

SITE PLAN FOR POMEGRANATE SOLUTIONS, LLC

TOWN OF CHESTER
ORANGE COUNTY, NEW YORK

GENERAL NOTES:

1. TAX MAP DESIGNATION: SECTION 17, BLOCK 1, LOT 83-86
2. TOTAL AREA: 8.726± ACRES
3. DEED REFERENCE: LIBER 14287 PAGE 537 OF DEEDS AS RECORDED IN THE ORANGE COUNTY CLERK'S OFFICE.
4. ZONING DISTRICT: IP - INDUSTRIAL PARK
5. EXISTING LOTS TO BE CONSOLIDATED
6. TOTAL PROPOSED BUILDING FOOTPRINT SQUARE FOOTAGE: 120,000± SQ. FT.
7. LOTS TO BE SERVICED BY ON-SITE INDIVIDUAL WELL FOR POTABLE WATER SERVICE.
8. LOT TO BE SERVICED BY ON-SITE PRIVATE SUBSURFACE SEWAGE DISPOSAL SYSTEM.
9. ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
10. THE DESIGN AND LOCATION OF SANITARY FACILITIES (WATER AND SEWER SYSTEMS) SHALL NOT BE CHANGED.
11. THE PROPERTY OWNER SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES.
12. SEWAGE DISPOSAL SYSTEMS SHALL NO LONGER BE CONSTRUCTED OR USED WHEN PUBLIC FACILITIES BECOME AVAILABLE. CONNECTION TO THE PUBLIC SEWER SYSTEM IS REQUIRED WITHIN 1 YEAR OF AVAILABILITY.
13. A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER (OR OTHER DESIGN PROFESSIONAL AS ALLOWED BY THE NYS EDUCATION DEPARTMENT) SHALL INSPECT THE SANITARY FACILITIES AT THE TIME OF CONSTRUCTION. THE ENGINEER SHALL CERTIFY TO THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT ANY SEPTIC TANK JOINTS HAVE BEEN SEALED AND TESTED FOR WATER TIGHTNESS.
14. NO SITE PREPARATION OR CONSTRUCTION SHALL COMMENCE UNTIL ALL REQUIRED PERMITTING AND APPROVALS HAVE BEEN OBTAINED AND THE APPROVED CLEARING LIMIT BOUNDARY HAS BEEN DELINEATED WITH CONSTRUCTION FENCING THROUGHOUT THE SITE.
15. ALL EXISTING STRUCTURES AND DEBRIS ON SITE SHALL BE REMOVED.
16. MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - A. NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", 2008; AS SUPPLEMENTED.
 - B. CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.
 - C. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - D. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
18. GAS, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
19. TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT TOP COURSE.
20. UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
21. STORM SEWER PIPING SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) N-12 OR APPROVED EQUAL AS NOTED. PROPER PIPE COVERAGE PER MANUFACTURER'S SPECIFICATIONS SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
22. TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD, LATEST REVISION).
23. FINAL BUILDING FOOTPRINT DIMENSIONS SHALL BE FURNISHED ON THE ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS AND REQUIREMENTS OF THIS SITE PLAN.
24. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED AND ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED.
25. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO THEIR SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIAL, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
26. THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
27. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT LANC & TULLY ENGINEERING AND SURVEYING, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OF CORRELATED ITEMS NOT RECEIVED.
28. NEITHER THE PROFESSIONAL ACTIVITIES OF LANC & TULLY ENGINEERING AND SURVEYING, P.C., NOR THE PRESENCE OF LANC & TULLY ENGINEERING AND SURVEYING, P.C. OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. LANC & TULLY ENGINEERING AND SURVEYING, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
29. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENAL TIES ASSESSED WITH RESPECT TO ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
28. THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

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LANC & TULLY ENGINEERING AND SURVEYING, P.C.		P.O. Box 887, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700	
COVER SHEET FOR		Date: FEBRUARY 26, 2020 Revision:	
POMEGRANATE SOLUTIONS, LLC		MAP File: 170117-SITE PLAN.DWG Sheet No.: 1 OF 4 Drawing No.: CSD	
TOWN OF CHESTER ORANGE COUNTY, NEW YORK		Tax Map No.: 17-1-83, 84, 85, 86 B-17-0117-01	
Drawn By: CMF	Checked By: JQ	Scale: 1" = 60'	Tax Map No.: 17-1-83, 84, 85, 86



LOCATION PLAN

1 INCH = 1000 FEET

SITE PLAN SHEET INDEX:

1. COVER SHEET
2. EXISTING CONDITIONS
3. CONCEPTUAL SITE PLAN
4. GRADING & UTILITY PLAN

RECORD

OWNER/APPLICANT:

POMEGRANATE SOLUTIONS, LLC
122 PENN STREET
BROOKLYN, NY 11211

L. 14287 P. 537
17 - 1 - 83
17 - 1 - 84
17 - 1 - 85
17 - 1 - 86

FILED MAP 10111
LOTS 4, 5, 6 & 7

AREAS:

TAX LOT 17 - 1 - 83	2.506± AC.
TAX LOT 17 - 1 - 84	2.146± AC.
TAX LOT 17 - 1 - 85	2.044± AC.
TAX LOT 17 - 1 - 86	2.030± AC.
TOTAL:	8.726± AC.

OVERALL PLAN

1 INCH = 60 FEET

GRAPHIC SCALE



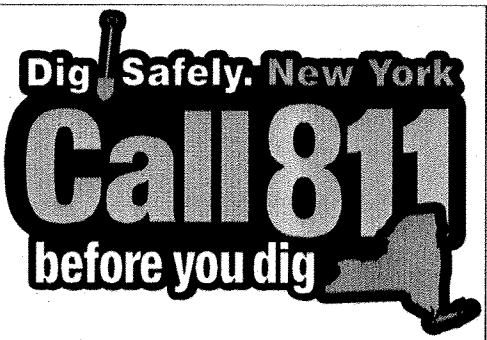
(IN FEET)
1 inch = 60 ft.

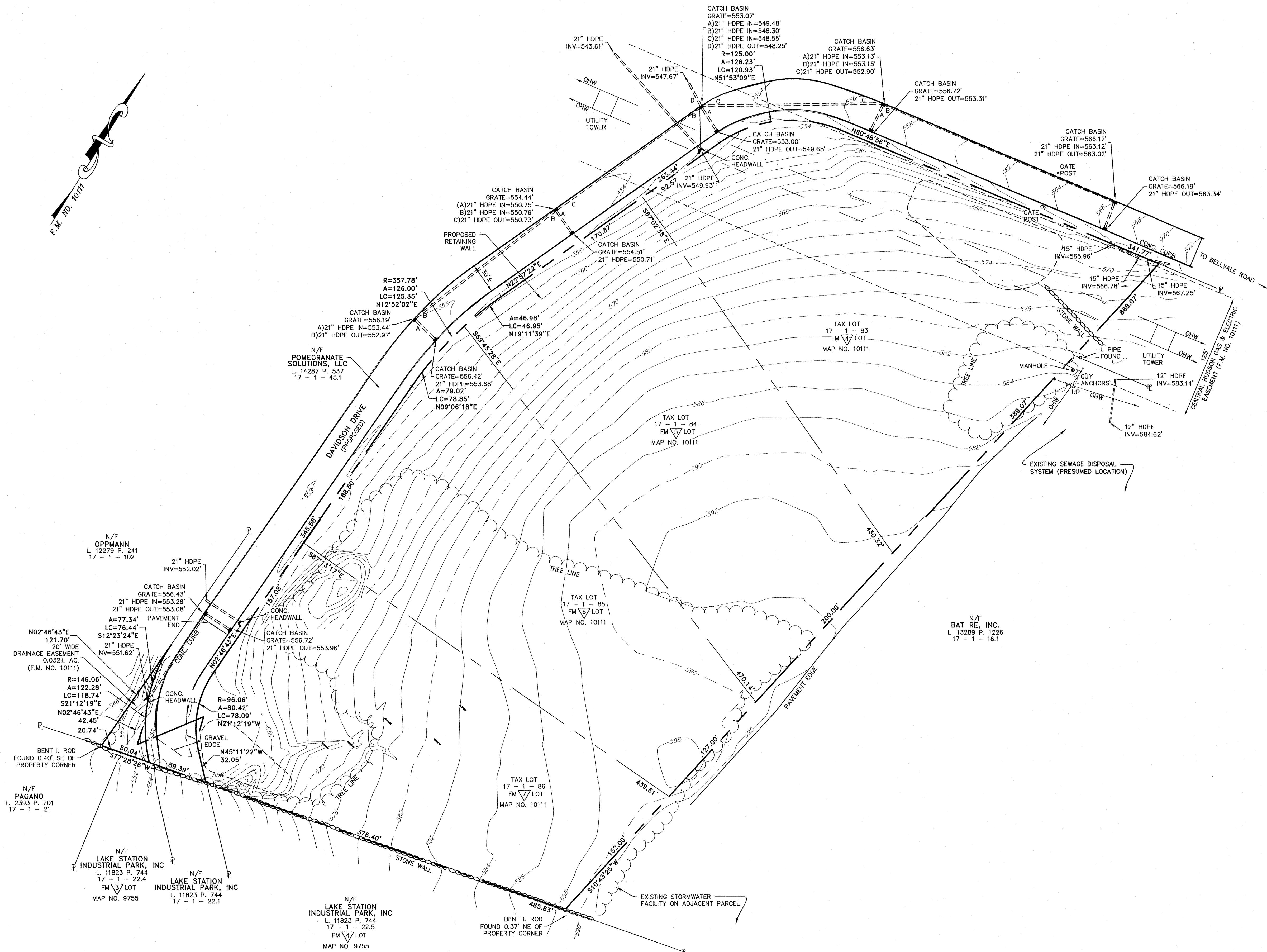
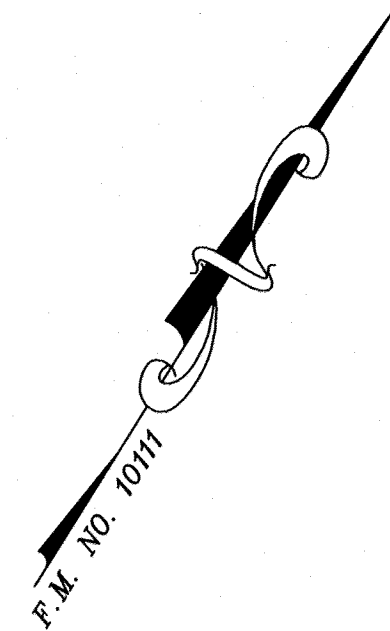
LEGEND:

- PROPERTY LINE
- ADJOINING PARCEL PROPERTY LINES
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CURB
- PROPOSED SIDEWALK
- PROPOSED WALL

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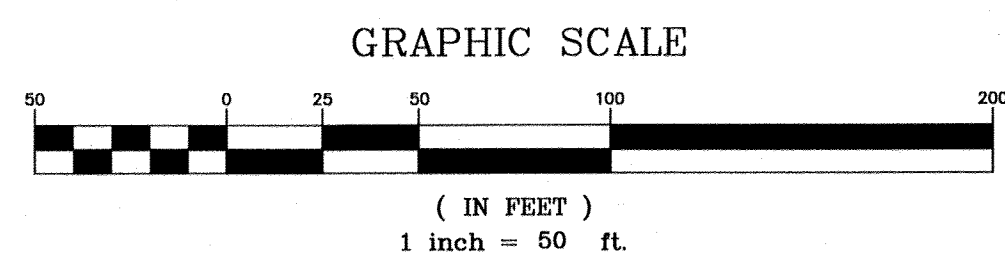
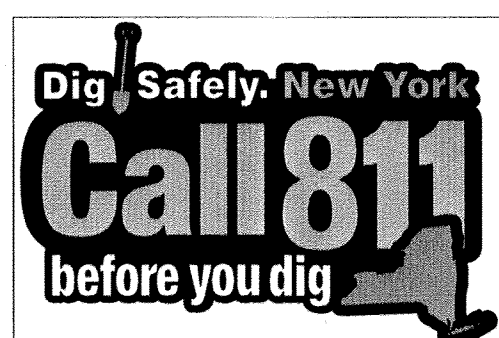


SURVEY NOTES:

1. THIS SURVEY IS SUBJECT TO ANY FINDINGS OF A TITLE SEARCH.
2. SUBSURFACE STRUCTURES AND UTILITIES NOT VISIBLE AT THE TIME OF SURVEY HAVE NOT BEEN SHOWN.
3. REFERENCES:
MAP ENTITLED "FINAL PLAN SUGAR LOAF INDUSTRIAL PARK, TOWN OF CHESTER, ORANGE COUNTY, NEW YORK," DATED MAY 2, 1988, LAST REVISED SEPTEMBER 27, 1990 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON DECEMBER 20, 1990, S FILED MAP NO. 10111.
MAP ENTITLED "LAKE STATION INDUSTRIAL PARK, FINAL SUBDIVISION PLAT, TOWN OF CHESTER, ORANGE COUNTY, NEW YORK," DATED FEBRUARY 28, 1989, LAST REVISED OCTOBER 30, 1989 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON DECEMBER 8, 1989, AS FILED MAP NO. 9755.
MAP ENTITLED "SUBDIVISION OF PROPERTY FOR HEINRICH & MAGDALENE KOCH, TOWN OF CHESTER, ORANGE COUNTY, NEW YORK," DATED AUGUST 25, 1978, LAST REVISED AUGUST 30, 1978 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 8, 1978, AS FILED MAP NO. 4633.
MAP ENTITLED "SUBDIVISION OF PROPERTY FOR HERBERT & MILA KANIA, TOWN OF CHESTER, ORANGE COUNTY, NEW YORK, DATED MARCH 6, 1984 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 26, 1984, AS FILED MAP NO. 6733.
4. CONTOURS SHOWN ARE THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED BY LANC & TULLY ENGINEERING AND SURVEYING, P.C. ELEVATIONS SHOWN ARE BASED ON APPROXIMATE USGS DATUM.

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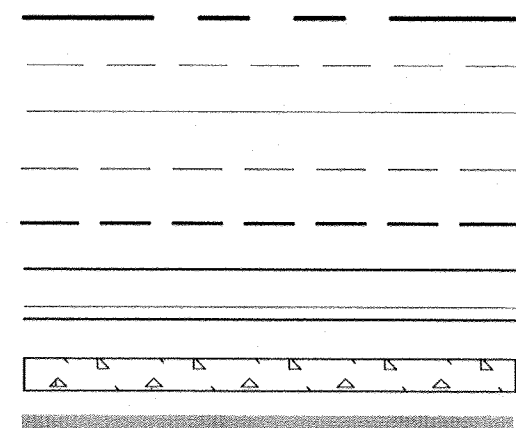


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L&T LANC & TULLY ENGINEERING AND SURVEYING, P.C.		P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700	
EXISTING CONDITIONS PREPARED FOR		Date: FEBRUARY 26, 2020 Revisions:	
POMEGRANATE SOLUTIONS, LLC TOWN OF CHESTER ORANGE COUNTY, NEW YORK		CAD File: 170117 SITE PLAN.DWG Layout: EXISTING Sheet No.: 2 OF 4	
		Drawn By: CMF Checked By: JQ Scale: 1" = 50' Tax Map No.: 17-1-83, 84, 85, 86 Drawing No.: C3D B - 17 - 0117 - 01	

LEGEND:

PROPERTY LINE
EXISTING CONTOUR MAJOR
EXISTING CONTOUR MINOR
PROPOSED YARD
PROPOSED PARKING SETBACK
PROPOSED EDGE OF PAVEMENT
PROPOSED CURB
PROPOSED SIDEWALK
PROPOSED WALL



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GENERAL NOTES:

- TAX MAP DESIGNATION: 17-1-83, 84, 85, 86
- TOTAL AREA: 8.7 AC±
- ZONING DISTRICT: INDUSTRIAL PARK - IP
- EXISTING LOTS TO BE CONSOLIDATED

TABLE OF ZONING REQUIREMENTS

TOWN OF CHESTER INDUSTRIAL PARK DISTRICT (IP)

LOT SERVED BY PRIVATE SEWER AND WATER SYSTEMS		
MINIMUM	REQUIRED	PROVIDED
LOT AREA	2 ACRES	8.7 ac.
LOT WIDTH	200 FT.	>200 ft
FRONT YARD	60 FT.	>75 ft
REAR YARD	50 FT.	>75 ft
SIDE YARD (ONE)	50 FT.	>70 ft
SIDE YARD (BOTH)	100 FT.	>140 ft
MAXIMUM		
BUILDING COVERAGE	40%	<40%
BUILDING HEIGHT	45 FT.	≤45 FT.

BUILDING FOR Light Industrial Use

RECORD OWNER/APPLICANT:

POMEGRANATE SOLUTIONS, LLC
122 PENN STREET
BROOKLYN, NY 11211

L. 14287 P. 537
17 - 1 - 83
17 - 1 - 84
17 - 1 - 85
17 - 1 - 86

FILED MAP 10111
LOTS 4, 5, 6 & 7

AREAS:

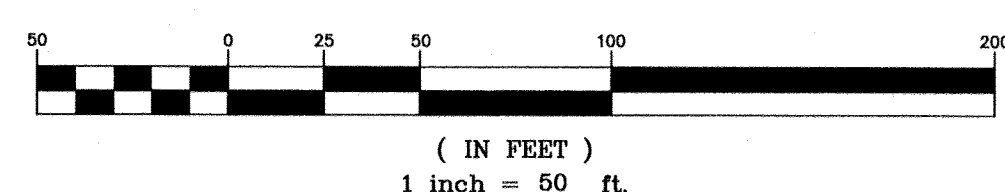
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TAX LOT 17 - 1 - 84 2.146± AC.
TAX LOT 17 - 1 - 85 2.044± AC.
TAX LOT 17 - 1 - 86 2.030± AC.
TOTAL: 8.726± AC.

PARKING CALCULATION TABLE

USE	REQUIRED RATIO	REQUIRED SPACES	PROVIDED SPACES
PROPOSED OFFICE	ONE SPACE / 200 SQ. FT.	10,000/200 = 50 SPACES	50
PROPOSED INDUSTRIAL	TWO SPACES PER 3 EMPLOYEES ON THE TWO LARGEST CONSECUTIVE SHIFTS	2/3 * 150 EMPLOYEES = 100 SPACES	100
PROPOSED TOTAL=		150 SPACES	169

Total parking count includes 5 accessible parking spaces per lot as required by ADA Code for parking facilities with 101-150 spaces. Loading spaces include the minimum of four.

GRAPHIC SCALE

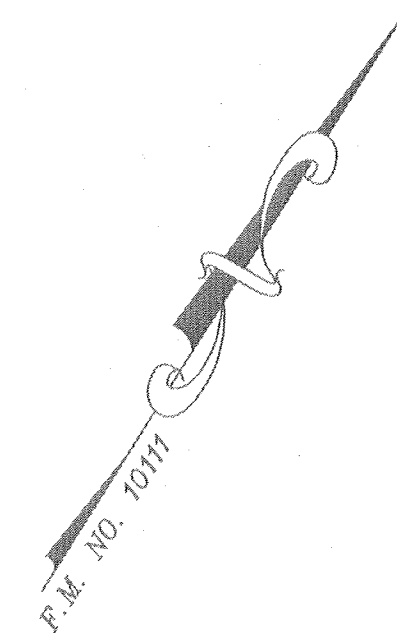


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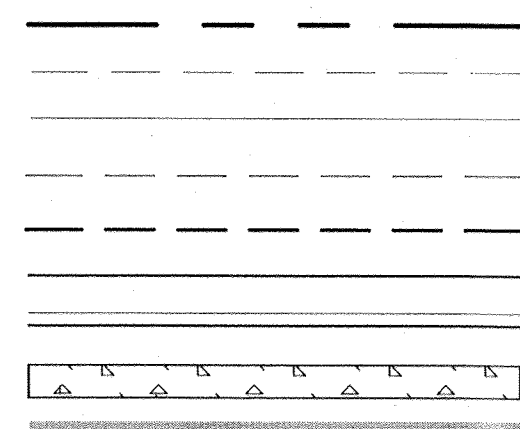
LANC & TULLY ENGINEERING AND SURVEYING, P.C.		P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700	
CONCEPTUAL SITE PLAN PREPARED FOR			
POMEGRANATE SOLUTIONS, LLC TOWN OF CHESTER ORANGE COUNTY, NEW YORK			
Date: FEBRUARY 26, 2020 Revisions:	CAD File: 170117 SITE PLAN.DWG Layout: SITE PLAN Sheet No.: 3 OF 4		
Drawn By: CMF	Checked By: JQ	Scale: 1" = 50' Tax Map No.: 17-1-83, 84, 85, 86	Drawing No.: C3D B - 17 - 0117 - 01



LEGEND:

LEGEND:

PROPERTY LINE
EXISTING CONTOUR MAJOR
EXISTING CONTOUR MINOR
PROPOSED YARD
PROPOSED PARKING SETBACK
PROPOSED EDGE OF PAVEMENT
PROPOSED CURB
PROPOSED SIDEWALK
PROPOSED WALL



N/F
OPPMANN
L. 12279 P. 241
17 - 1 - 102

N/F
PAGANO
L. 2393 P. 201
17 - 1 - 21

N/F
LAKE STATION
INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.4

N/F
LAKE STATION
INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.1

N/F
LAKE STATION
INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.5

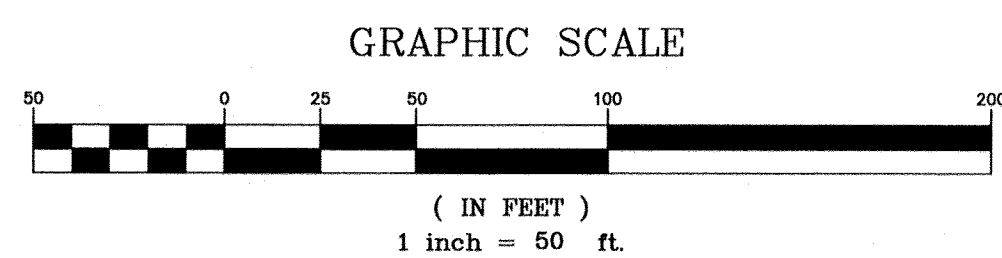
N/F
POMEGRANATE
SOLUTIONS, LLC
L. 14287 P. 537
17 - 1 - 45.1

N/F
BAT RE, INC.
L. 13289 P. 1226
17 - 1 - 16.1



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LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

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Goshen, N.Y. 10924
(845) 294-3700

GRADING & UTILITY PLAN PREPARED FOR

POMEGRANATE
SOLUTIONS, LLC

TOWN OF CHESTER
ORANGE COUNTY, NEW YORK

Drawn By: CMF Checked By: JQ Scale: 1" = 50' Tax Map No.: 17-1-83, 84, 85, 86

Date: FEBRUARY 26, 2020
Revisions:

CAD File: 170117-SITE PLAN.DWG
Project: GRADING PLAN
Sheet No.: 4 OF 4
Drawing No.: C30
B - 17 - 0117 - 01