "B"
EON 303 W1 LUMINAIRE
WALL MOUNTED LED LIGHT SQUARES
PHOTOMETRIC DIAGRAM



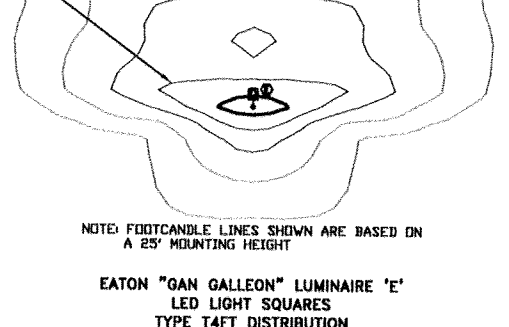
LUMINAIRE "C"
WALL MOUNTED LED LIGHT SQUARES
TYPE T4 DISTRIBUTION
PHOTOMETRIC DIAGRAM



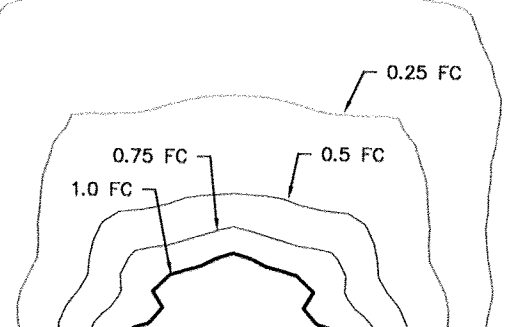
LUMINAIRE "D"
EATON "GAN GALLEON" LUMINAIRE "D"
POLE MOUNTED LED LIGHT SQUARES
TYPE T4 DISTRIBUTION
PHOTOMETRIC DIAGRAM



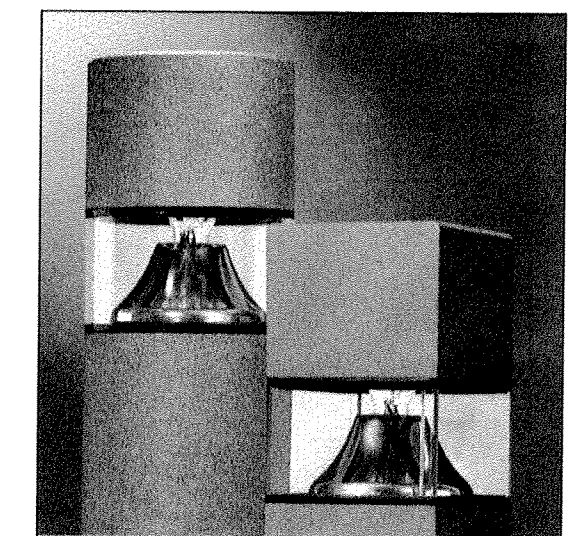
LUMINAIRE "E"
EATON "GAN GALLEON" LUMINAIRE "E"
LED LIGHT SQUARES
TYPE T4FT DISTRIBUTION
PHOTOMETRIC DIAGRAM



LUMINAIRE "F"
EATON "GAN GALLEON" LUMINAIRE "F"
WALL MOUNTED LED LIGHT SQUARES
TYPE T4FT DISTRIBUTION
PHOTOMETRIC DIAGRAM



LUMINAIRE "G"
EATON "GAN GALLEON" LUMINAIRE "G"
WALL MOUNTED LED LIGHT SQUARES
TYPE T4FT DISTRIBUTION
PHOTOMETRIC DIAGRAM

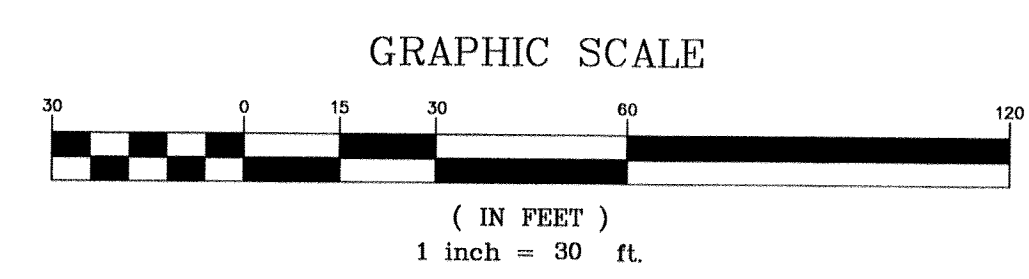


EATON "GAN GALLEON"
LED AREA LUMINAIRE
TYPICAL BOLLARD LUMINAIRE



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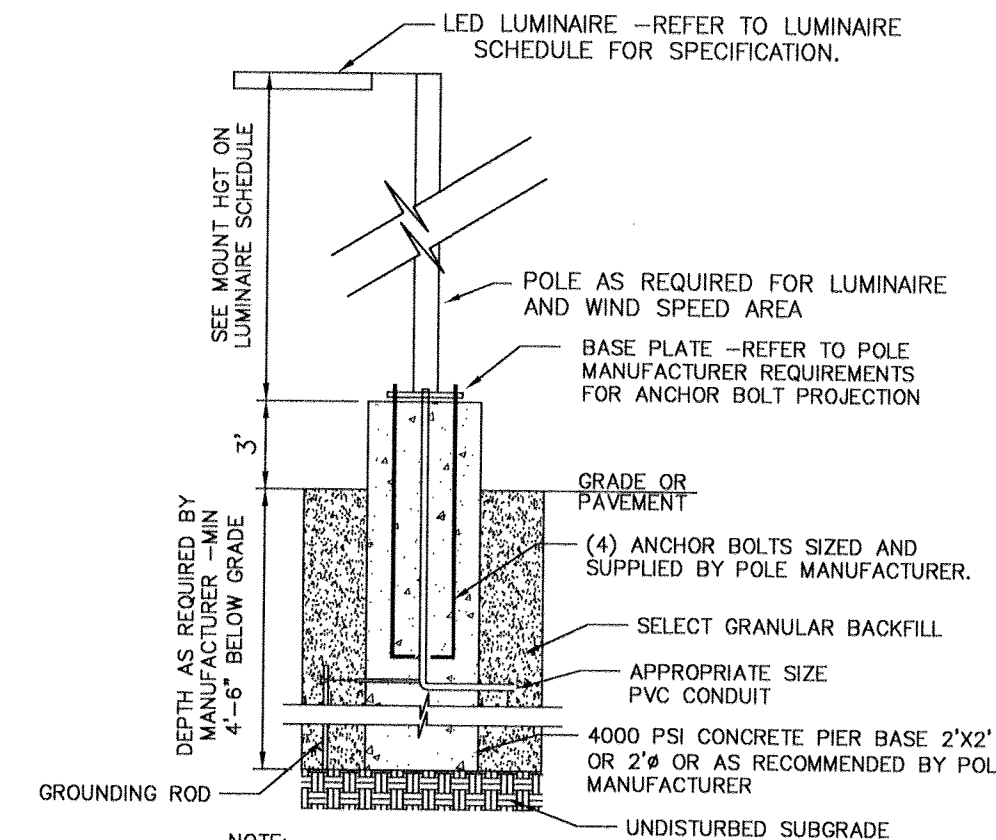


LEGEND:

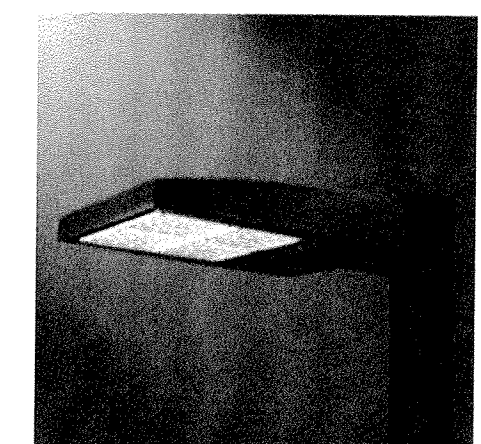
- PROPERTY LINE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CURB
- PROPOSED SIDEWALK
- PROPOSED WALL

LIGHTING NOTES:

- ALL LIGHTING SHOWN ON THIS PLAN SHALL BE DIRECTED AND/OR SHIELDED SO AS TO PRECLUDE OBJECTIONABLE GLARE FROM BEING OBSERVABLE FROM ADJOINING STREETS AND PROPERTIES.
- NO SUBSTITUTIONS OF THE SITE LUMINAIRES SHOWN ON THIS LIGHTING PLAN SHALL BE PERMITTED WITHOUT REVIEW AND AUTHORIZATION FROM THE DESIGN ENGINEER TO VERIFY CONFORMANCE WITH THE DESIGN INTENT.
- REFER TO LUMINAIRE SCHEDULE FOR CATALOG NUMBER.
- POLES TO BE DETERMINED AS REQUIRED BY LUMINAIRE MANUFACTURER.
- NO ADDITIONAL EQUIPMENT OR ATTACHMENTS SHALL BE PERMITTED ON LIGHT POLES WITHOUT APPROVAL OF DESIGN ENGINEER. EQUIPMENT INCLUDES BUT IS NOT LIMITED TO BANNERS, FLAGS, ADDITIONAL LUMINAIRES OTHER THAN SPECIFIED ON THIS PLAN, AND SECURITY CAMERAS.
- FINISH OF ALL LUMINAIRES AND POLES SHALL BE SELECTED BY OWNER.
- THIS LIGHTING PLAN SHOWS ARCHITECTURAL BUILDING MOUNTED LUMINAIRES. ACTUAL LUMINAIRES TO BE INSTALLED SHALL BE CONFIRMED WITH THE OWNER AND ARCHITECT AT THE TIME OF CONSTRUCTION. NO LIGHTING PLAN RECALCULATIONS ARE REQUIRED FOR BUILDING MOUNTED ARCHITECTURAL LUMINAIRES.
- CALCULATION VALUES SHOWN ON THIS PLAN ARE TAKEN ON A HORIZONTAL PLAIN AT GROUND LEVEL. TOPOGRAPHICAL INFORMATION HAS NOT BEEN ACCOUNTED FOR IN THESE CALCULATIONS.
- LIGHTING CALCULATIONS SHOWN ARE BASED UPON DATA FILES PROVIDED BY THE LUMINAIRE MANUFACTURER. ACTUAL PERFORMANCE OF LUMINAIRES AFTER INSTALLATION MAY VARY DUE TO UNCONTROLLABLE FIELD CONDITIONS.
- CONTRACTOR SHALL REVIEW WITH OWNER PRIOR TO ORDERING LUMINAIRES TO DETERMINE IF PHOTOCELL LIGHTING CONTROL IS DESIRED. AT A MINIMUM A TIMECLOCK SYSTEM SHALL BE UTILIZED FOR LIGHTING CONTROL. ADDITIONAL PHOTOCELL LIGHTING CONTROL IS RECOMMENDED TO ENSURE LUMINAIRES ARE ONLY ILLUMINATED AS AMBIENT LIGHT CONDITIONS WARRANT.



LIGHT POLE BASE DETAIL
NOT TO SCALE



EATON "GAN GALLEON"
LED AREA LUMINAIRE
TYPICAL POLE MOUNT AREA LUMINAIRE

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Goshen, N.Y. 10924
(845) 294-3700

DATE: FEBRUARY 26, 2020

REVISIONS:
JULY 21, 2020
OCTOBER 21, 2020
FEBRUARY 17, 2021

LIGHTING PLAN
PREPARED FOR

POMEGRANATE SOLUTIONS, LLC

TOWN OF CHESTER
ORANGE COUNTY, NEW YORK

CAD FILE:
172017-2-LIGHTING PLAN

Layout
Sheet No.: 7 OF 9

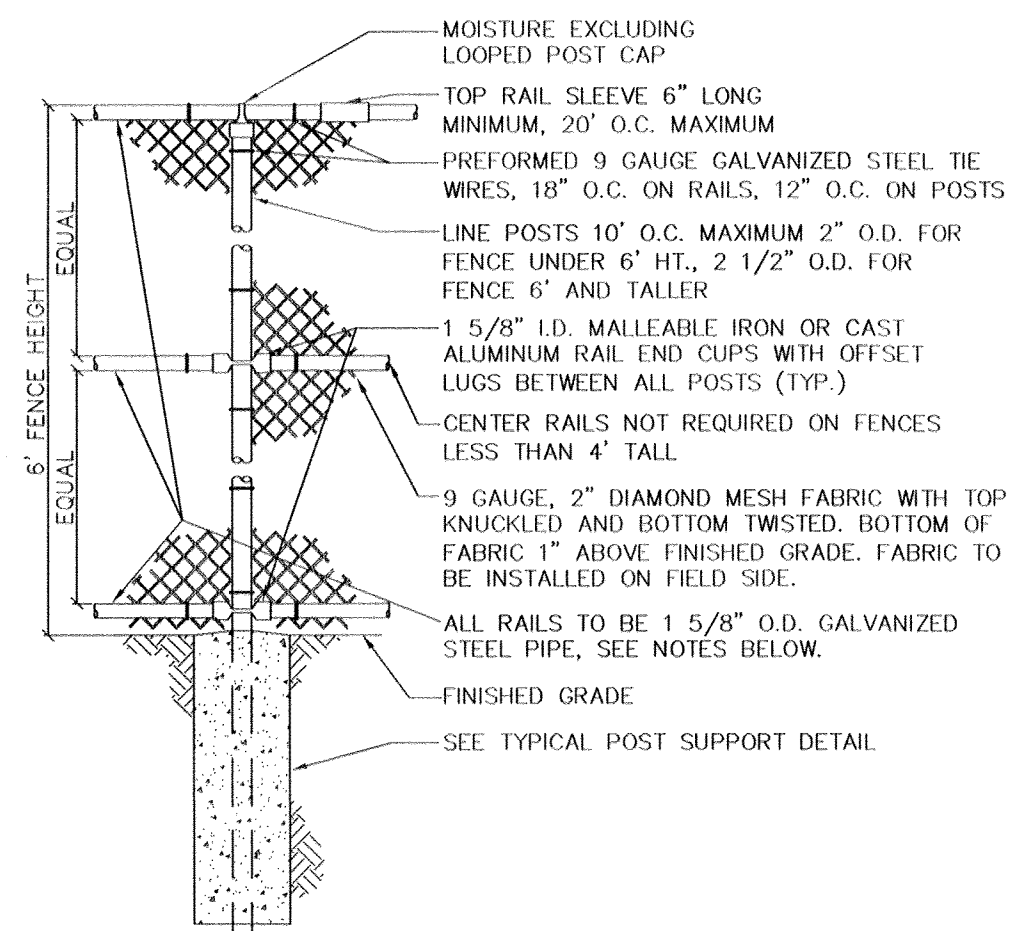
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B - 17 - 0117 - 01

Drawn By: CMF

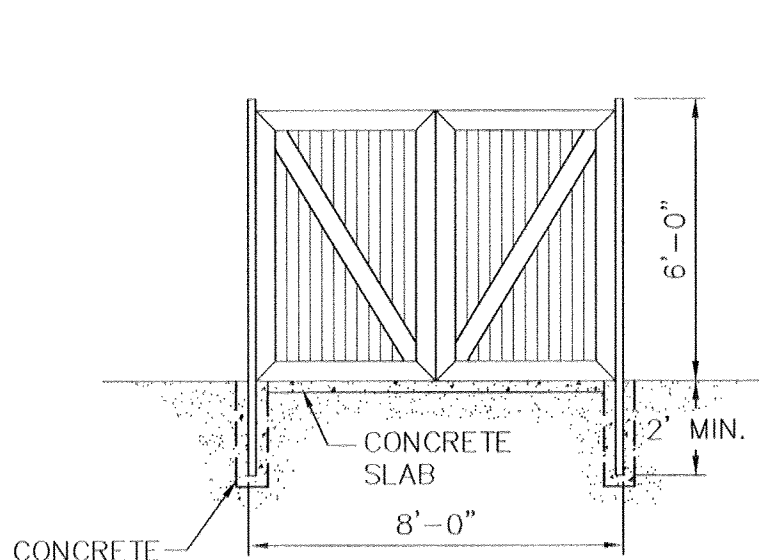
Checked By: JQ

Scale: 1" = 30'

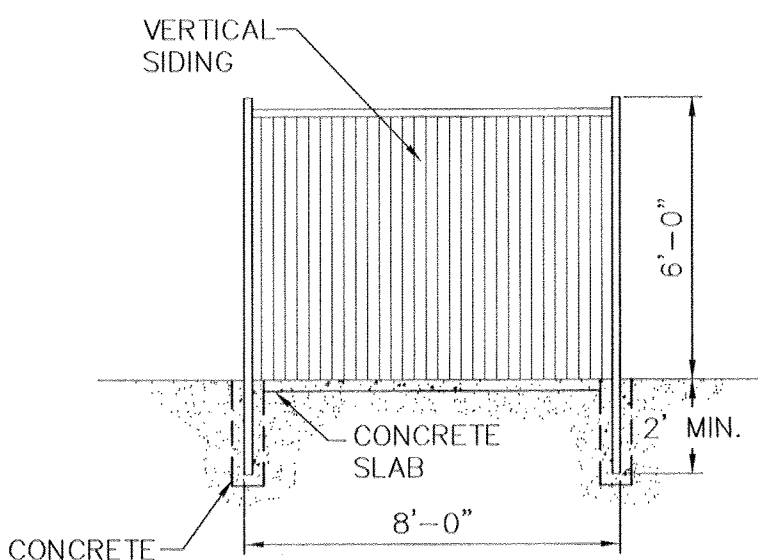
Tax Map No.: 17-1-83, 84, 85, 86



CHAIN LINK FENCE DETAIL
NOT TO SCALE



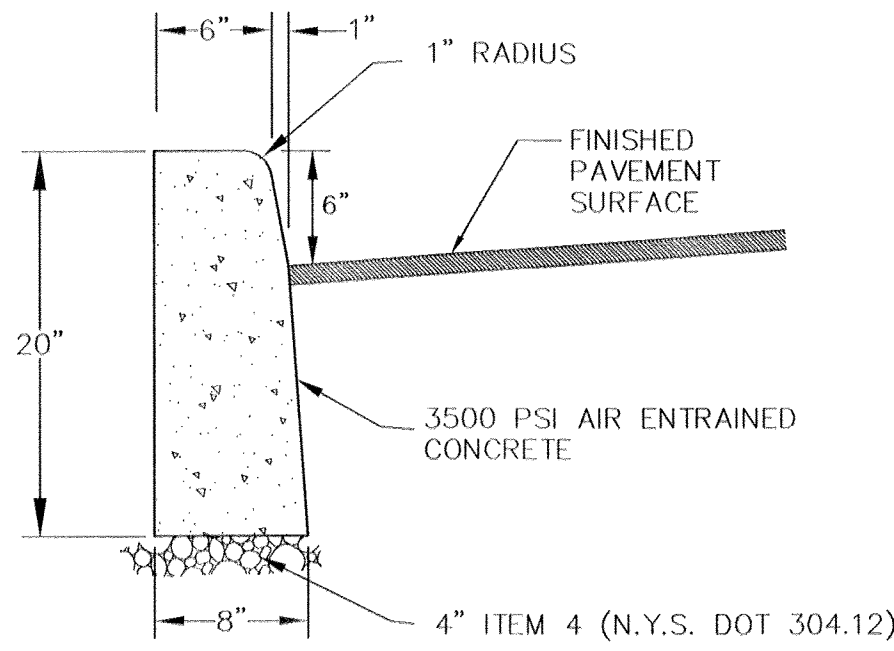
**PICK UP
ENTRANCE**



**ENCLOSED
SIDES**

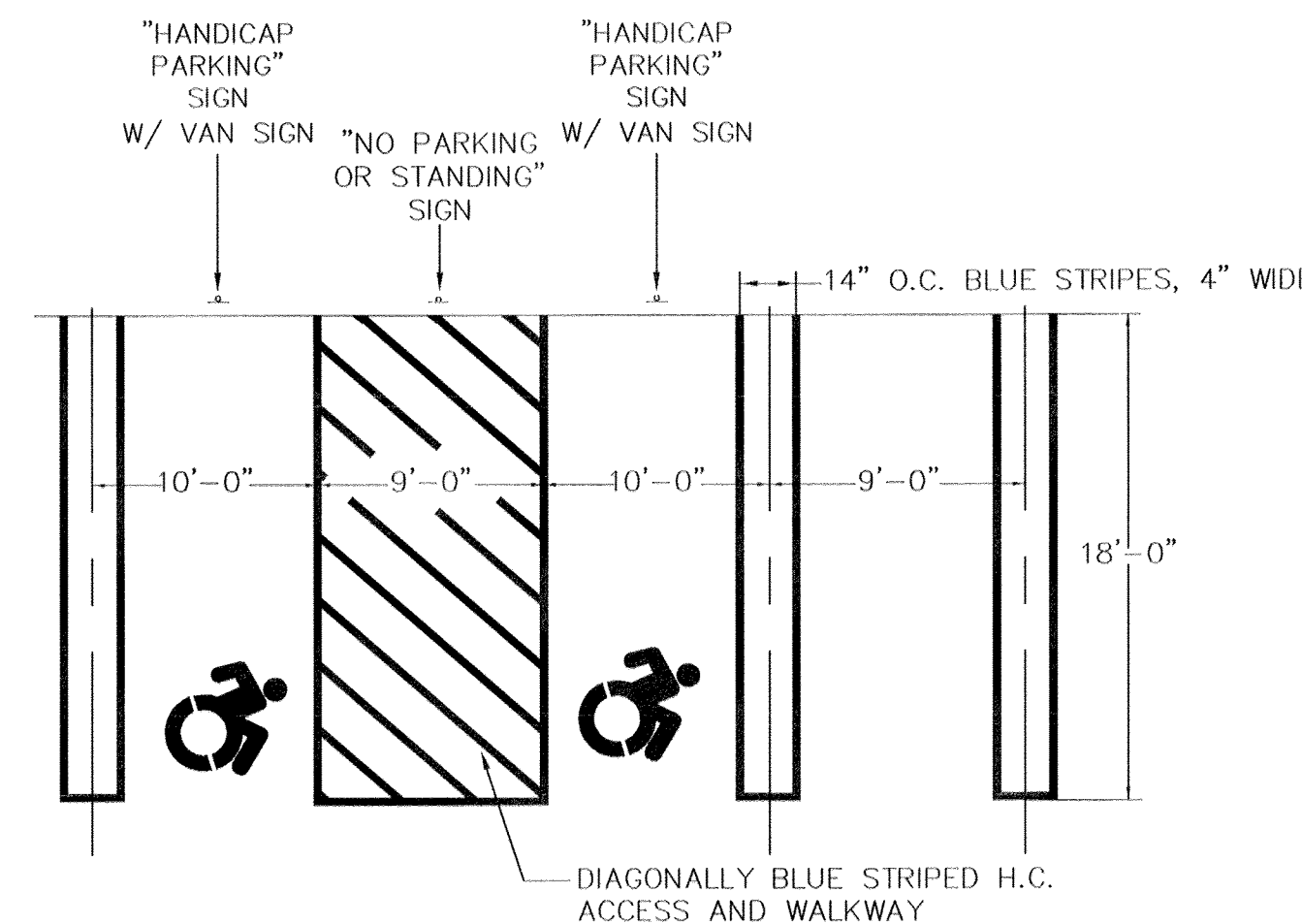
REFUSE STORAGE ENCLOSURE DETAIL

NOT TO SCALE

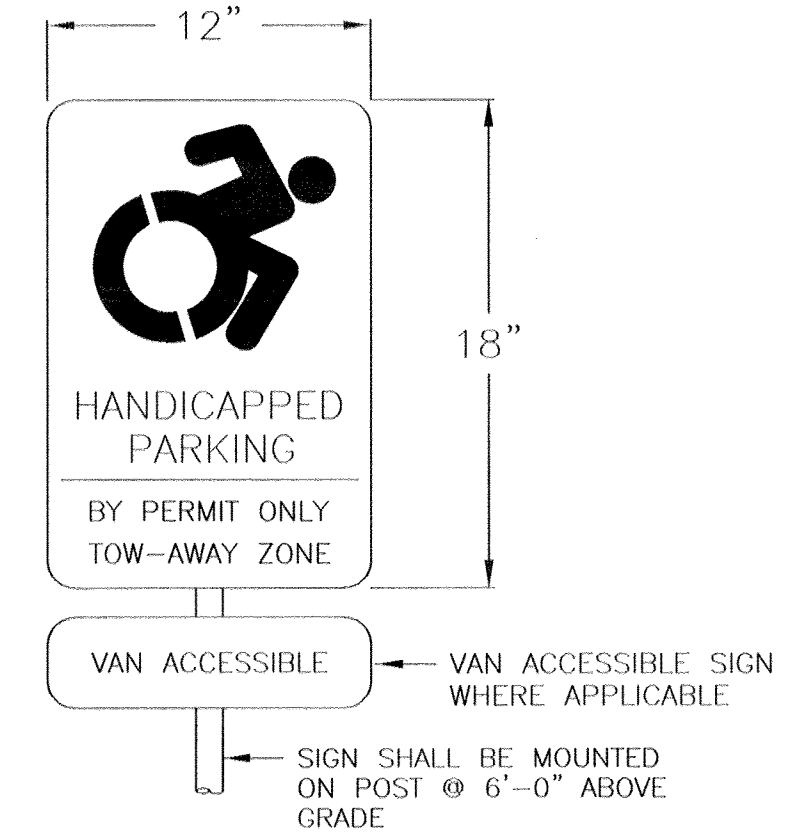


CONCRETE CURB

NOT TO SCALE



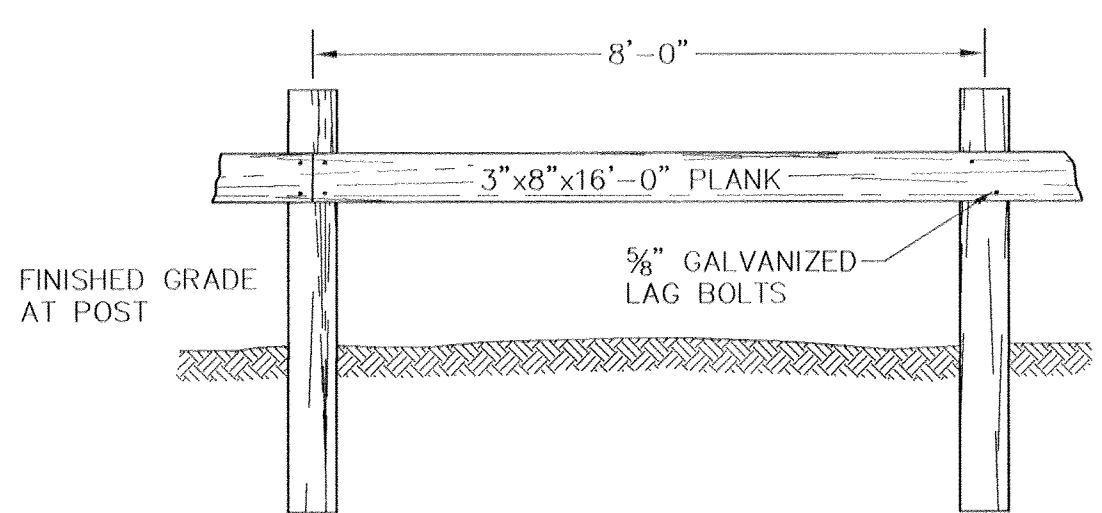
PARKING SPACE STRIPING DETAIL



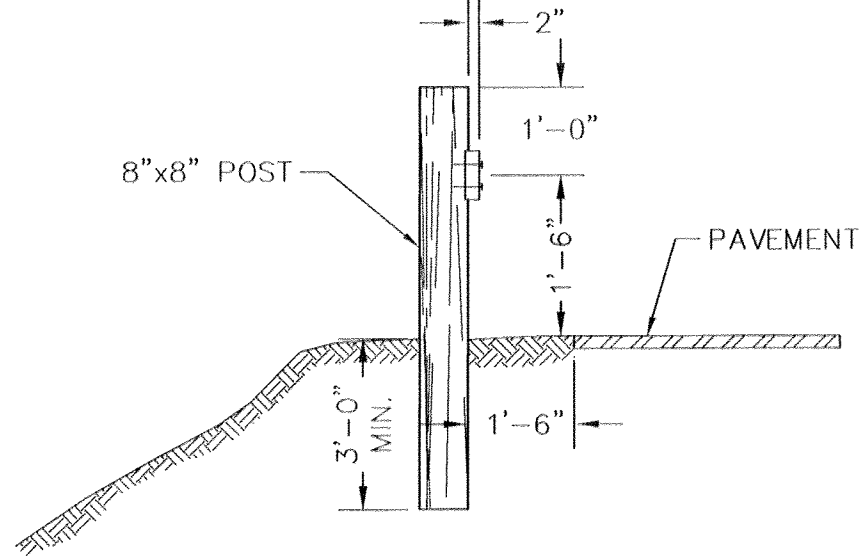
HANDICAP SIGN

SIGN & STRIPE DETAILS

NOT TO SCALE



ELEVATION

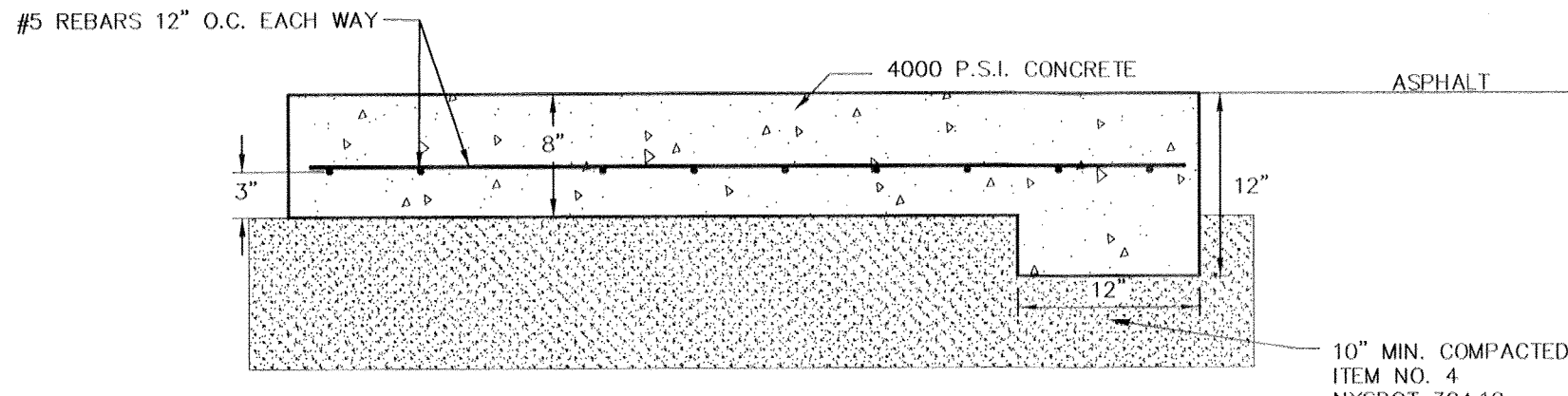


SECTION

NOTE:
ALL WOOD TO BE PRESSURE TREATED.

WOOD GUIDE RAIL

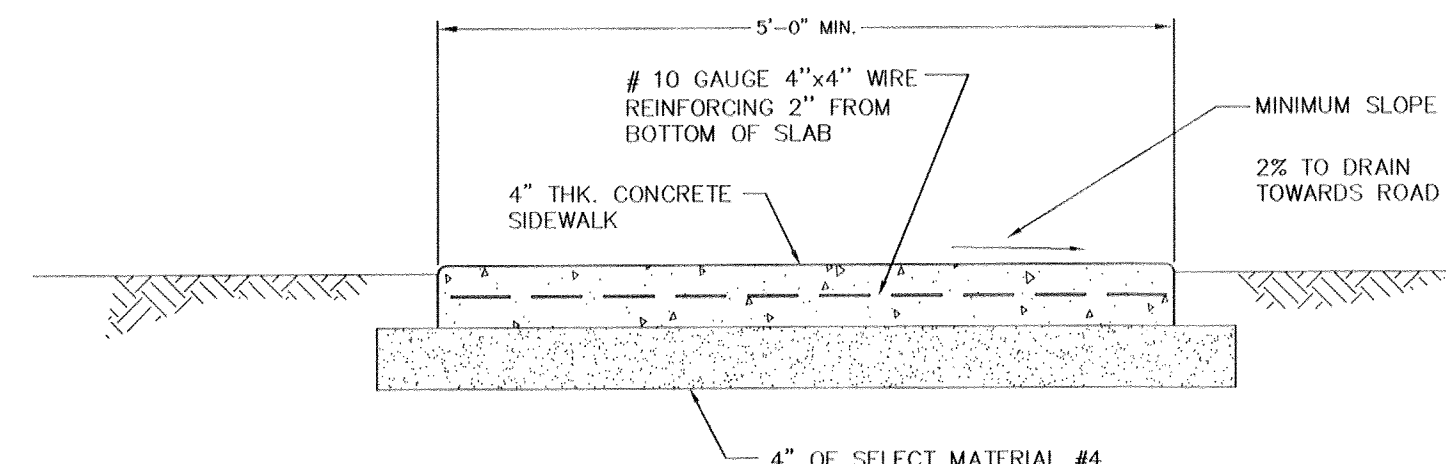
NOT TO SCALE



- NOTES:
1. CONCRETE APRON SHALL BE INCREASED TO 12" THICKNESS / 12" WIDE WHERE APRON ADJOINS ASPHALT.
 2. ITEM NO. 4 SUBBASE TO BE COMPACTED TO 95% PROCTOR.
 3. CONCRETE SHALL BE 4000 PSI 5% AIR ENTRAINED.
 4. EXPANSION JOINTS OF 3/16" CELLULOSE OR SIMILAR APPROVED MATERIAL AND CONTRACTION JOINTS 1" DEEP SHALL BE PLACED. SEE CONCRETE APRON JOINT DETAIL FOR PLACEMENT.
 5. CONCRETE SHALL BE CURED AND SEALED. REFER TO PENSKE SPECIFICATIONS FOR REQUIREMENT.
 6. BROOM FINISH TOP SURFACE.

DUMPSTER ENCLOSURE CONCRETE PAD DETAIL

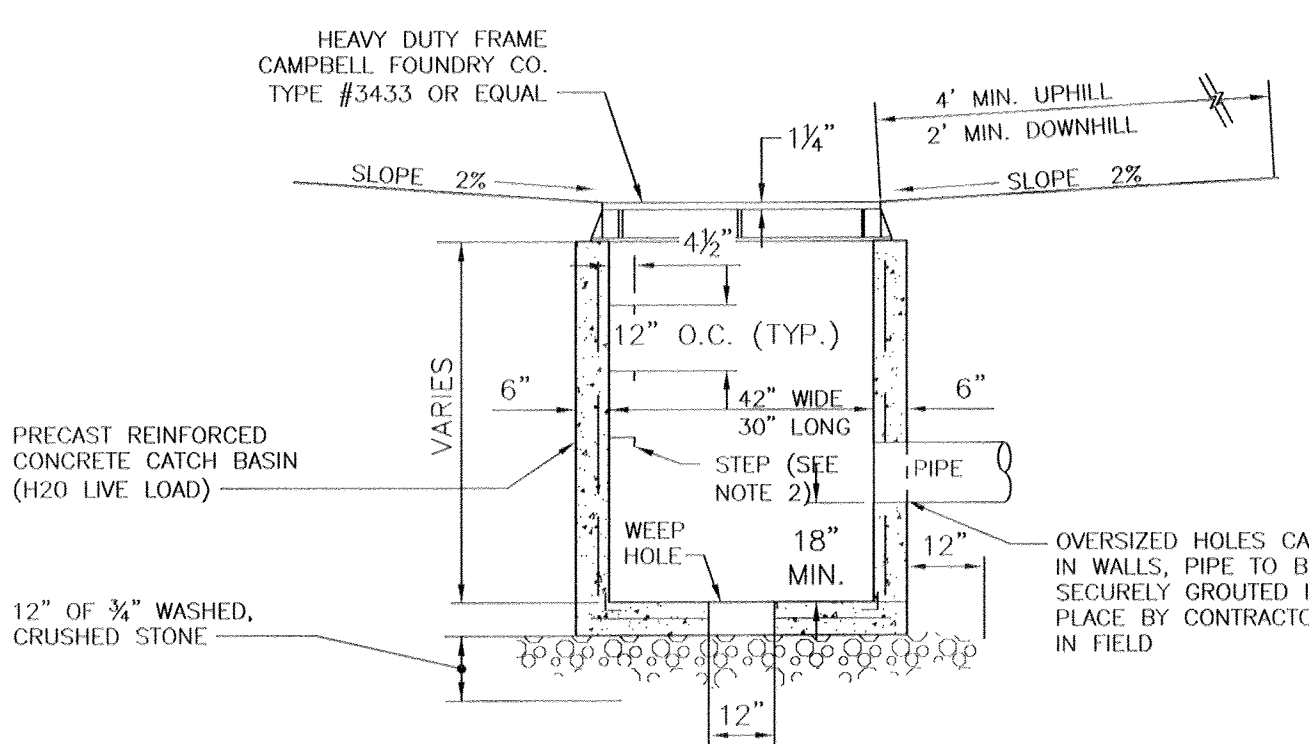
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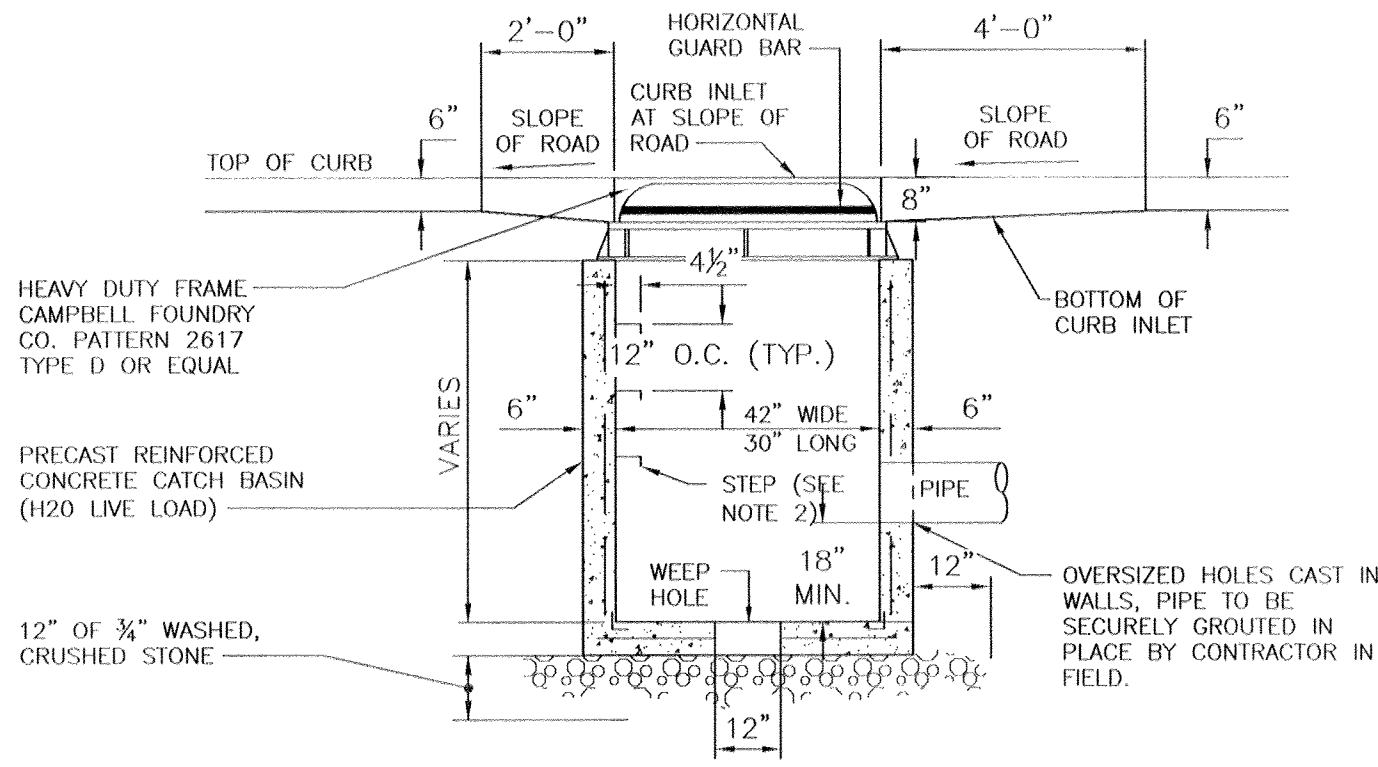
- NOTES:
1. EXPANSION JOINTS OF 3/16" CELLULOSE OR SIMILAR APPROVED MATERIAL SHALL BE PLACED AT 10' INTERVALS.
 2. CONTRACTION JOINTS 1" DEEP HAVING 1/4" RADIUS EDGES SHALL BE PLACED AT 5'-0" INTERVALS IN SIDEWALK.
 3. EDGES SHALL HAVE 1/2" RADIUS.
 4. USE 4000 PSI CONCRETE.
 5. BROOM FINISH TOP SURFACE.

STANDARD SIDEWALK DETAIL

NOT TO SCALE



FLAT TOP CATCH BASIN

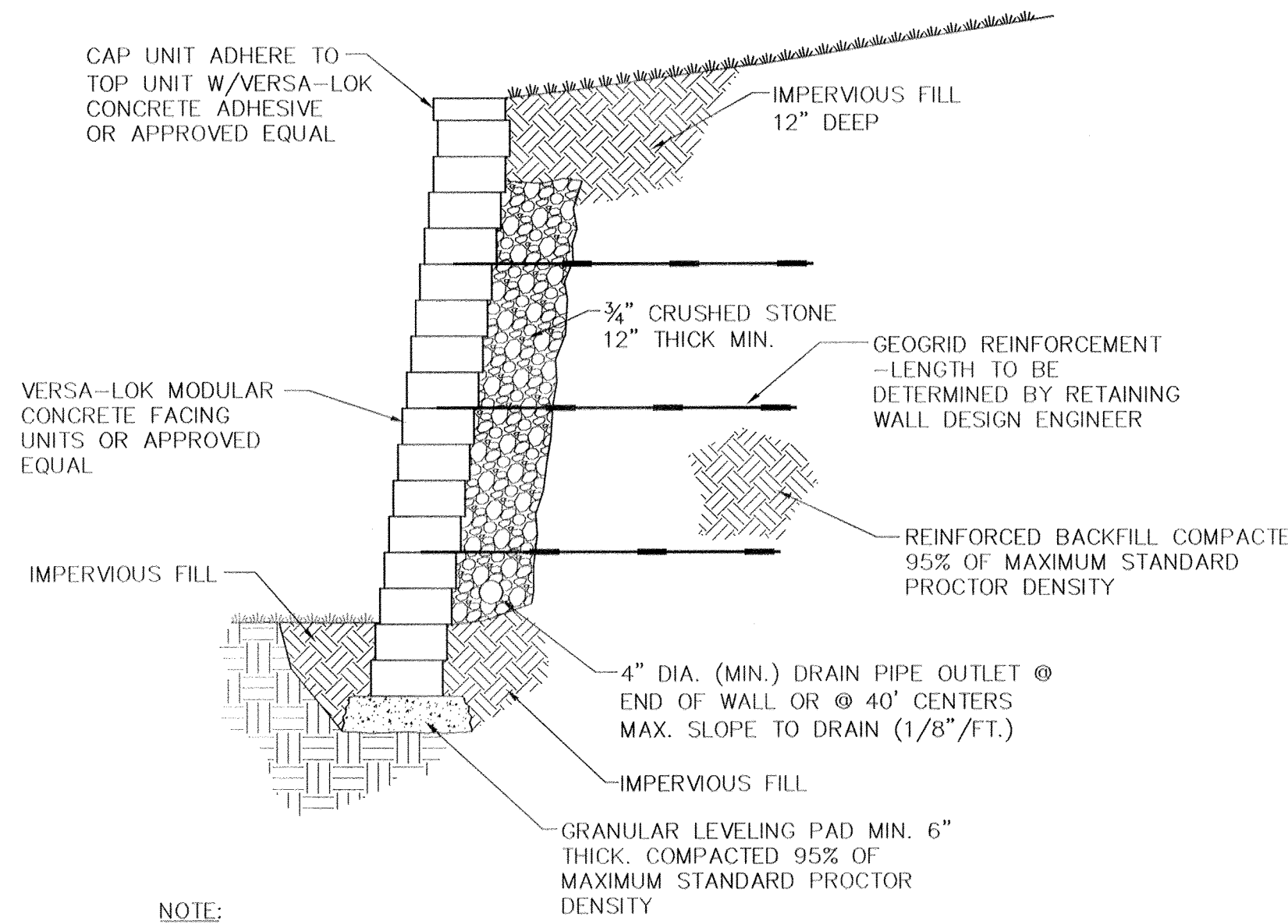


CURB TOP CATCH BASIN

CATCH BASINS

NOT TO SCALE

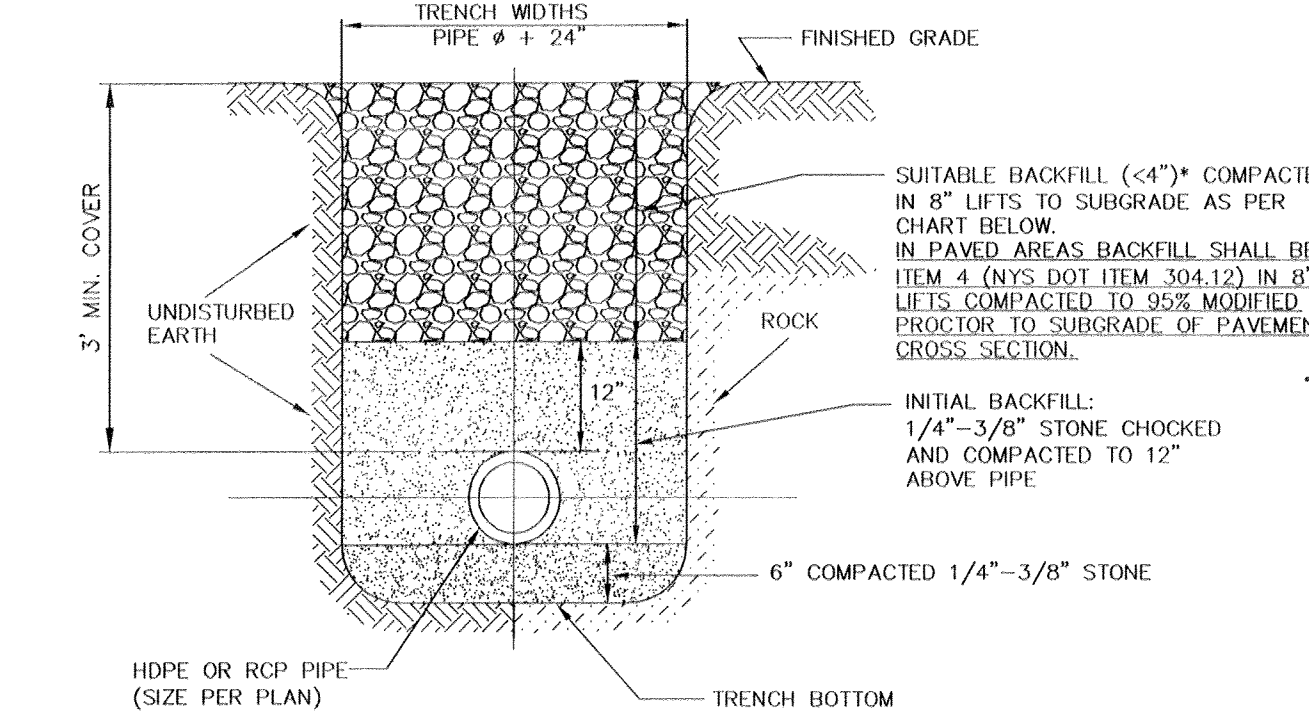
- NOTES:
1. CONCRETE STRENGTH: 4000 P.S.I. @ 28 DAYS.
 2. STEPS TO BE COPOLYMER POLYPROPYLENE PLASTIC WITH 1/2" GRADE 60 STEEL REINFORCEMENT
 3. THE ENDS OF ALL PIPES SHALL BE CUT OFF FLUSH WITH THE INSIDE SURFACE OF THE CATCH BASIN.



- NOTE:
1. WALL SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 2. CONTRACTOR TO PROVIDE ACTUAL WALL DESIGN SIGNED AND SEALED BY NEW YORK STATE LICENSED ENGINEER FOR REVIEW AND APPROVAL PRIOR TO WALL CONSTRUCTION.

TYPICAL SECTION-REINFORCED RETAINING WALL

NOT TO SCALE



EARTH OR ROCK EXCAVATION

ACCEPTABLE BACKFILL MATERIAL & COMPACTION REQUIREMENTS				
DESCRIPTION	ASTM D2321	ASTM D2487	AASHTO M43	MINIMUM STANDARD PROCTOR DENSITY %
GRADED OR CRUSHED, CRUSHED STONE, GRAVEL	CLASS I	-	5	DUMPED
SAND, GRAVELS AND GRAVEL/SAND MIXTURES; LITTLE OR NO FINES	CLASS II	GW GP SW SP	57 6	85%
SILTY OR CLAYEY GRAVELS, GRAVEL/SAND/SILT OR GRAVEL AND CLAY MIXTURES; SILTY OR CLAYEY SANDS, SAND/CLAY OR SAND/SILT MIXTURES	CLASS III	GM GC SM SC	GRAVEL AND SAND (<10% FINES)	90%

NOTE: INORGANIC SILTS, CLAYS, AND OTHER CLASS IV MATERIAL SHALL NOT PERMITTED.
* BACKFILL SHALL CONTAIN NO STONES OVER 4" IN ANY DIMENSION.

STORM SEWER TRENCH CROSS SECTION

NOT TO SCALE

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CONSTRUCTION DETAILS
PREPARED FOR

POMEGRANATE SOLUTIONS, LLC

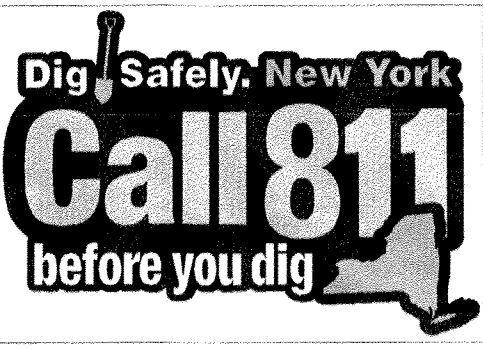
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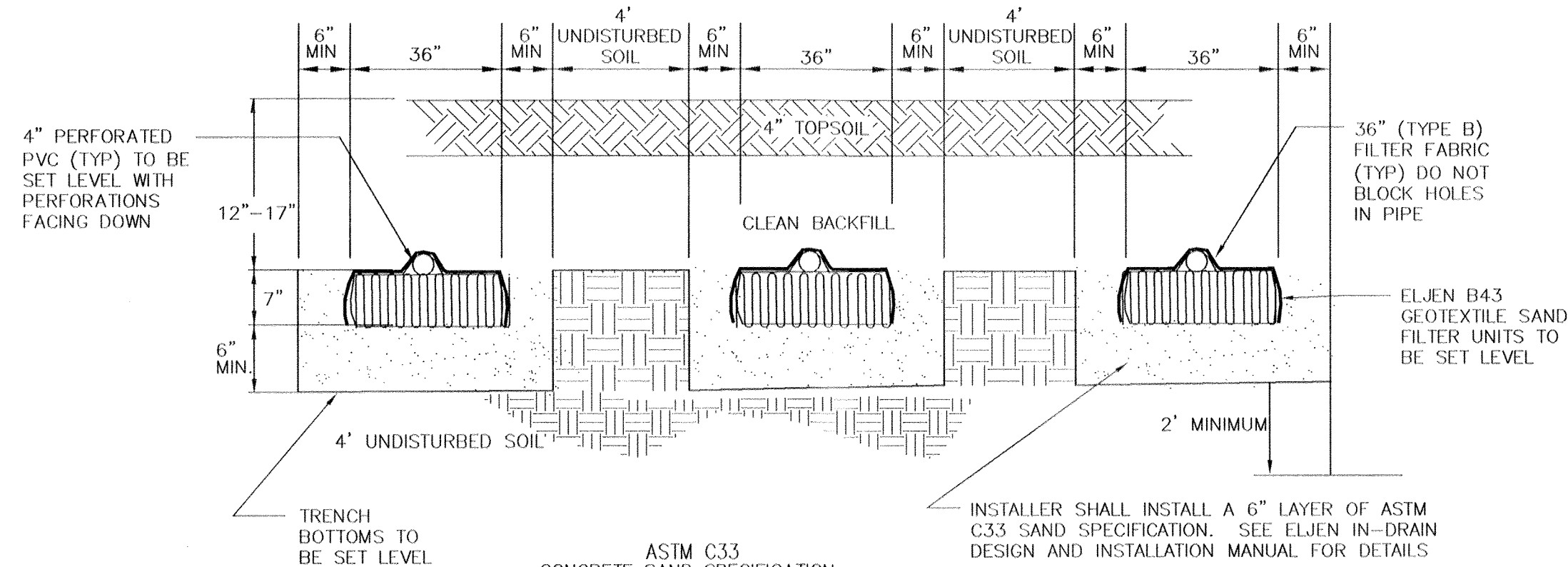
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Checked By: JQ
Scale: N.T.S.
Tax Map No.: 17-1-83, 84, 85, 86

Date: FEBRUARY 26, 2020
Revisions:
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CAB File: 170117-DETAILS.DWG
Layout: DETAILS
Sheet No.: 8 OF 9
Drawing No.: C30
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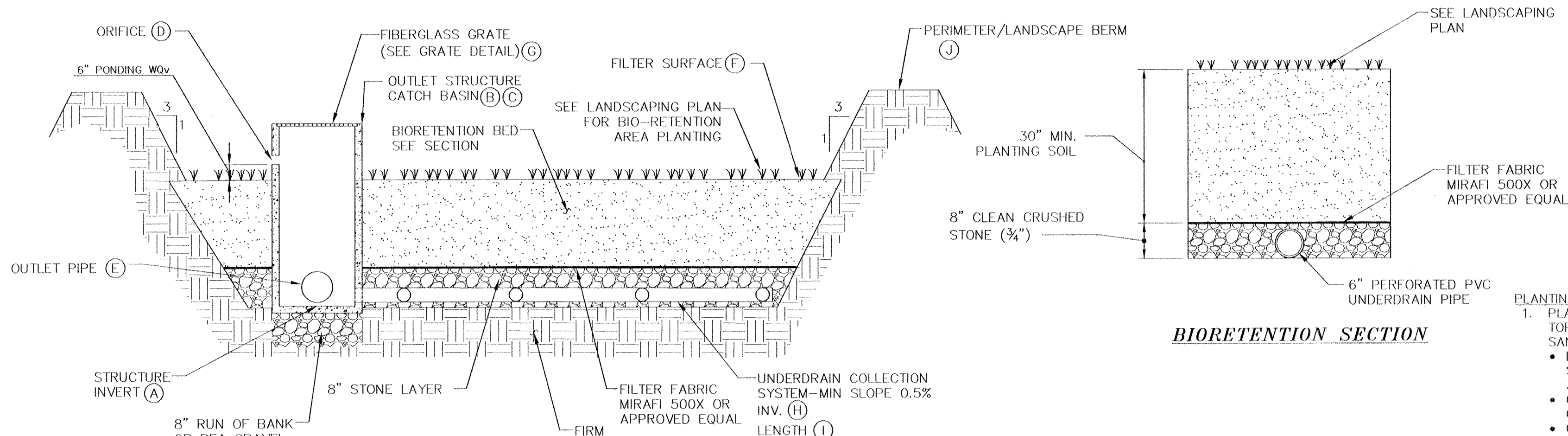


SIEVE SIZE	PERCENT PASSING BY WEIGHT	
	MINIMUM	MAXIMUM
3/8 INCH	100	100
NO. 4	95	100
NO. 8	80	100
NO. 16	50	85
NO. 30	25	60
NO. 50	5	30
NO. 100	0	10
NO. 200 (WET)	0	5

TYPICAL "ELJEN" TRENCH CROSS SECTION DETAIL
NOT TO SCALE

SYSTEM DESIGN

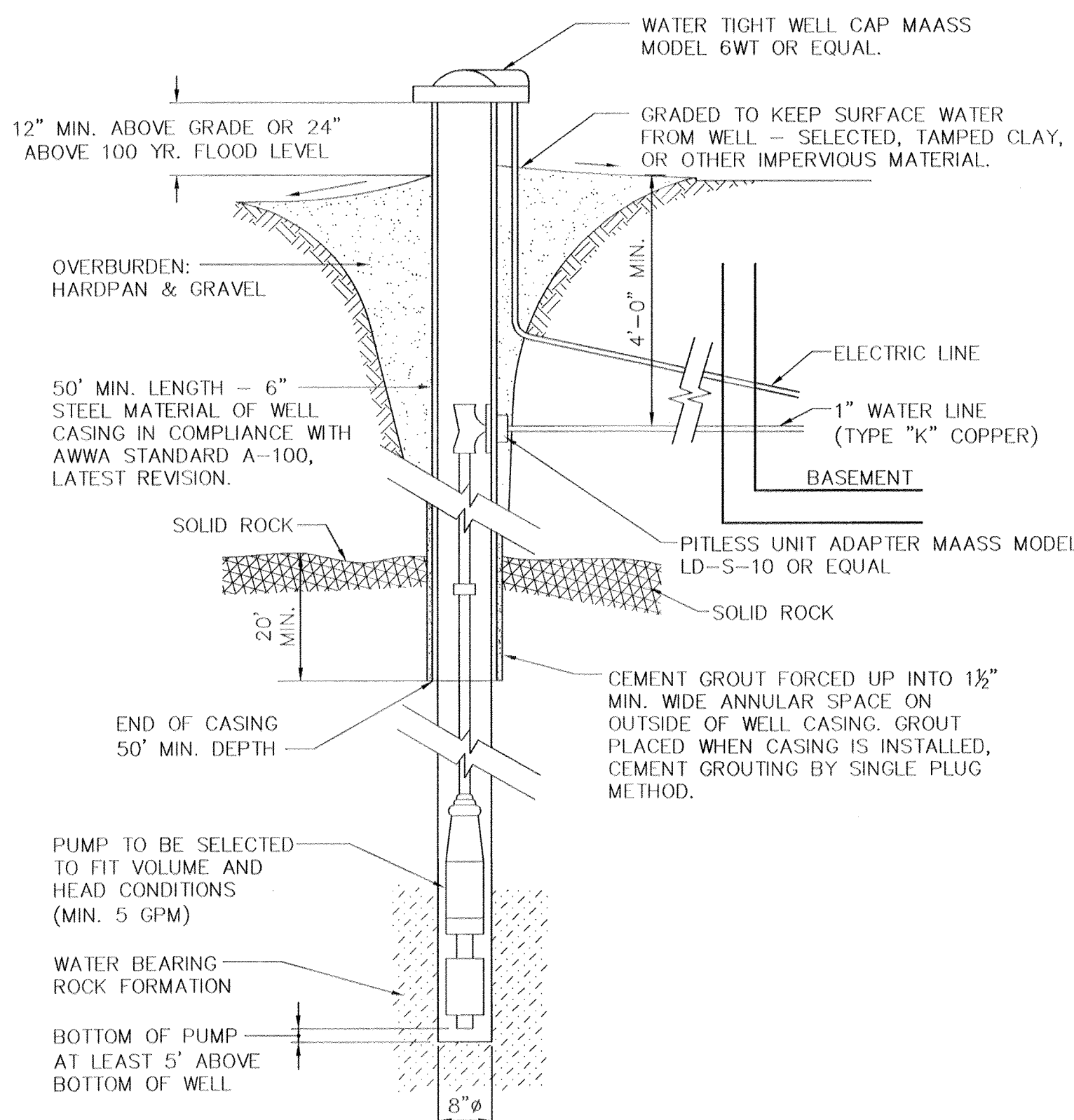
SYSTEM FLOWS AND DESIGN FOR NEW SDS:
FLOW RATE FOR WAREHOUSE/OFFICE = 1,110 GPD
20% WATER SAVINGS = 222 GPD
1,110 GPD = 222 GPD = 878 GPD (DESIGN VOLUME)
DESIGN PERCOLATION RATE: 21-30 MINUTES/INCH
DESIGN APPLICATION RATE: 0.6 GAL/DAY/SQUARE FOOT
APPLICATION RATE (ELJEN): 6 SQ FT/LIN. FT. OF TRENCH
TOTAL SQUARE FOOTAGE REQ'D: 878 GPD / 0.6 GPD/SQ FT = 1464 SQ FT
ABSORPTION FIELD TRENCH LENGTH REQUIRED: 1,464 GPD/6 SQ FT PER LIN. FT. = 244 FT OF TRENCH
ABSORPTION FIELD TRENCH PROVIDED: 5 LATERALS @ 52 FEET = 260 LINEAR FEET



SECTION
BIO-RETENTION AREA DETAIL
NOT TO SCALE

BIORETENTION AREA MAINTENANCE REQUIREMENTS:
INSPECTION SHALL BE MADE WEEKLY BY A LICENSED PROFESSIONAL AND AFTER EVERY 1/2" RAINFALL EVENT BY THE OWNER OR CONTRACTOR DURING CONSTRUCTION. DURING THE FIRST GROWING SEASON INSPECTIONS SHALL BE CONDUCTED MONTHLY AND BI ANNUALLY THEREAFTER. THE FOLLOWING TASKS SHALL BE PERFORMED AS NEEDED:

1. REMOVAL OF ACCUMULATED SEDIMENT AND CLEANING AND/OR RESTORATION OF THE FILTER BED AREAS WHENEVER ACCUMULATED SEDIMENT REACHES A DEPTH OF 1 INCH.
2. RESTORATION OF ANY DISTURBED PLANT MATERIAL AND ANY ERODED EMBANKMENTS. REPLACEMENT OF PROPOSED PLANTS SHALL OCCUR IF MORE THEN 50% OF THE COVERAGE OF THE FACILITY IS NOT ACHIEVED.
3. REMOVAL OF ACCUMULATED DEBRIS WITHIN THE FILTER BED AREAS AND AT ALL INLET AND OUTFALL STRUCTURES.
4. ANNUAL MOWING (EARLY WINTER) OF THE BASINS. TRIMMING AND PRUNING OF BUSHES. REMOVAL OF ANY FALLEN TREES OR LIMBS.
5. WHEN THE FILTERING CAPACITY OF THE FILTER DIMINISHES SUBSTANTIALLY (I.E., WHEN WATER PONDS ON THE SURFACE OF THE FILTER BED FOR MORE THAN 48 HOURS), THE TOP FEW INCHES OF DISCOLORED MATERIAL SHALL BE REMOVED AND SHALL BE REPLACED WITH FRESH MATERIAL. THE REMOVED SEDIMENTS SHALL BE DISPOSED IN AN ACCEPTABLE MANNER (I.E., LANDFILL).
6. REFER TO LANDSCAPING PLANS FOR PLANTING REQUIREMENTS. IF FOR ANY REASON A CONFLICT OF PLANT MATERIAL OR PLANT MAINTENANCE SHOULD OCCUR, THE LANDSCAPE PLANS ARE TO TAKE PRECEDENCE.



TYPICAL WELL DETAIL
NOT TO SCALE

- NOTES:
1. MINIMUM 5 GPM WELL YIELD.
 2. ANTICIPATED DEPTH OF WELL APPROXIMATELY 300'±.
 3. THE MINIMUM DIAMETER OF THE WELL DRILL HOLES SHALL BE 6" IN DIAMETER.

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Drawing No.: B - 17 - 0117 - 01		Drawing No.: C30	