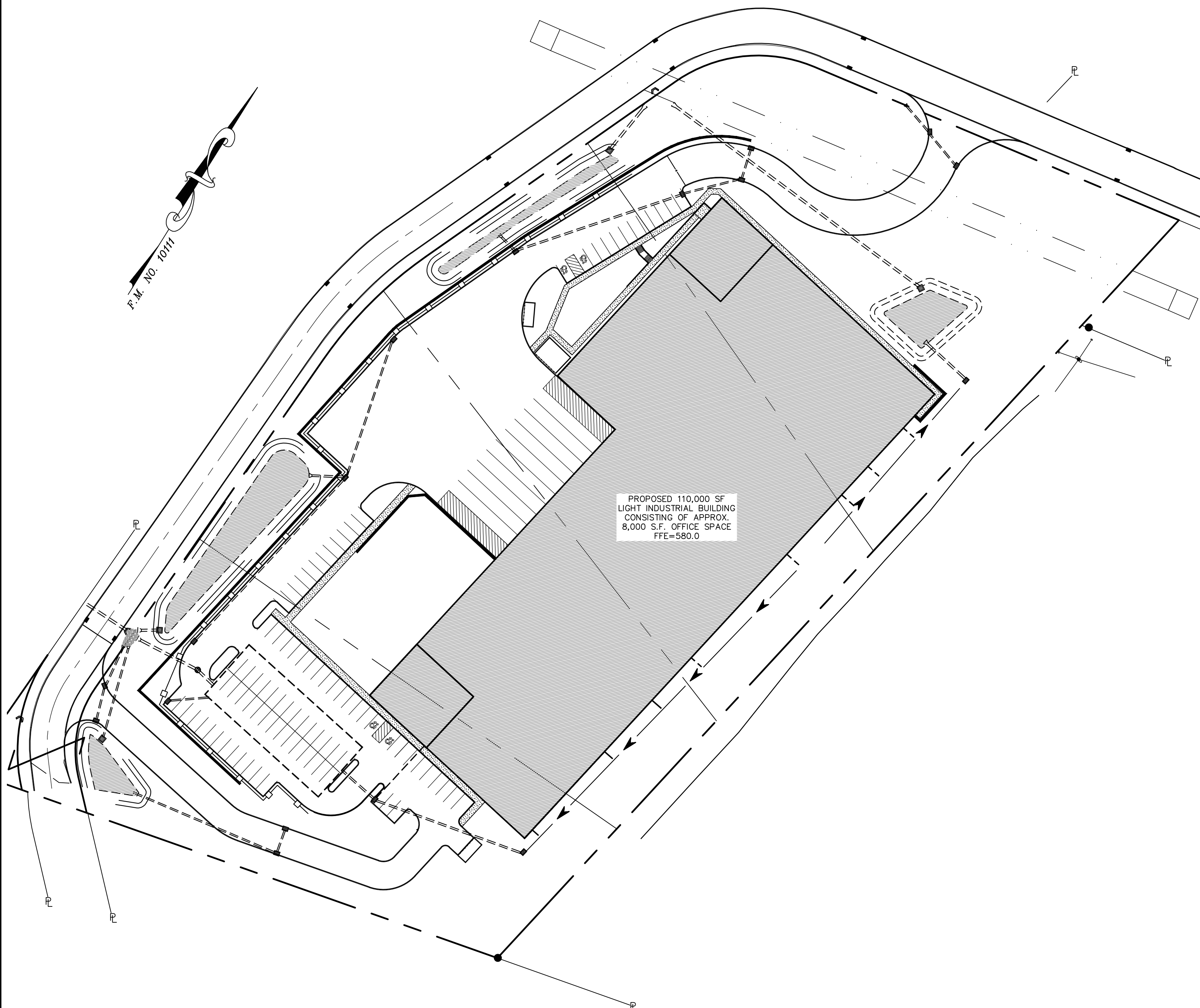


SITE PLAN FOR POMEGRANATE SOLUTIONS, LLC

TOWN OF CHESTER
ORANGE COUNTY, NEW YORK

GENERAL NOTES:

1. TAX MAP DESIGNATION: SECTION 17, BLOCK 1, LOT 83-86
2. TOTAL AREA: 8.726± ACRES
3. DEED REFERENCE: LIBER 14287 PAGE 537 OF DEEDS AS RECORDED IN THE ORANGE COUNTY CLERK'S OFFICE.
4. ZONING DISTRICT: IP - INDUSTRIAL PARK
5. EXISTING LOTS TO BE CONSOLIDATED
6. TOTAL PROPOSED BUILDING FOOTPRINT SQUARE FOOTAGE: 110,000± SQ. FT.
7. LOTS TO BE SERVICED BY ON-SITE INDIVIDUAL WELL FOR POTABLE WATER SERVICE.
8. LOT TO BE SERVICED BY ON-SITE PRIVATE SUBSURFACE SEWAGE DISPOSAL SYSTEM.
9. ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
10. THE DESIGN AND LOCATION OF SANITARY FACILITIES (WATER AND SEWER SYSTEMS) SHALL NOT BE CHANGED.
11. THE PROPERTY OWNER SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES.
12. SEWAGE DISPOSAL SYSTEMS SHALL NO LONGER BE CONSTRUCTED OR USED WHEN PUBLIC FACILITIES BECOME AVAILABLE. CONNECTION TO THE PUBLIC SEWER SYSTEM IS REQUIRED WITHIN 1 YEAR OF AVAILABILITY.
13. A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER (OR OTHER DESIGN PROFESSIONAL AS ALLOWED BY THE NYS EDUCATION DEPARTMENT) SHALL INSPECT THE SANITARY FACILITIES AT THE TIME OF CONSTRUCTION. THE ENGINEER SHALL CERTIFY TO THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT ANY SEPTIC TANK JOINTS HAVE BEEN SEALED AND TESTED FOR WATER TIGHTNESS.
14. DUE TO THE POTENTIAL FOR THE PRESENCE OF HABITAT FOR INDIANA BATS SPECIES WHICH ARE CONSIDERED TO BE FEDERALLY LISTED AND/OR STATE LISTED AS AN ENDANGERED OR THREATENED SPECIES, APPLICANT WILL SCHEDULE THE NECESSARY TREE CLEARING TO OCCUR BETWEEN OCTOBER 31ST AND MARCH 31ST.
15. NO SITE PREPARATION OR CONSTRUCTION SHALL COMMENCE UNTIL ALL REQUIRED PERMITTING AND APPROVALS HAVE BEEN OBTAINED AND THE APPROVED CLEARING LIMIT BOUNDARY HAS BEEN DELINEATED WITH CONSTRUCTION FENCING THROUGHOUT THE SITE.
16. ALL EXISTING STRUCTURES AND DEBRIS ON SITE SHALL BE REMOVED.
17. THE APPLICANT SHALL BE RESPONSIBLE FOR FINISHING DAVIDSON DRIVE WITH TOP COURSE. IN ADDITION, THE GRATES OF THE EXISTING DRAINAGE STRUCTURES SHALL BE SET TO THE CORRECT FINISHED ELEVATION AND THE CURBS SHALL BE REPAIRED AS NEEDED.
18. EXISTING CATCH BASINS AND STORM DRAINS TO BE CLEANED AND TVED WITH VIDEO SUPPLIED TO TOWN.
19. MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - A. NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", 2008; AS SUPPLEMENTED.
 - B. CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.
 - C. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - D. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
20. GAS, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
21. TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT TOP COURSE.
22. UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
23. STORM SEWER PIPING SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) N-12 OR APPROVED EQUAL AS NOTED. PROPER PIPE COVERAGE PER MANUFACTURER'S SPECIFICATIONS SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
24. TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD, LATEST REVISION).
25. FINAL BUILDING FOOTPRINT DIMENSIONS SHALL BE FURNISHED ON THE ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS AND REQUIREMENTS OF THIS SITE PLAN.
26. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED AND ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED.
27. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO THEIR SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIAL, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGN HEREON INAPPROPRIATE OR INEFFECTIVE.
28. THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
29. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS OTHER DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS, CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT LANC & TULLY ENGINEERING AND SURVEYING, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OF CORRELATED ITEMS NOT RECEIVED.
30. NEITHER THE PROFESSIONAL ACTIVITIES OF LANC & TULLY ENGINEERING AND SURVEYING, P.C., NOR THE PRESENCE OF LANC & TULLY ENGINEERING AND SURVEYING, P.C. OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. LANC & TULLY ENGINEERING AND SURVEYING, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
31. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENAL TIES ASSESSED WITH RESPECT TO ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
32. THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.



LOCATION PLAN
1 INCH = 1000 FEET

SITE PLAN SHEET INDEX:

1. COVER SHEET
2. EXISTING CONDITIONS
3. SITE PLAN
4. GRADING & UTILITY PLAN
5. SEWAGE DISPOSAL SYSTEM DESIGN
6. EROSION CONTROL PLAN
7. EROSION CONTROL DETAILS
8. ROAD PROFILES PLAN
9. LANDSCAPING PLAN
10. LIGHTING PLAN
11. TRUCK TURN ANALYSIS
12. CONSTRUCTION DETAILS
13. CONSTRUCTION DETAILS 2

RECORD
OWNER/APPLICANT:

POMEGRANATE SOLUTIONS, LLC
122 PENN STREET
BROOKLYN, NY 11211

L. 14287 P. 537
17 - 1 - 83
17 - 1 - 84
17 - 1 - 85
17 - 1 - 86

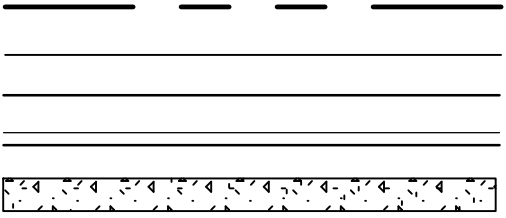
FILED MAP 10111
LOTS 4, 5, 6 & 7

AREAS:

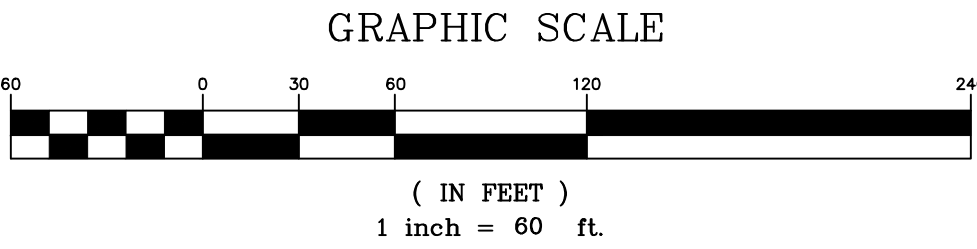
TAX LOT 17 - 1 - 83	2.506± AC.
TAX LOT 17 - 1 - 84	2.146± AC.
TAX LOT 17 - 1 - 85	2.044± AC.
TAX LOT 17 - 1 - 86	2.030± AC.
TOTAL:	8.726± AC.

LEGEND:

- PROPERTY LINE
- ADJOINING PARCEL PROPERTY LINES
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CURB
- PROPOSED SIDEWALK



OVERALL PLAN
1 INCH = 60 FEET



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P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

COVER SHEET FOR

POMEGRANATE
SOLUTIONS, LLC

TOWN OF CHESTER
ORANGE COUNTY, NEW YORK

Drawn By:	Checked By:	Scale:	Tax Map No.:
CMF	JQ	1" = 60'	17-1-83, 84, 85, 86

Date: FEBRUARY 26, 2020
Revision:
JULY 21, 2020
OCTOBER 21, 2020
FEBRUARY 17, 2021
MARCH 23, 2021
APRIL 21, 2021

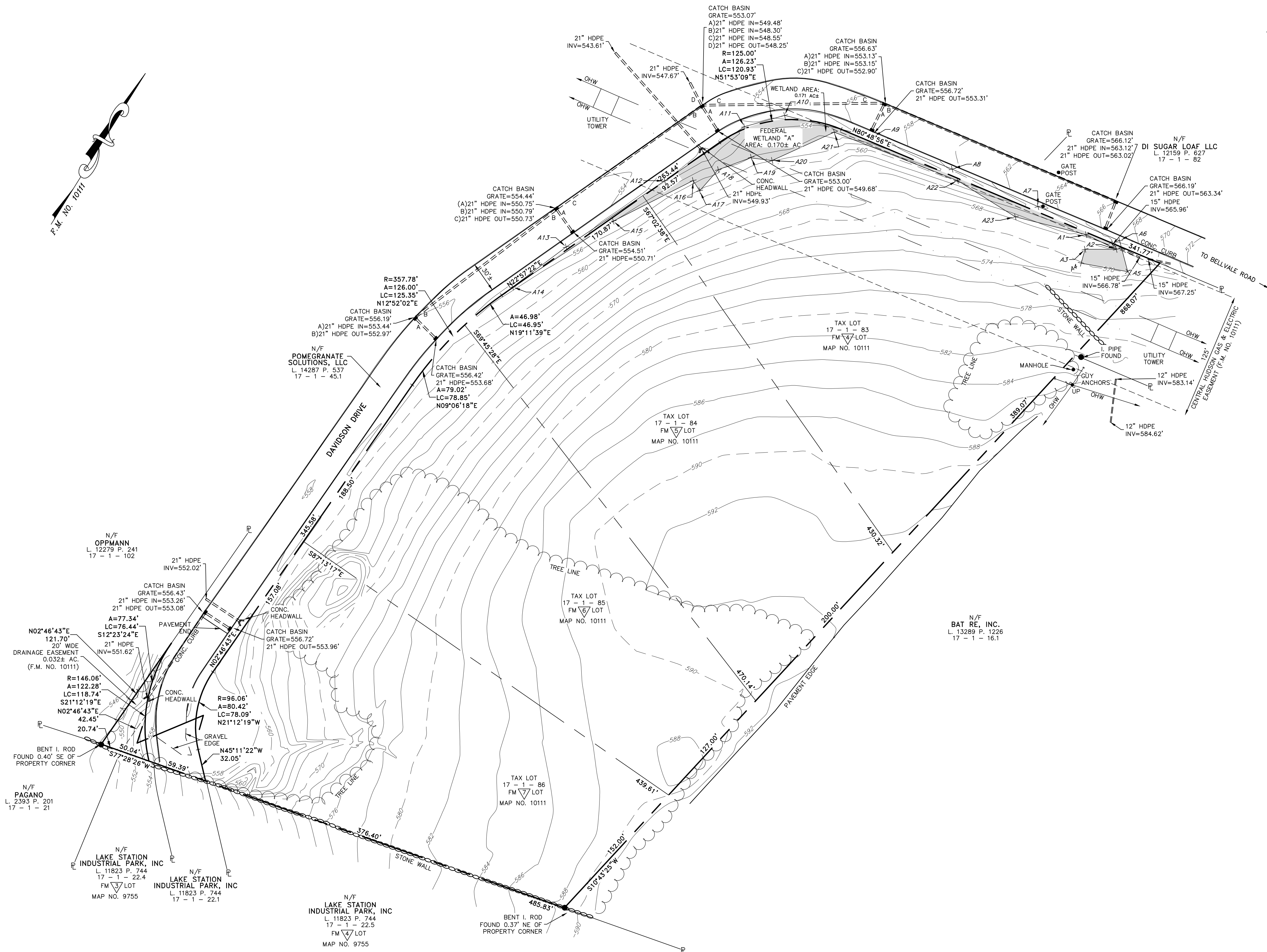
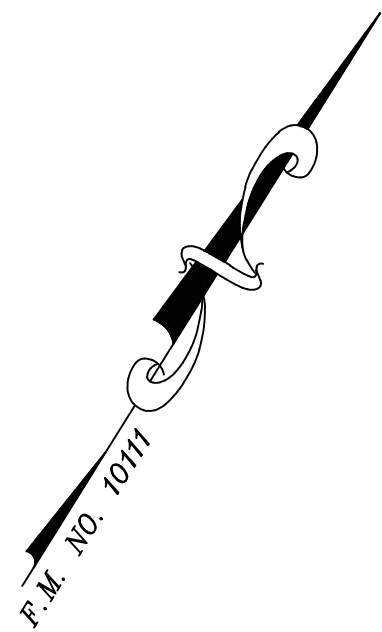
CAD File: 170117-SITE PLAN.DWG

Layout: COVER

Sheet No.: 1 OF 13

Drawing No.: C3D

B - 17 - 0117 - 01



SURVEY NOTES:

- THIS SURVEY IS SUBJECT TO ANY FINDINGS OF A TITLE SEARCH.
- SUBSURFACE STRUCTURES AND UTILITIES NOT VISIBLE AT THE TIME OF SURVEY HAVE NOT BEEN SHOWN.
- REFERENCES:
 - MAP ENTITLED "FINAL PLAN SUGAR LOAF INDUSTRIAL PARK, TOWN OF CHESTER, ORANGE COUNTY, NEW YORK," DATED MAY 2, 1988, LAST REVISED SEPTEMBER 27, 1990 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON DECEMBER 20, 1990, S FILED MAP NO 10111.
 - MAP ENTITLED "LAKE STATION INDUSTRIAL PARK, FINAL SUBDIVISION PLAT, TOWN OF CHESTER, ORANGE COUNTY, NEW YORK," DATED FEBRUARY 28, 1989, LAST REVISED OCTOBER 30, 1989 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON DECEMBER 8, 1989, AS FILED MAP NO. 9755.
 - MAP ENTITLED "SUBDIVISION OF PROPERTY FOR HEINRICH & MAGDALENE KOCH, TOWN OF CHESTER, ORANGE COUNTY, NEW YORK," DATED AUGUST 25, 1978, LAST REVISED AUGUST 30, 1978 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 8, 1978, AS FILED MAP NO. 4633.
 - MAP ENTITLED "SUBDIVISION OF PROPERTY FOR HERBERT & MILA KANIA, TOWN OF CHESTER, ORANGE COUNTY, NEW YORK, DATED MARCH 6, 1984 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 26, 1984, AS FILED MAP NO. 6733.
- CONTOURS SHOWN ARE THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED BY LANC & TULLY ENGINEERING AND SURVEYING, P.C. ELEVATIONS SHOWN ARE BASED ON APPROXIMATE USGS DATUM.
- WETLANDS FLAGS SHOWN AS FIELD DELINEATED BY ECOLOGICAL SOLUTIONS, LLC., AND FIELD LOCATED BY LANC & TULLY ENGINEERING AND SURVEYING, P.C. ON MAY 27, 2020.

RECORD OWNER:

POMEGRANATE SOLUTIONS, LLC
122 PENN STREET
BROOKLYN, NY 11211

L. 14287 P. 537
17 - 1 - 83
17 - 1 - 84
17 - 1 - 85
17 - 1 - 86

FILED MAP 10111
LOTS 4, 5, 6 & 7

AREAS:

TAX LOT 17 - 1 - 83	2.506± AC.
TAX LOT 17 - 1 - 84	2.146± AC.
TAX LOT 17 - 1 - 85	2.044± AC.
TAX LOT 17 - 1 - 86	2.030± AC.
TOTAL:	8.726± AC.

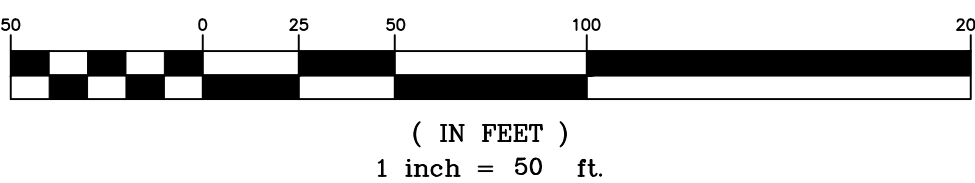
CERTIFICATION:

I HEREBY CERTIFY TO THE PARTIES OF INTEREST LISTED BELOW THAT THIS MAP SHOWS THE RESULTS OF AN ACTUAL FIELD SURVEY COMPLETED ON DECEMBER 14, 2017, AND UPDATED ON MAY 27, 2020.

POMEGRANATE SOLUTIONS, LLC

BY:
RODNEY C. KNOWLTON, L.S.
NEW YORK STATE LICENSE NO. 50276

GRAPHIC SCALE



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ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

EXISTING CONDITIONS PREPARED FOR

POMEGRANATE
SOLUTIONS, LLC

TOWN OF CHESTER
ORANGE COUNTY, NEW YORK

Drawn By:	Checked By:	Scale:	Tax Map No.:
CMF	JQ	1" = 50'	17- 1-83, 84, 85, 86

Date:
FEBRUARY 26, 2020

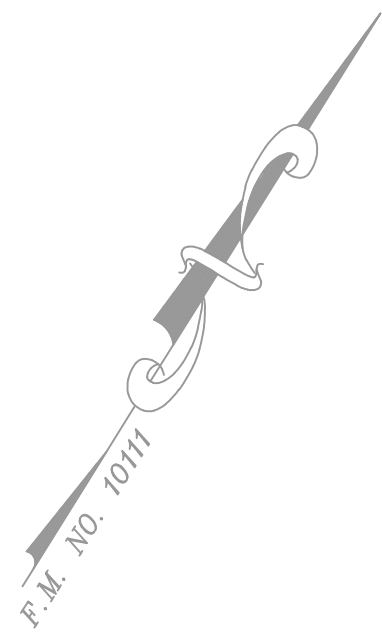
Revisions:
JULY 21, 2020
OCTOBER 21, 2020
FEBRUARY 17, 2021
MARCH 23, 2021
APRIL 21, 2021

CAD File:
170117 SITE PLAN.DWG

Layout:
EXISTING

Sheet No.:
2 OF 13

Drawing No.:
C3D



LEGEND:

PROPERTY LINE	---
PROPOSED BUILDING SETBACK	----
PROPOSED PARKING SETBACK	-----
PROPOSED EDGE OF PAVEMENT	=====
PROPOSED CURB	=====
PROPOSED SIDEWALK	=====

N/F
PAGANO
L. 2393 P. 201
17 - 1 - 21

N/F
OPPMANN
L. 12279 P. 241
17 - 1 - 102

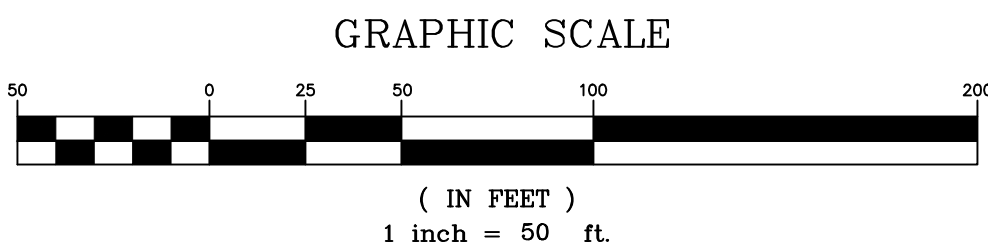
N/F
LAKE STATION
INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.4

N/F
LAKE STATION
INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.1

N/F
LAKE STATION
INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.5

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PARKING CALCULATION TABLE			
USE	REQUIRED RATIO	REQUIRED SPACES	PROVIDED SPACES
PROPOSED OFFICE	ONE SPACE /200 SQ. FT.	8,000/200 = 40 SPACES	
PROPOSED INDUSTRIAL	TWO SPACES PER 3 EMPLOYEES ON THE TWO LARGEST CONSECUTIVE SHIFTS	2/3 * 75 EMPLOYEES = 50 SPACES	
PROPOSED TOTAL=		90 SPACES	96 SPACES

Total parking count includes 4 accessible parking spaces per lot as required by ADA Code for parking facilities with 76-100 spaces. Loading spaces include the minimum of four.

POMEGRANATE SOLUTIONS, LLC
122 PENN STREET
BROOKLYN, NY 11211

L. 14287 P. 537
17 - 1 - 83
17 - 1 - 84
17 - 1 - 85
17 - 1 - 86

FILED MAP 10111
LOTS 4, 5, 6 & 7

RECORD
OWNER/APPLICANT:

GENERAL NOTES:

1. TAX MAP DESIGNATION: 17-1-83, 84, 85, 86
2. TOTAL AREA: 8.7 AC±
3. ZONING DISTRICT: INDUSTRIAL PARK - IP
4. EXISTING LOTS TO BE CONSOLIDATED.

TABLE OF ZONING REQUIREMENTS

TOWN OF CHESTER
INDUSTRIAL PARK DISTRICT (IP)

LOT SERVED BY PRIVATE SEWER AND WATER SYSTEMS		
MINIMUM	REQUIRED	PROVIDED
LOT AREA	2 AC.	8.7 AC.
LOT WIDTH	200 FT.	427 FT.
FRONT YARD	60 FT.	104.7 FT.
REAR YARD	50 FT.	54.0 FT.
SIDE YARD (ONE)	50 FT.	107.8 FT.
SIDE YARD (BOTH)	100 FT.	>140 ft
MAXIMUM		
BUILDING COVERAGE	40%	32%
BUILDING HEIGHT	45 FT.	45 FT.
BUILDING FOR Light Industrial Use		

RECORD

OWNER/APPLICANT:

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122 PENN STREET
BROOKLYN, NY 11211

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FILED MAP 10111
LOTS 4, 5, 6 & 7

AREAS:

TAX LOT 17 - 1 - 83 2.506± AC.
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ENGINEERING AND SURVEYING, P.C.

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Goshen, N.Y. 10924
(845) 294-3700

SITE PLAN
PREPARED FOR

POMEGRANATE
SOLUTIONS, LLC

TOWN OF CHESTER
ORANGE COUNTY, NEW YORK

Drawn By: CMF Checked By: JQ Scale: 1" = 50' Tax Map No.: 17- 1-83, 84, 85, 86 Drawing No.: B - 17 - 0117 - 01

Date: FEBRUARY 26, 2020

Revisions:
JULY 21, 2020
OCTOBER 21, 2020
FEBRUARY 17, 2021
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CAD File: 170117-SITE PLAN.DWG

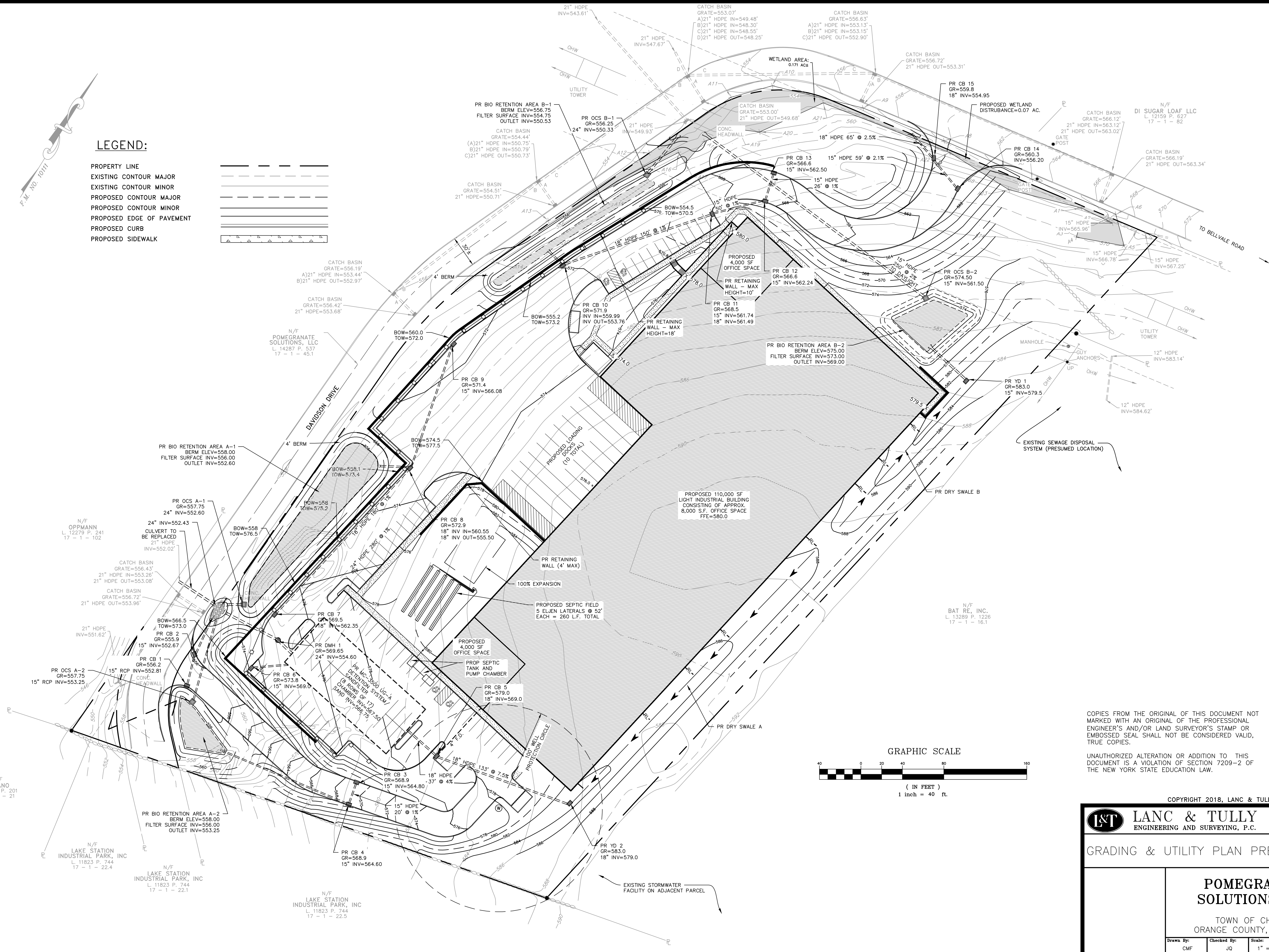
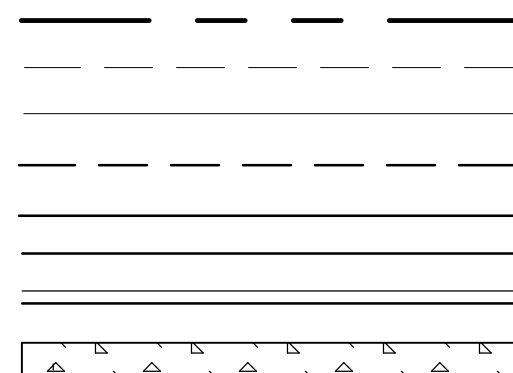
Layout: SITE PLAN

Sheet No.: 3 OF 13

Drawing No.: C3D

LEGEND:

PROPERTY LINE
EXISTING CONTOUR MAJOR
EXISTING CONTOUR MINOR
PROPOSED CONTOUR MAJOR
PROPOSED CONTOUR MINOR
PROPOSED EDGE OF PAVEMENT
PROPOSED CURB
PROPOSED SIDEWALK



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ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

GRADING & UTILITY PLAN PREPARED FOR

**POMEGRANATE
SOLUTIONS, LLC**

TOWN OF CHESTER
ORANGE COUNTY, NEW YORK

Date: FEBRUARY 26, 2020

Revisions:
JULY 21, 2020
OCTOBER 21, 2020
FEBRUARY 17, 2021
MARCH 23, 2021
APRIL 21, 2021

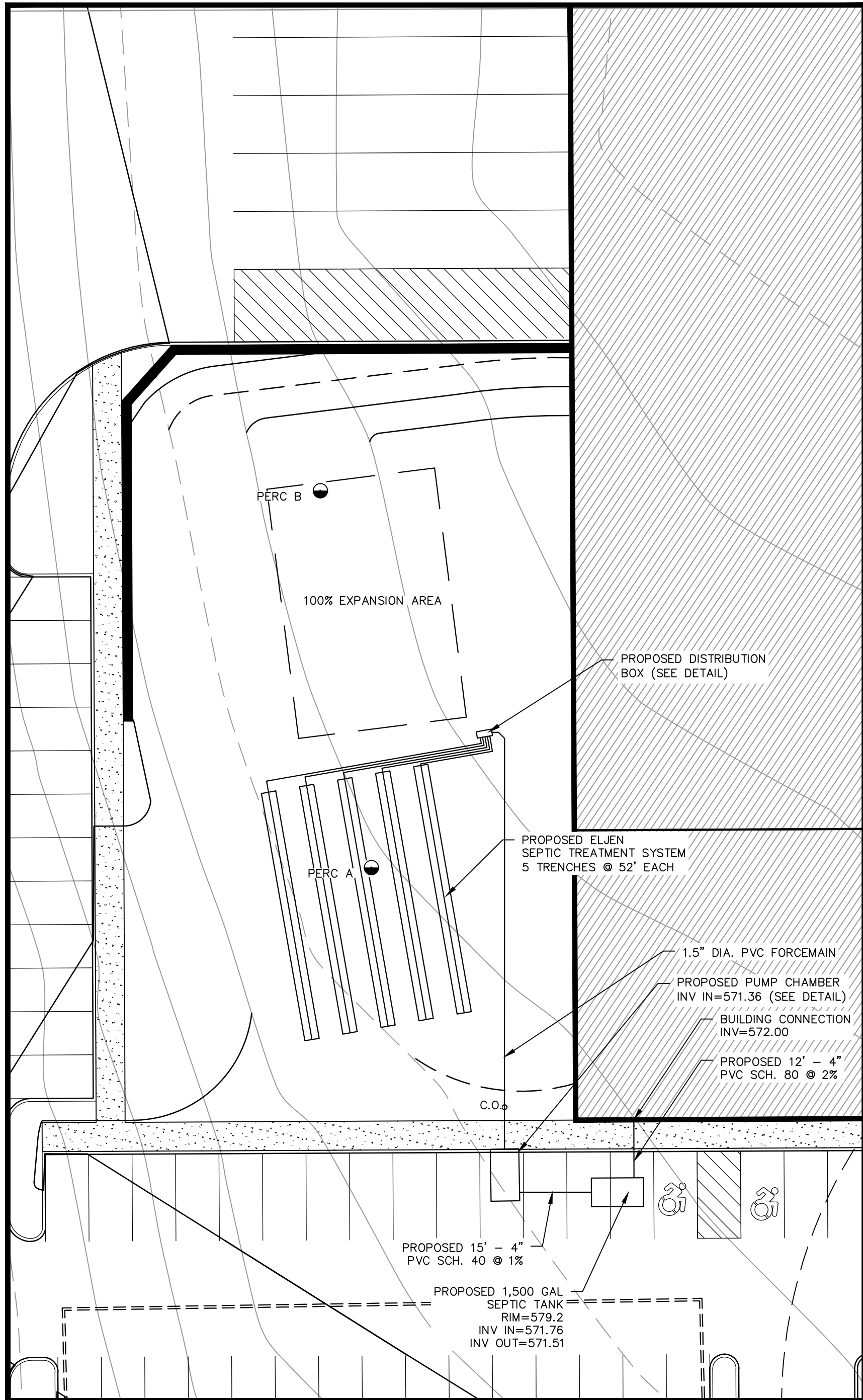
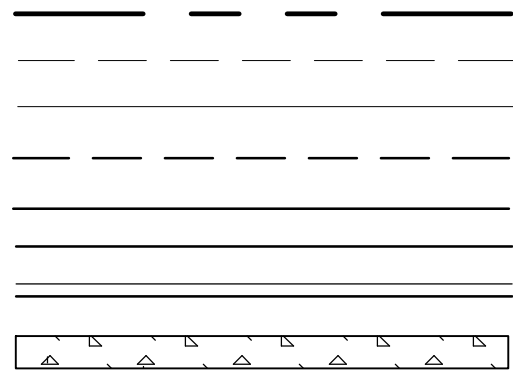
CAD File:

Layout:
GRADING PLAN

Drawn By:	Checked By:	Scale:	Tax Map No.:	Drawing No.:
CMF	JQ	1" = 40'	17- 1-83. 84. 85. 86	B - 17 - 0117 - 0

LEGEND:

PROPERTY LINE
EXISTING CONTOUR MAJOR
EXISTING CONTOUR MINOR
PROPOSED CONTOUR MAJOR
PROPOSED CONTOUR MINOR
PROPOSED EDGE OF PAVEMENT
PROPOSED CURB
PROPOSED SIDEWALK

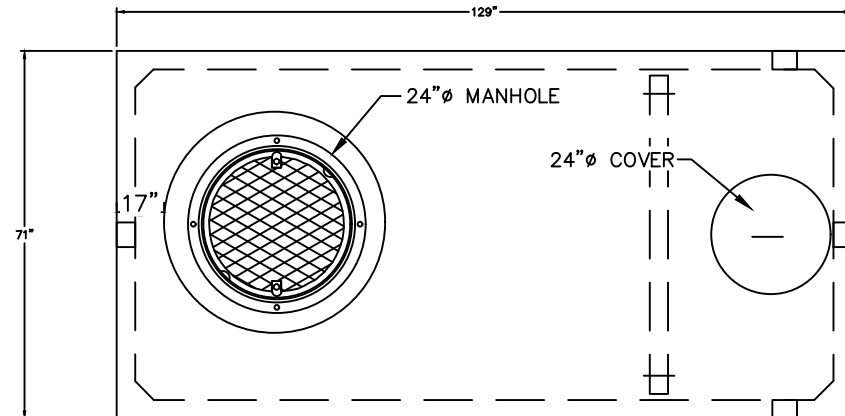
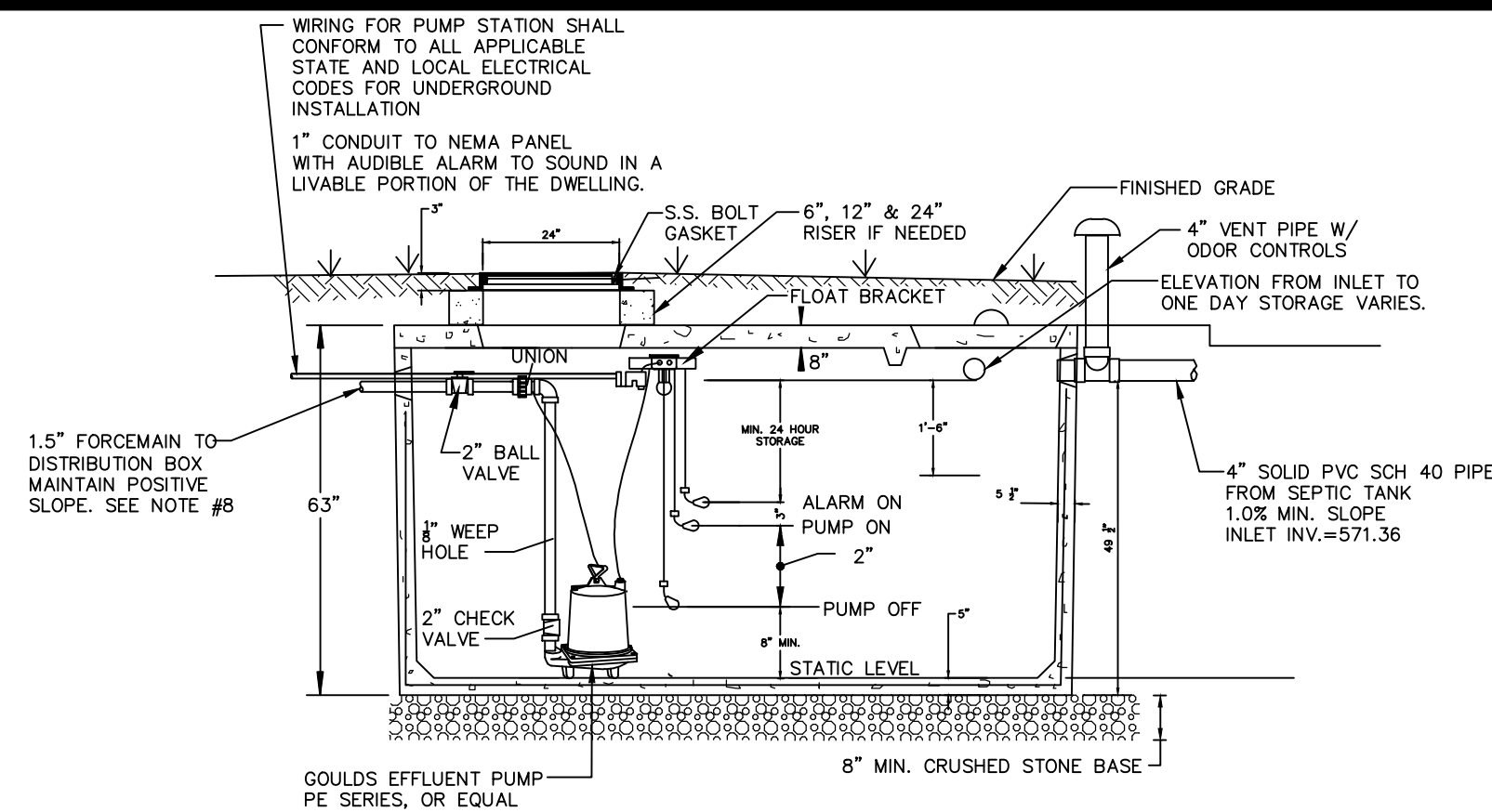


SEPTIC SYSTEM DESIGN

SCALE: 1" = 20'

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SPECIFICATIONS

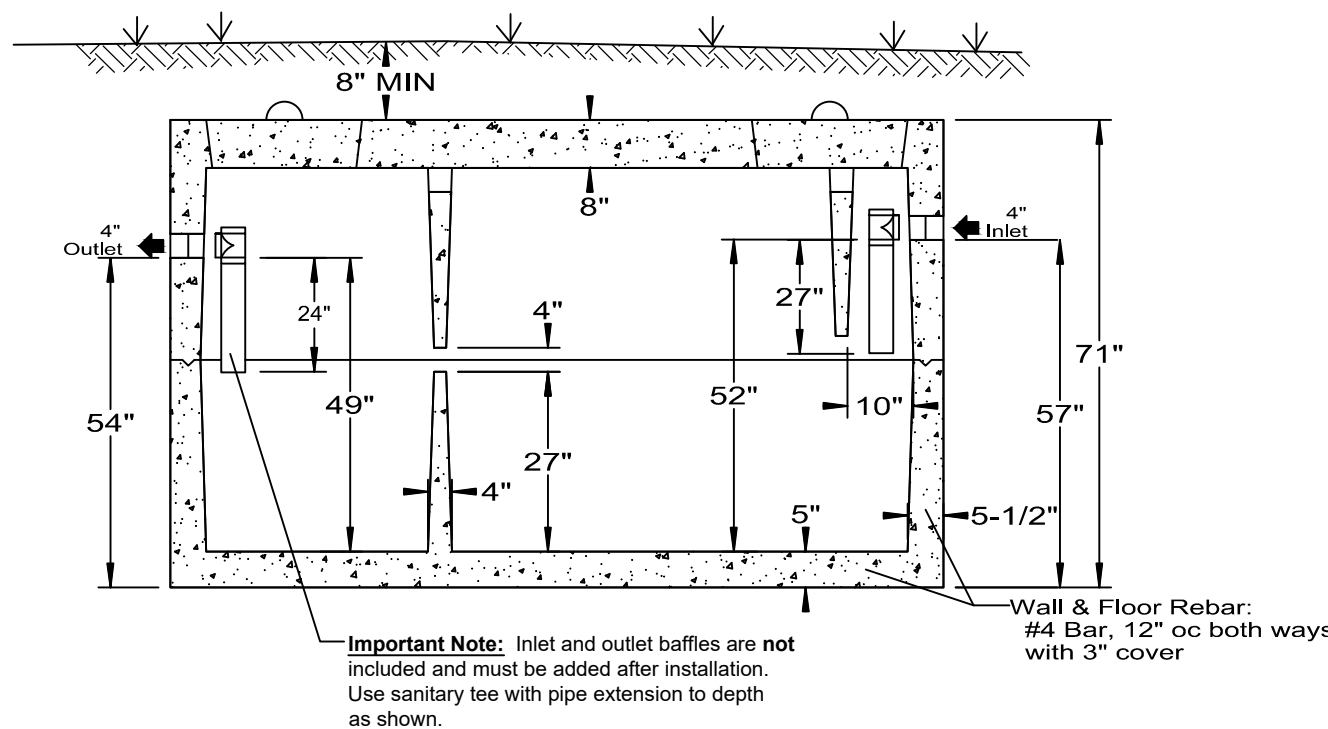
CONCRETE MIN. STRENGTH: 4,000 PSI AT 28 DAYS
REINFORCEMENT: #4 & #5 REBAR, ASTM A615
AIR ENTRAINMENT: 6%
CONSTRUCTION JOINT: BUTYL RUBBER SEALANT
PIPE CONNECTION: POLYLOK SEAL (PATENTED)
WEIGHT = 21,000
LOAD RATING: HS20-44 + 30% / ASTM C857

NOTES:

- H2O CONCRETE PRECAST PUMP CHAMBER BY WOODARD'S CONCRETE PRODUCTS, INC., BULLVILLE, NY, OR EQUAL.
- CONTROL PANEL TO BE AUTOMATED CONTROL SYSTEMS SF11 NEMA 1 ENCLOSURE OR EQUAL. ALL NEC REQUIREMENTS SHALL BE MET FOR THE PUMP STATION ELECTRICAL COMPONENTS.
- ELECTRICAL EQUIPMENT OR IN ENCLOSED SPACES WHERE EXPLOSIVE GASES MAY ACCUMULATE SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE FOR CLASS 1, DIVISION 1, GROUPS C AND D LOCATIONS. THERE SHALL BE NO ELECTRICAL SPLICES, JUNCTION BOXES OR CONNECTIONS OF ANY KIND IN SEWAGE WET WELLS OF ANY NEC RATING.
- ALL JOINTS SHALL BE CAULKED.
- AN ASPHALTIC SEAL SHALL BE APPLIED BETWEEN CONTACT SURFACES OF BASE AND RISER SECTIONS, WHERE APPLICABLE.
- ALL COVERS SHALL BE LOCKABLE AND WATERTIGHT.
- THE FORCE MAIN MUST MAINTAIN A POSITIVE SLOPE BACK TO THE PUMP STATION TO ALLOW THE EFFLUENT TO DRAIN BACK INTO THE PUMP CHAMBER AFTER EACH PUMPING CYCLE.

H2O PRECAST PUMP CHAMBER TANK (1,250 GAL.)

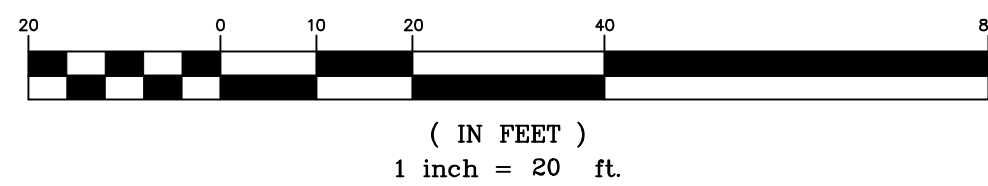
NOT TO SCALE



SPECIFICATIONS	ST-1500 H2O 1,500 GALLON SEPTIC TANK
Concrete Min. Strength: 4,000 psi at 28 days Reinforcement: #4 & #5 Rebar / ASTM A615 Air Entrainment: 6% Construction Joint: Butyl Rubber Sealant Pipe Connection: Polylok Seal Weight = 22,500 lbs Load Rating: HS20-44 + 30% / ASTM C857	Woodard's Concrete Products, Inc.

H2O 1,500 GAL. CONCRETE SEPTIC TANK

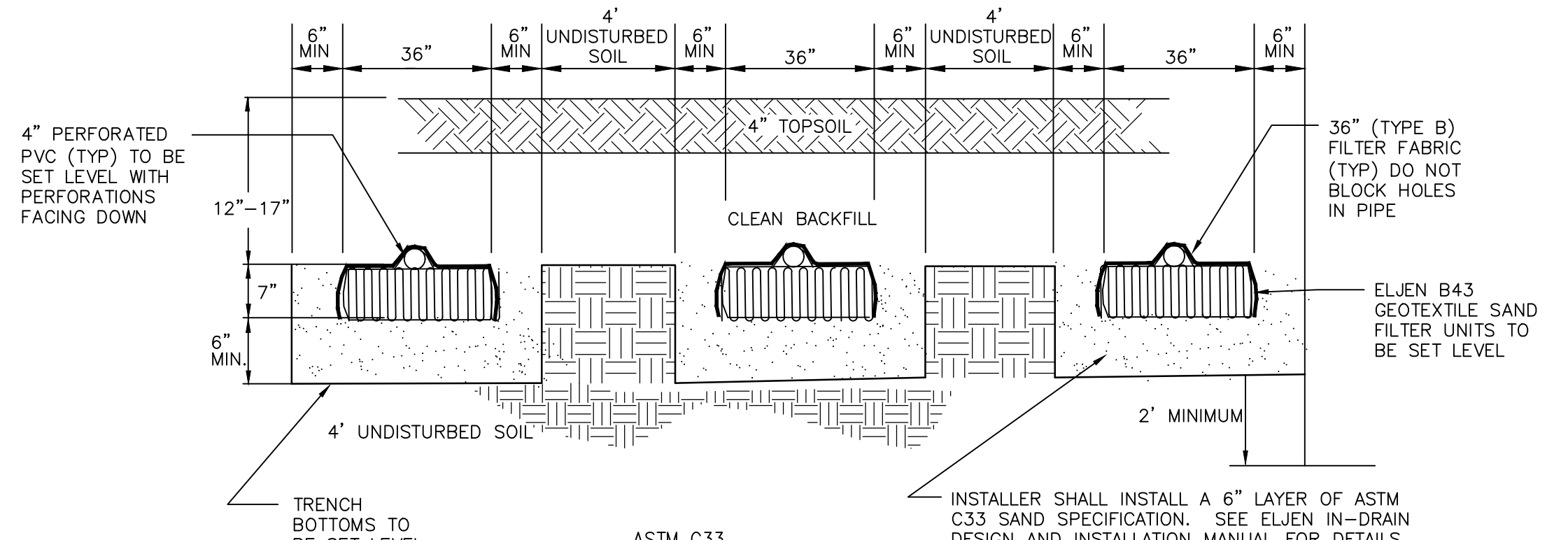
GRAPHIC SCALE



PERCOLATION TEST RESULTS AND SYSTEM DESIGN:

PERCOLATION TESTS 'A' AND 'B' WERE PERFORMED ON DECEMBER 3, 2020, BY LANC & TULLY ENGINEERING AND SURVEYING, P.C.

PERC. TEST RATE (MIN.) DEPTH = 12"		DESIGN RATE (MIN.)	GPD (FLOW)	LENGTH OF FIELD (FEET)		TYPE OF SYSTEM
A	B			REQUIRED	PROPOSED	
23	13	21-30	878 GPD	244	260	ELJEN



SIEVE SIZE	PERCENT PASSING BY WEIGHT	
	MINIMUM	MAXIMUM
3/8 INCH	100	
NO. 4	95	100
NO. 8	80	100
NO. 16	50	85
NO. 30	25	60
NO. 50	5	30
NO. 100	0	10
NO. 200 (WET)	0	5

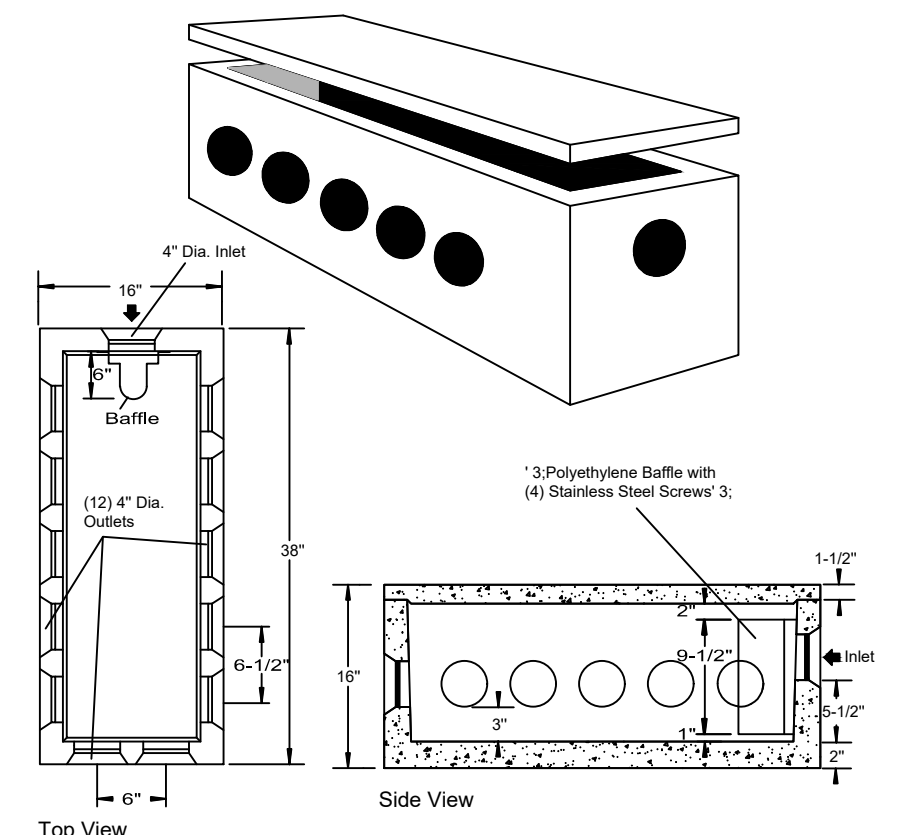
TYPICAL "ELJEN" TRENCH CROSS SECTION DETAIL

NOT TO SCALE

SYSTEM DESIGN

SYSTEM FLOWS AND DESIGN FOR NEW SDS:

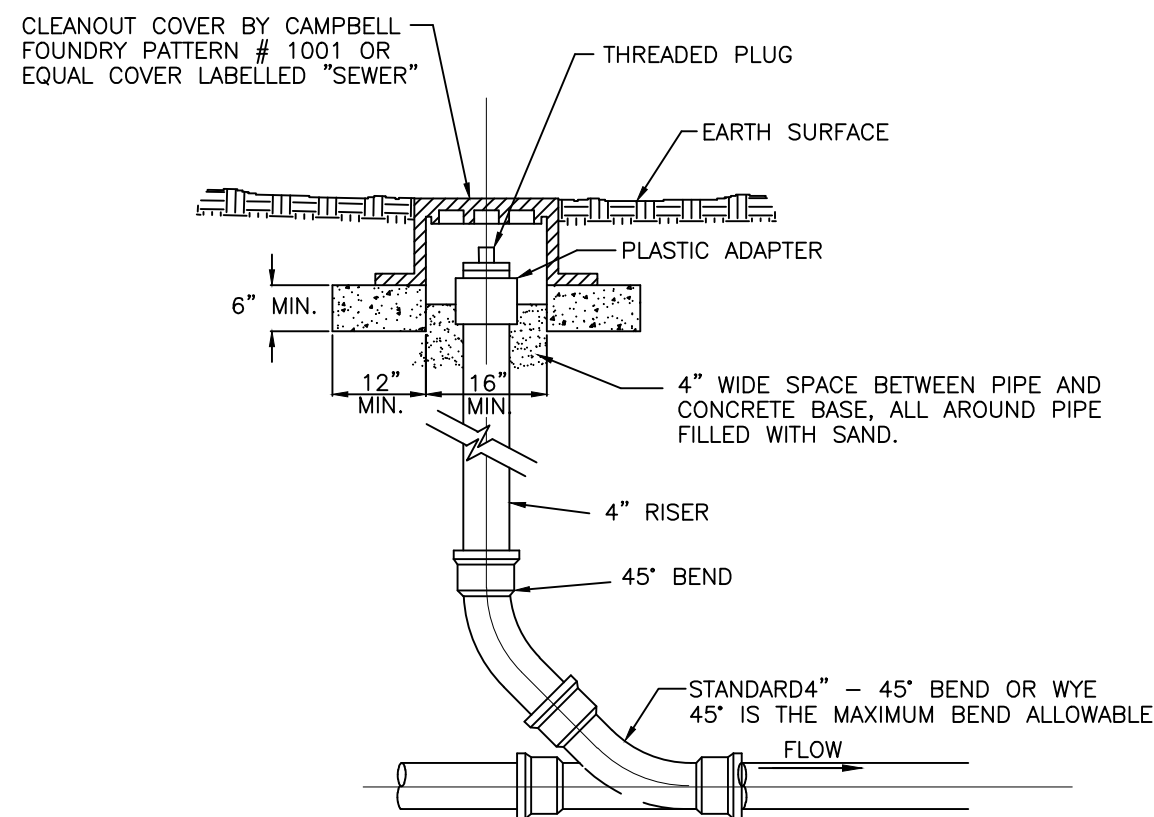
FLOW RATE FOR WAREHOUSE/OFFICE = 1,110 GPD
20% WATER SAVINGS = 222 GPD
1,110 GPD - 222 GPD = 878 GPD (DESIGN VOLUME)
DESIGN PERCOLATION RATE: 21-30 MINUTES/INCH
DESIGN APPLICATION RATE: 0.6 GAL/DAY/SQUARE FOOT
APPLICATION RATE (ELJEN): 6 SQ FT/LIN. FT. OF TRENCH
TOTAL SQUARE FOOTAGE REQ'D: 878 GPD / 0.6 GPD/SQ. FT. = 1464 SQ. FT.
ABSORPTION FIELD TRENCH LENGTH REQUIRED: 1,464 GPD/6 SQ FT PER LIN. FT. = 244 FT OF TRENCH
ABSORPTION FIELD TRENCH PROVIDED: 5 LATERALS @ 52 FEET = 260 LINEAR FEET
SEPTIC TANK SIZING: 878 GPD X 1.5 = 1,317 GPD - USE 1,500 GAL TANK



SPECIFICATIONS	PRECAST DISTRIBUTION BOXES MODEL DB-12 12 OUTLETS W/Baffle
Concrete Min. Strength: 4,000 psi at 28 days Reinforcement: Fiber, 10gs, wire mesh Air Entrainment: 5% Pipe Connection: Polylok Seal (patented) Load Rating: 300 psf Weight = 325 lbs	Woodard's Concrete Products, Inc. 629 Lybolt Road, Bullville, NY 10915 (845) 361-3471 / Fax 361-1050 Page 6B 1/12/05

DB-12 DROP BOX

NOT TO SCALE



CLEANOUT DETAIL

NOT TO SCALE

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LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

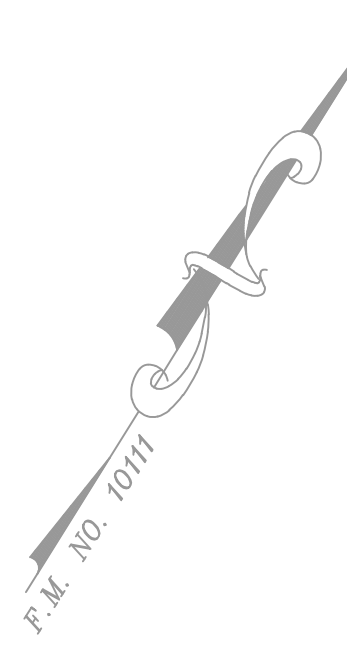
SEWAGE DISPOSAL SYSTEM DESIGN
DETAILS PREPARED FOR

POMEGRANATE SOLUTIONS, LLC
TOWN OF CHESTER
ORANGE COUNTY, NEW YORK

Drawn By: CMF
Checked By: JQ
Scale: 1" = 20'
Tax Map No.: 17- 1-83, 84, 85, 86

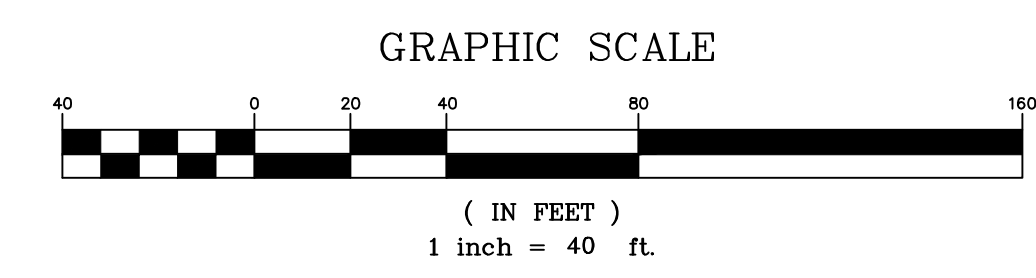
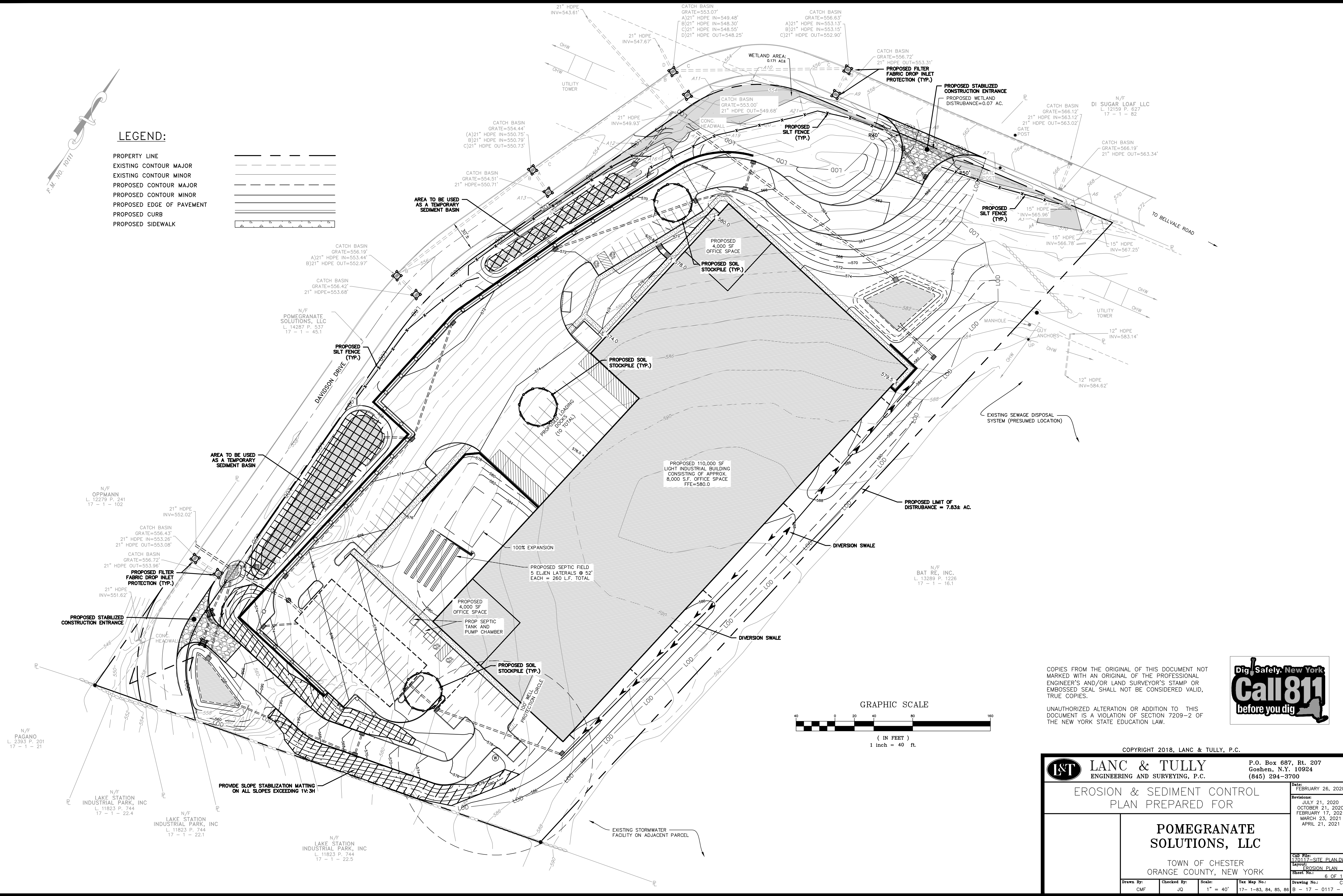
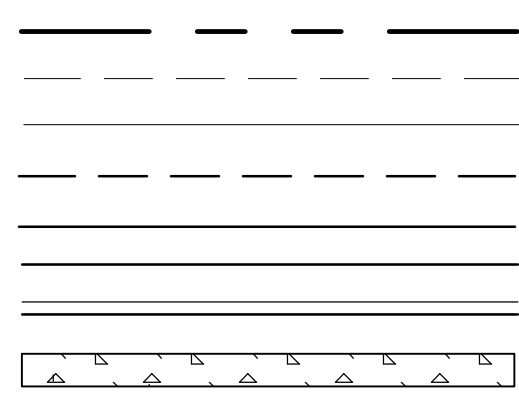
Date: FEBRUARY 26, 2020
Revisions:
JULY 21, 2020
OCTOBER 21, 2020
FEBRUARY 17, 2021
MARCH 23, 2021
APRIL 21, 2021

CAD File: 170117-SITE PLAN.DWG
Layout: SDS PLAN
Sheet No.: 5 OF 13
Drawing No.: C3D
B - 17 - 0117 - 01



LEGEND:

- PROPERTY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- PROPOSED CONTOUR MAJOR
- PROPOSED CONTOUR MINOR
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CURB
- PROPOSED SIDEWALK

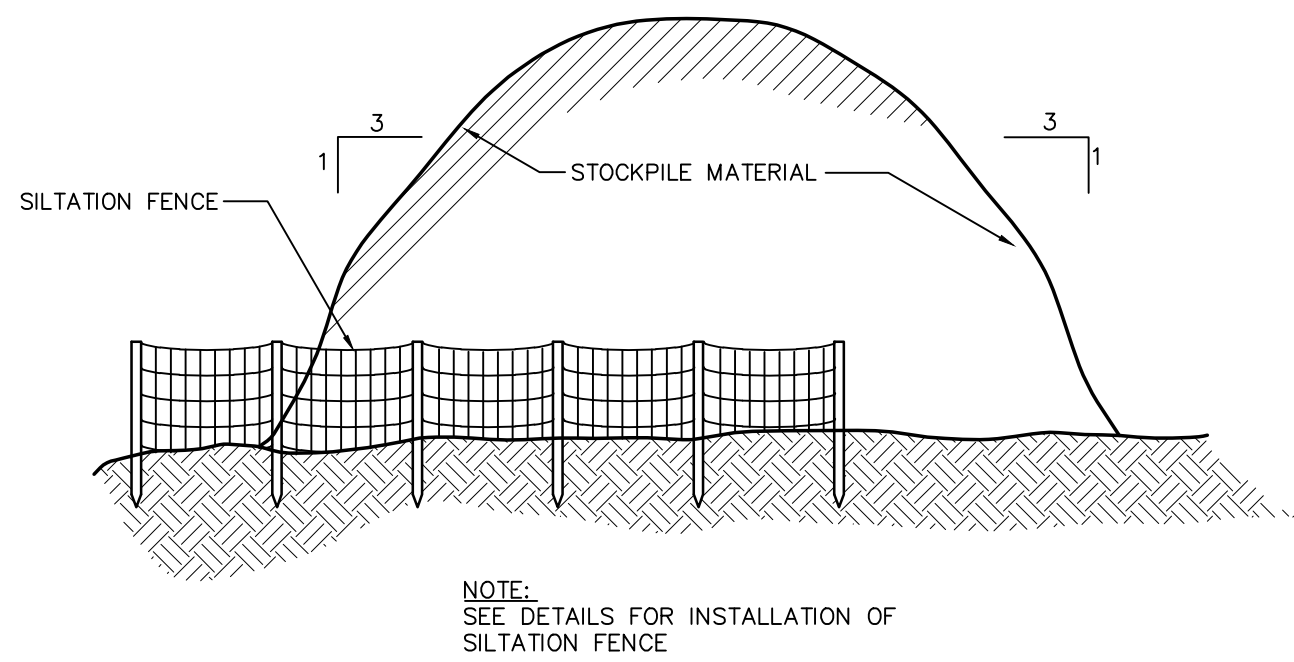


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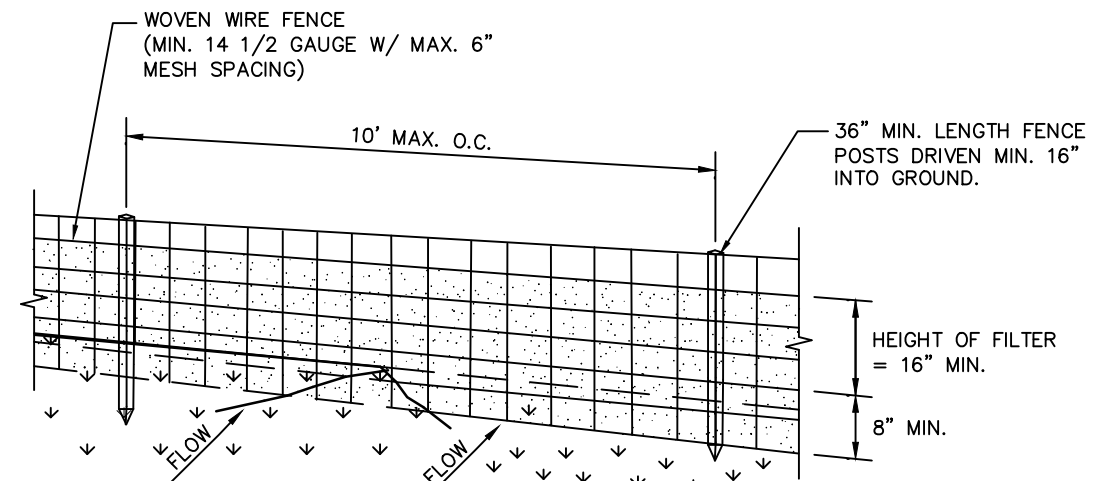
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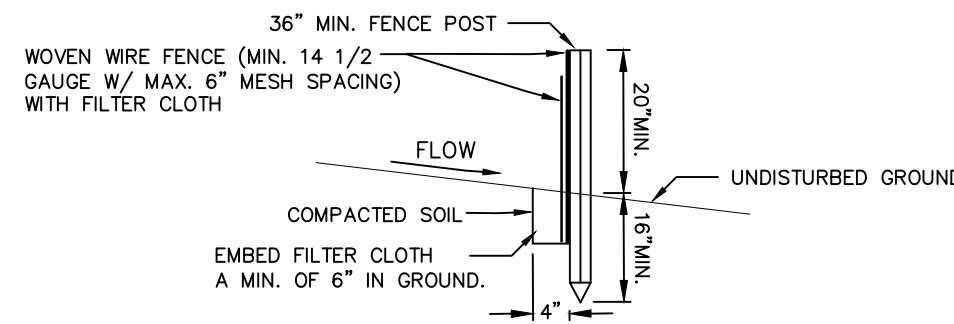
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LANC & TULLY ENGINEERING AND SURVEYING, P.C.		Date: FEBRUARY 26, 2020	
EROSION & SEDIMENT CONTROL PLAN PREPARED FOR		Revisions: JULY 21, 2020 OCTOBER 21, 2020 FEBRUARY 17, 2021 MARCH 23, 2021 APRIL 21, 2021	
POMEGRANATE SOLUTIONS, LLC		CADD File: 170117-SITE PLAN.DWG	
TOWN OF CHESTER ORANGE COUNTY, NEW YORK		Layout: EROSION PLAN	
Drawing No.: C3D		Sheet No.: 6 OF 13	
Drawn By: CMF	Checked By: JQ	Scale: 1" = 40'	Tax Map No.: 17- 1-83, 84, 85, 86
B - 17 - 0117 - 01			



TYPICAL STOCKPILE DETAIL
NOT TO SCALE



PERSPECTIVE VIEW



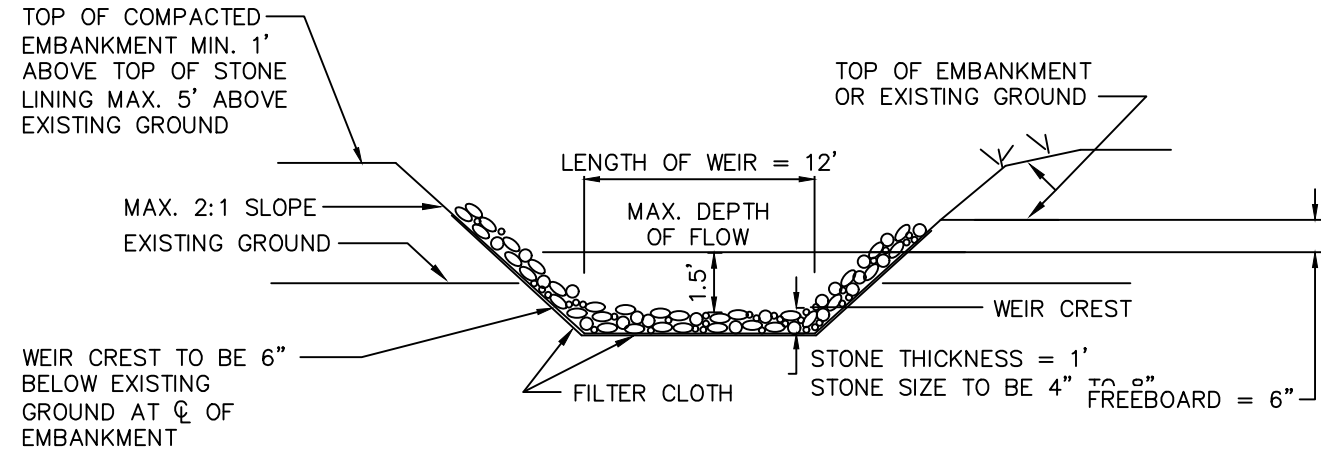
SECTION VIEW

CONSTRUCTION SPECIFICATIONS

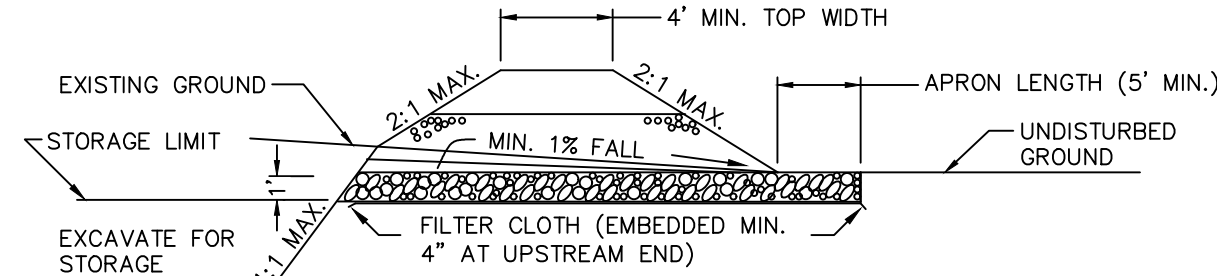
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "I" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA 1140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILTATION FENCE

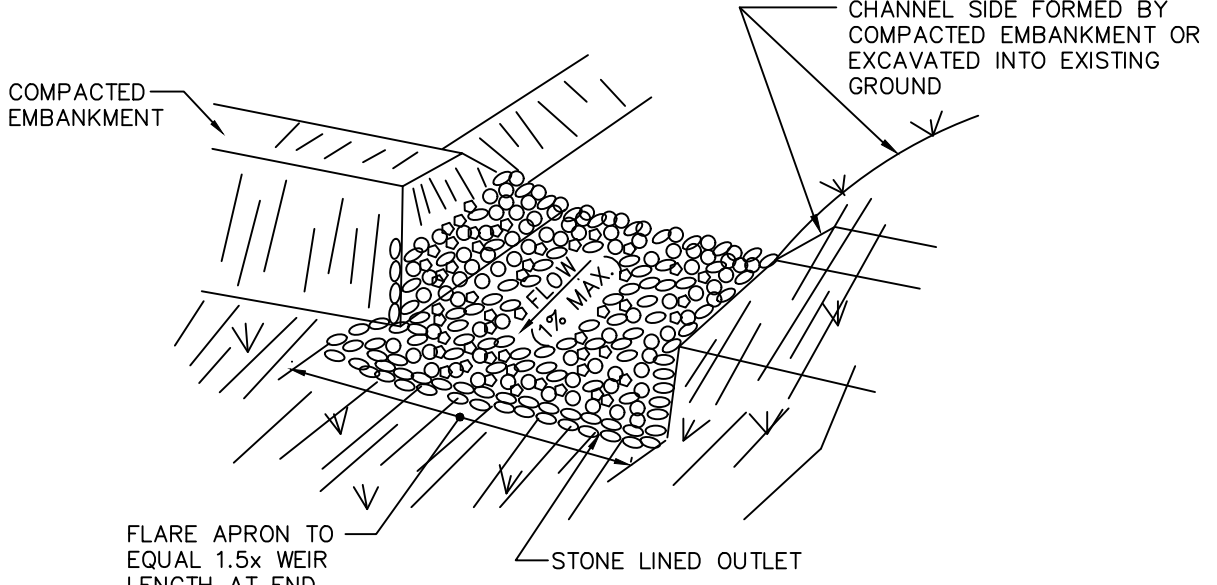
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PROFILE



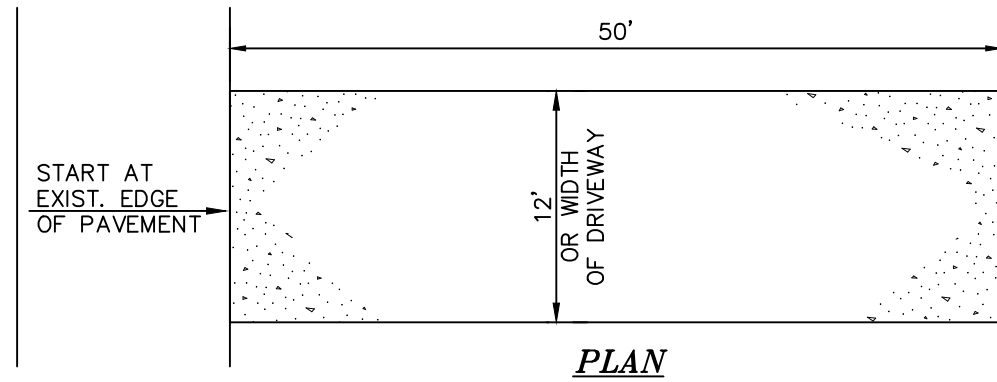
CROSS SECTION



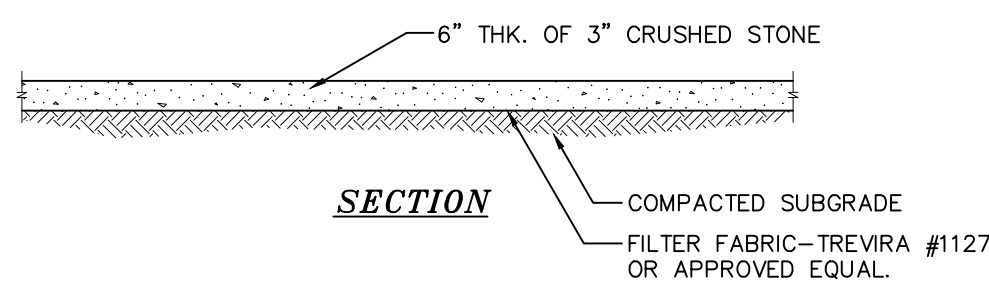
PERSPECTIVE VIEW

TEMPORARY RIP-RAP OUTLET SEDIMENT TRAP

NOT TO SCALE



PLAN



SECTION

NOTE:
ENTRANCE SHALL BE MAINTAINED AS CONDITIONS DEMAND TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY.

INSTALLATION NOTES:

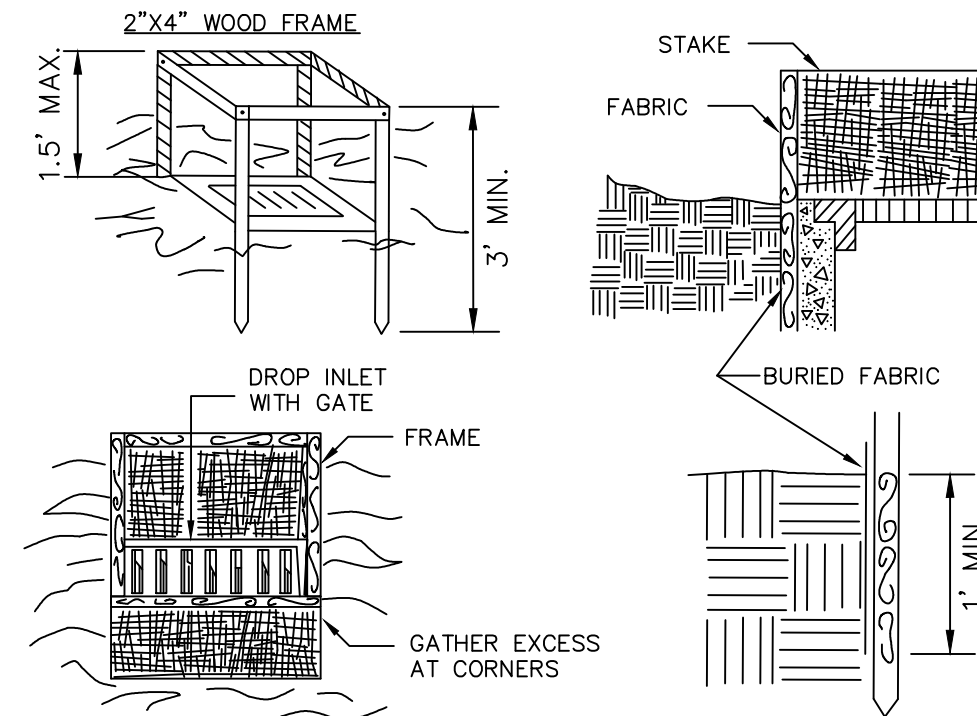
- STONE SIZE – USE 3" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH – AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS – NOT LESS THAN SIX (6) INCHES.
- WIDTH – 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
- FILTER CLOTH – WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
- SURFACE WATER – ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
- WASHING – WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE

TEMPORARY RIP-RAP OUTLET SEDIMENT TRAP CONSTRUCTION SPECIFICATIONS

- THE AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED.
- THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS OR OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS, ORGANIC MATERIAL OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED. MAXIMUM HEIGHT OF OF EMBANKMENT SHALL BE FIVE (5) FEET, MEASURED AT CENTERLINE OF EMBANKMENT.
- ALL FILL SLOPES SHALL BE 2:1 OR FLATTER, CUT SLOPES 1:1 OR FLATTER.
- ELEVATION OF THE TOP OF ANY DIKE DIRECTING WATER INTO TRAP MUST EQUAL OR EXCEED THE HEIGHT OF EMBANKMENT.
- REQUIRED STORAGE SHALL BE 3,600 CUBIC FEET PER ACRE OF DRAINAGE AREA. STORAGE AREA PROVIDED SHALL BE FIGURED BY COMPUTING THE VOLUME AVAILABLE BEHIND THE OUTLET CHANNEL UP TO AN ELEVATION OF ONE (1) FOOT BELOW THE LEVEL WEIR CREST.
- FILTER CLOTH SHALL BE PLACED OVER THE BOTTOM AND SIDES OF THE OUTLET CHANNEL PRIOR TO PLACEMENT OF STONE. SECTIONS OF FABRIC MUST OVERLAP AT LEAST ONE (1) FOOT WITH SECTION NEAREST THE ENTRANCE PLACED ON TOP. FABRIC SHALL BE EMBEDDED AT LEAST SIX (6) INCHES INTO EXISTING GROUND AT ENTRANCE OUTLET CHANNEL.
- STONE USED IN THE OUTLET CHANNEL SHALL BE FOUR (4) TO EIGHT (8) INCH RIPRAP. TO PROVIDE A FILTERING EFFECT, A LAYER OF FILTER CLOTH SHALL BE EMBEDDED ONE (1) FOOT WITH SECTION NEAREST ENTRANCE PLACED ON TOP. FABRIC SHALL BE EMBEDDED AT LEAST SIX (6) INCHES INTO EXISTING GROUND AT ENTRANCE OF OUTLET CHANNEL.
- SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRED AS NEEDED.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION ARE MINIMIZED.
- THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
- DRAINAGE AREA FOR THIS PRACTICE IS LIMITED TO 15 ACRES OR LESS.



CONSTRUCTION SPECIFICATIONS

- FILTER FABRIC SHALL HAVE AN EOS OF 40–85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
- CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIALS WILL BE STANDARD 2"x4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
- FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
- A 2"x4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

MAXIMUM DRAINAGE AREA 1 ACRE

FILTER FABRIC DROP INLET PROTECTION

NOT TO SCALE

EROSION AND SEDIMENT CONTROL NOTES AND SPECIFICATIONS

- ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN UNTIL THEY ARE PERMANENTLY STABILIZED.
- ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN AND THE "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL."
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF FOUR INCHES PRIOR TO PLACEMENT OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL FILL TO BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- EXCEPT FOR APPROVED LANDFILLS, FILL MATERIAL SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.
- STOCKPILES, BORROW AREAS AND SPOIL AREAS SHALL BE SHOWN ON THE PLANS AND SHALL BE SUBJECT TO THE PROVISIONS OF THIS STANDARD AND SPECIFICATION.
- SEED ALL DISTURBED AREAS WHICH WILL REMAIN UNDISTURBED FOR A PERIOD OF 15 DAYS OR MORE AND WHICH WILL NOT BE UNDER CONSTRUCTION WITHIN 30 DAYS WITH TEMPORARY RYEGRASS COVER, AS FOLLOWS (METHOD OF SEEDING IS OPTIONAL):
 - LOOSEN SEEDBED BY DISCING TO A 4" DEPTH.
 - SEED WITH SUMMER – PERENNIAL OR ANNUAL RYEGRASS AT 30 LBS PER ACRE
FALL/WINTER – AROOSTOOK WINTER RYE AT 100 LBS PER ACRE
 - MULCH WITH 2 TONS PER ACRE OF BLOWN AND CHOPPED HAY.
 - WHERE NOTED ON THE PLAN, AND ON SLOPES GREATER THAN OR EQUAL TO 3:1, PROVIDE SOIL STABILIZATION MATTING.
- AFTER COMPLETION OF SITE CONSTRUCTION, FINE GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED WITH PERMANENT LAWN MIX AS FOLLOWS (SEE LANDSCAPE PLAN FOR OTHER PLANTING INFORMATION):
 - LIME TOPSOIL TO pH 6.0.
 - FERTILIZE WITH 600 LBS PER ACRE OF 5–10–10.
 - SEED MIXTURE: 10# PER ACRE CREEPING RED FESCUE, 10# PER ACRE PERENNIAL RYE GRASS
 - MULCH AS DESCRIBED FOR TEMPORARY SEEDING (NOTE 15C ABOVE).
- DURING THE PROGRESS OF CONSTRUCTION, AND ESPECIALLY AFTER RAIN EVENTS, MAINTAIN ALL SEDIMENT TRAPS, BARRIERS, AND FILTERS AS NECESSARY TO PREVENT THEIR BEING CLOGGED WITH SEDIMENT. RE-STABILIZE ANY AREAS THAT MAY HAVE ERODED.
- MAINTAIN ALL SEEDED AND PLANTED AREAS TO INSURE A VABLE STABILIZED VEGETATIVE COVER.
- MAINTAIN COPIES OF THE CONSTRUCTION LOGBOOK, STORMWATER POLLUTION PREVENTATION PLAN (SWPPP) NOTICE OF INTENT (NOI), PERMITS, AND SITE PLANS ON-SITE AT ALL TIMES DURING CONSTRUCTION.
- A RAIN GAUGE WILL BE MAINTAINED ON-SITE AT ALL TIMES. READINGS SHALL BE TAKEN ON A DAILY BASIS AND LOGGED.

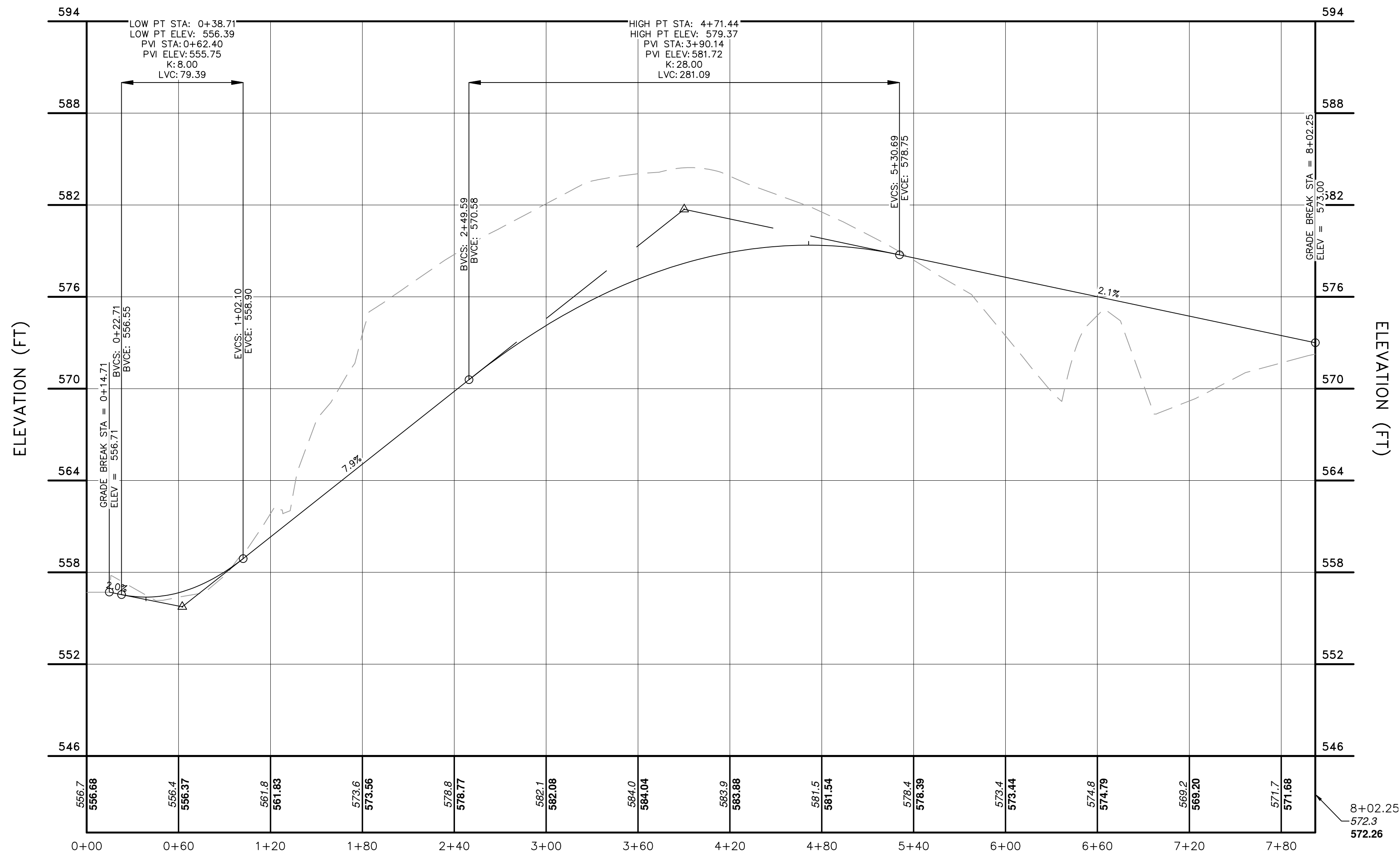
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EROSION CONTROL DETAILS PREPARED FOR		
POMEGRANATE SOLUTIONS, LLC		
TOWN OF CHESTER ORANGE COUNTY, NEW YORK		
Drawn By: CMF	Checked By: JQ	Scale: N.T.S.
Tax Map No.: 17–1–83, 84, 85, 86		Drawing No.: B – 17 – 0117 – 01
Date: FEBRUARY 26, 2020		
Revision: JULY 21, 2020 OCTOBER 21, 2020 FEBRUARY 17, 2021 MARCH 23, 2021 APRIL 21, 2021		
CAD File: 170117-DDETAILS.DWG		
Layout: EROSION		
Sheet No.: 7 OF 13		

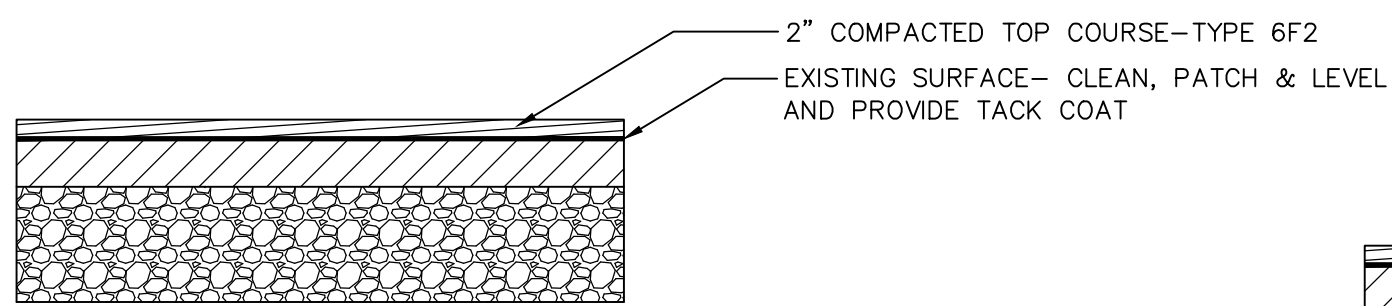
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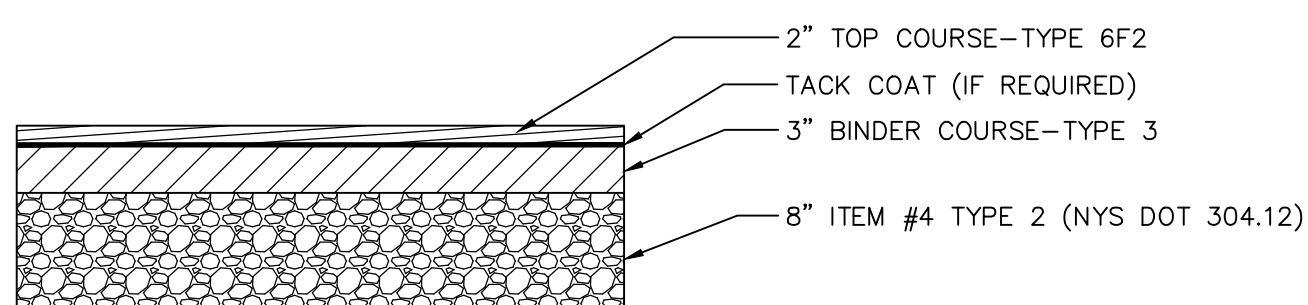




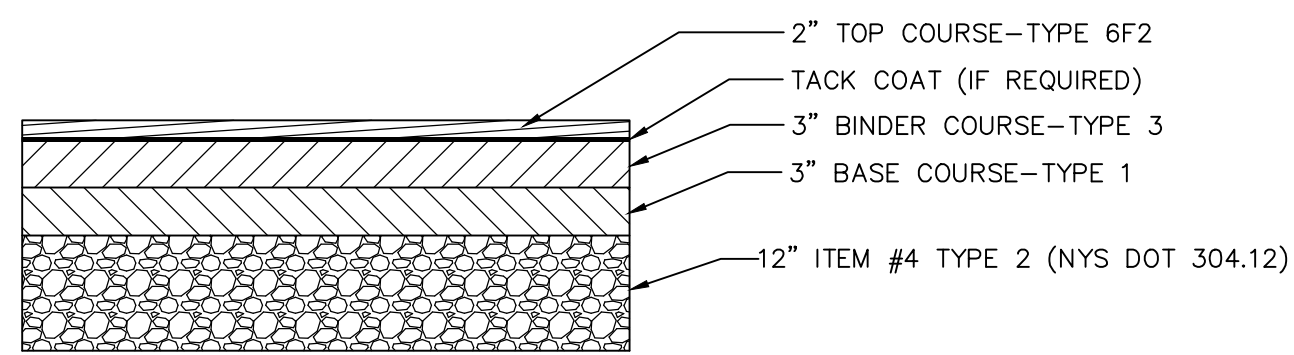
South Access Drive
ST 0+00 THRU ST 8+02.25
SCALE: HORIZONTAL 1"=60'
VERTICAL 1"=6'



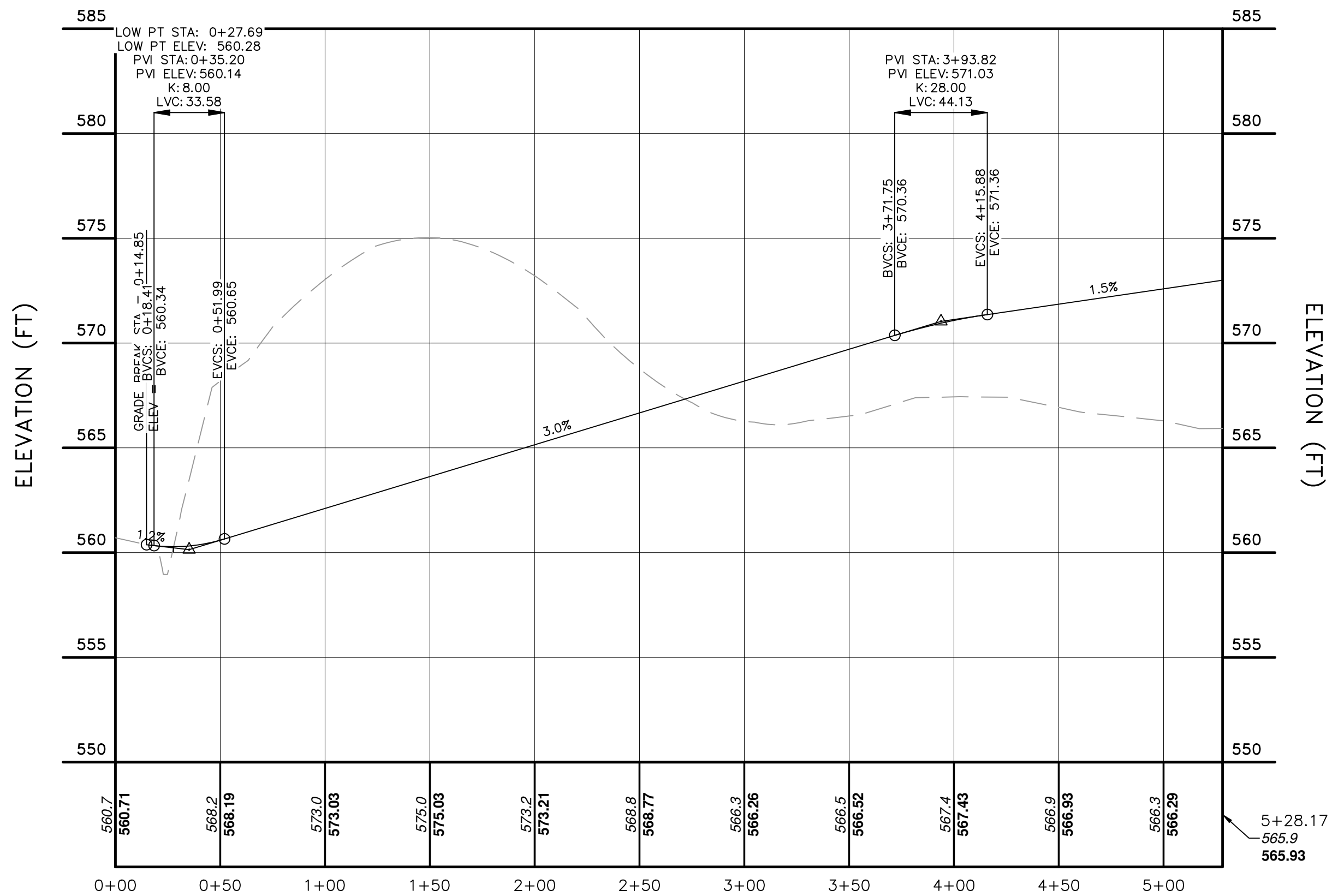
PAVEMENT SECTION
TOWN ROAD RESTORATION
NOT TO SCALE



PAVEMENT SECTION 1
PASSENGER TRAFFIC AND PARKING AREAS
NOT TO SCALE



PAVEMENT SECTION 3
HEAVY DUTY TRUCK TRAFFIC AREAS
NOT TO SCALE



North Access Drive
ST 0+00 THRU ST 5+28.17
SCALE: HORIZONTAL 1"=50'
VERTICAL 1"=5'



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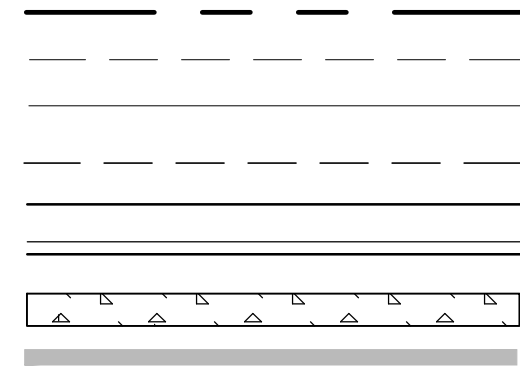
NOTE: CURBS TO HAVE 6" REVEAL AND REPLACEMENT CURBS TO BE PINNED ON EACH SIDE.

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ROAD PROFILES		Date: FEBRUARY 26, 2020 Revisions: JULY 21, 2020 OCTOBER 21, 2020 FEBRUARY 17, 2021 MARCH 23, 2021 APRIL 21, 2021	
POMEGRANATE SOLUTIONS, LLC TOWN OF CHESTER ORANGE COUNTY, NEW YORK		CAD File: 170117-PROFILES.DWG Layout: ROAD PROFILES Sheet No.: 8 OF 13	
Drawn By: CMF	Checked By: JQ	Scale: 1" = 50'	Tax Map No.: 17-1-83, 84, 85, 86 Drawing No.: B - 17 - 0117 - 01

LEGEND:

PROPERTY LINE
EXISTING CONTOUR MAJOR
EXISTING CONTOUR MINOR
PROPOSED YARD
PROPOSED EDGE OF PAVEMENT
PROPOSED CURB
PROPOSED SIDEWALK
PROPOSED WALL



SEED WITH MIX #3 AS SHOWN ON TABLE 4.4 OF THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL

N/F OPPMANN
L. 12279 P. 241
17 - 1 - 102

20' WIDE DRAINAGE EASEMENT
0.032± AC.
(F.M. NO. 10111)

N02°46'43"E
42.45'

N/F PAGANO
L. 2393 P. 201
17 - 1 - 21

N/F LAKE STATION INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.4

N/F LAKE STATION INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.1

N/F LAKE STATION INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.5

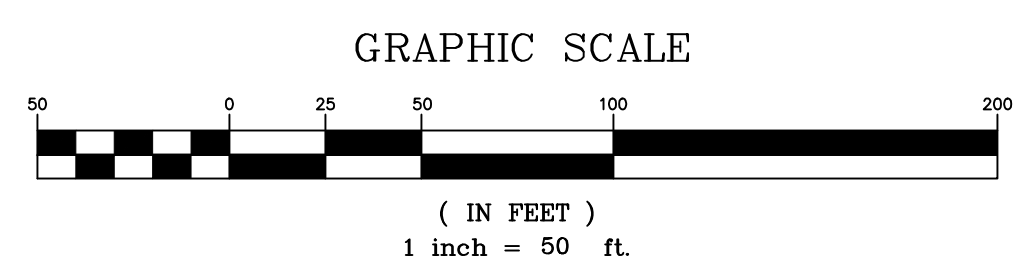
SEED WITH MIX #3 AS SHOWN ON TABLE 4.4 OF THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL

N/F LAKE STATION INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.5

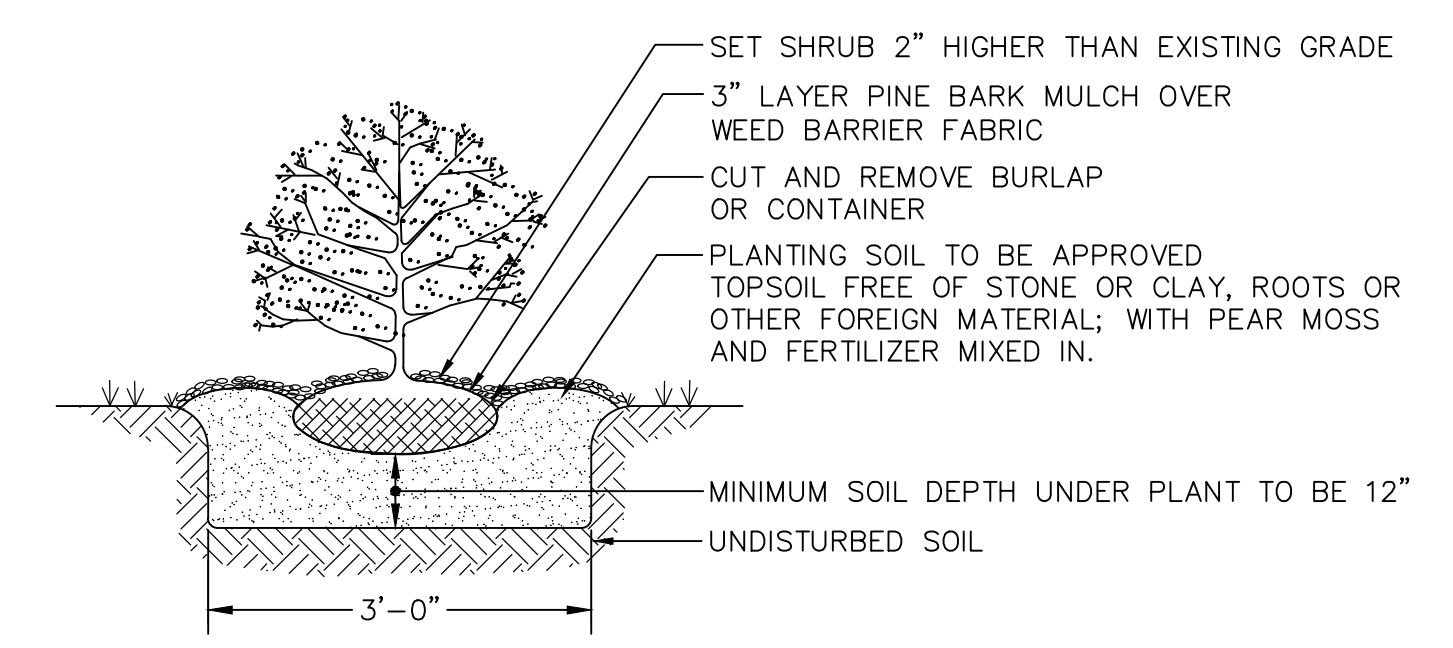
BENT I. ROD FOUND 0.37' NE OF PROPERTY CORNER

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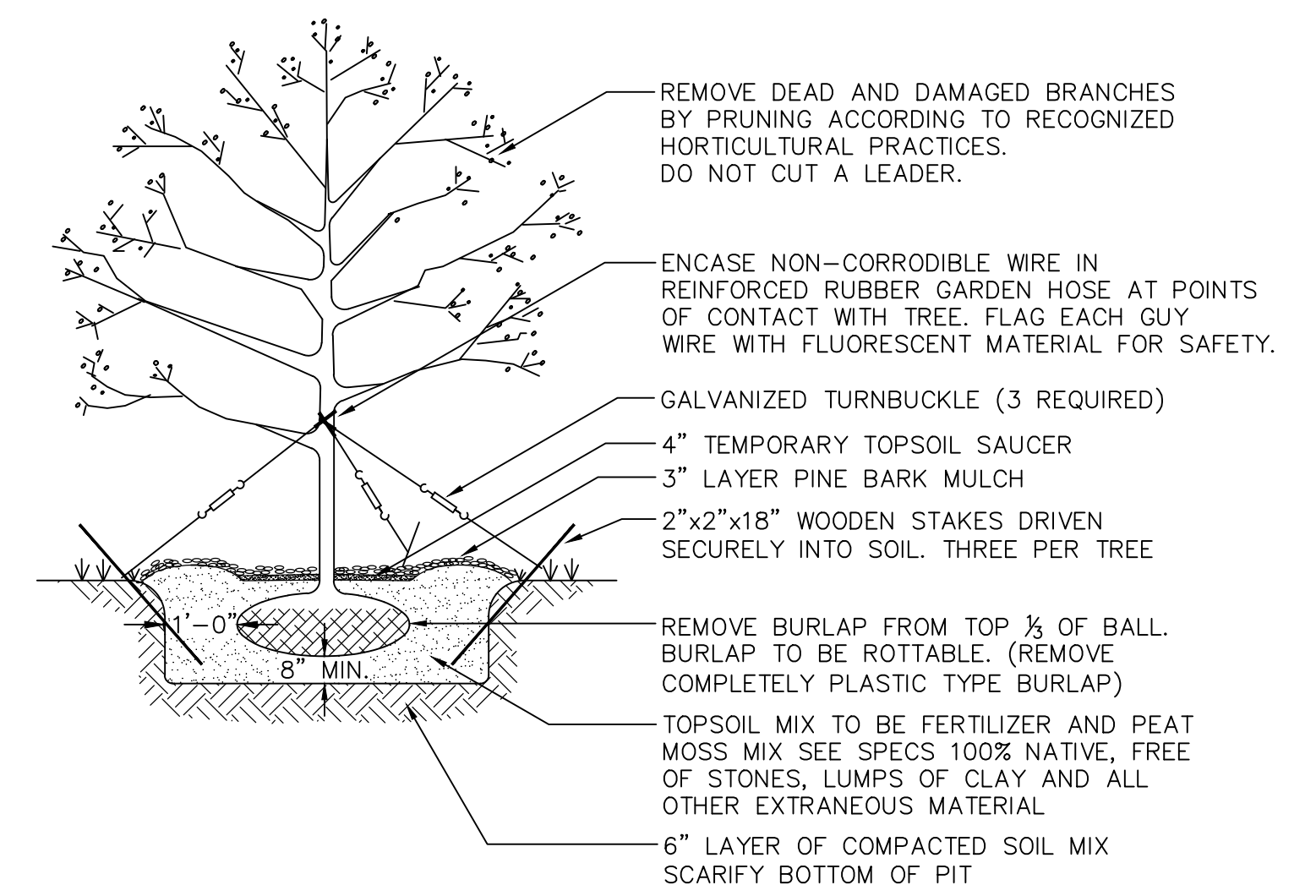
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SITE PLANT SCHEDULE					
KEY	BOTANICAL NAME	COMMON NAME	SIZE, NOTES	QUANTITY	SYMBOL
DECIDUOUS TREES					
AR	ACER RUBRUM "RED SUNSET"	RED SUNSET RED MAPLE	2-1/2" CAL MIN, B&B	6	
QP	QUERCUS PALUSTRIS	PIN OAK	2-1/2" CAL MIN, B&B	16	
SHRUBS					
FG	FOTHERGILLA MAJOR	LARGE FOTHERGILLA	18"-24" DIA, CONTAINER	22	



SHRUB PLANTING DETAIL
NOT TO SCALE



DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

LANDSCAPE PLAN
PREPARED FOR

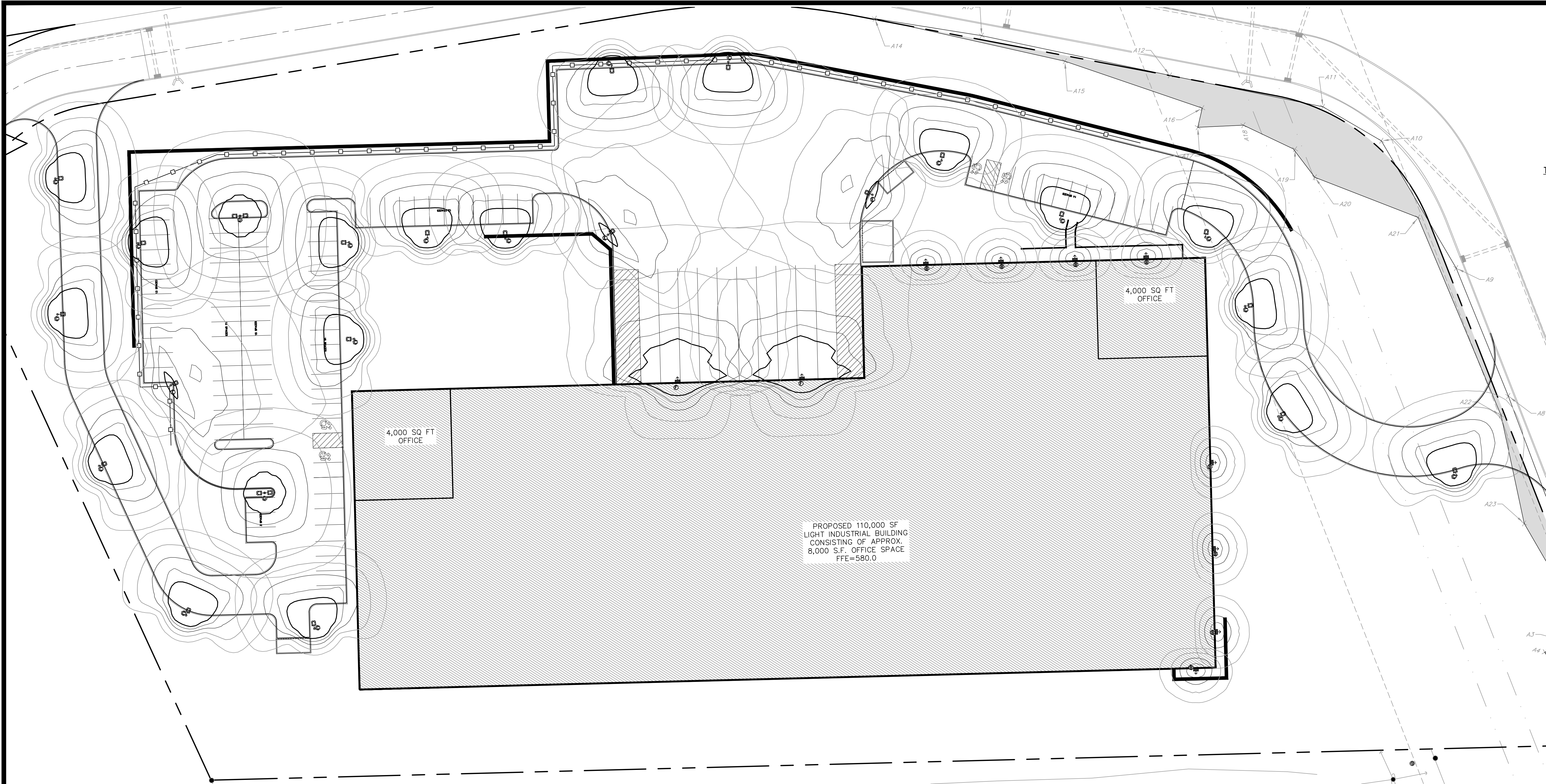
POMEGRANATE
SOLUTIONS, LLC

TOWN OF CHESTER
ORANGE COUNTY, NEW YORK

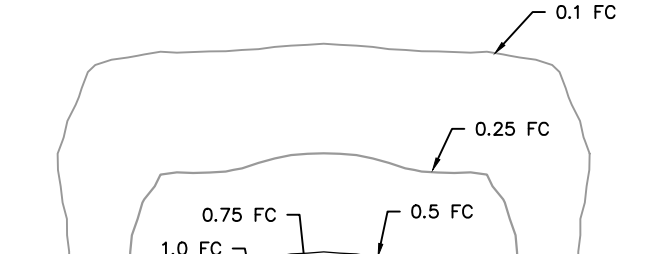
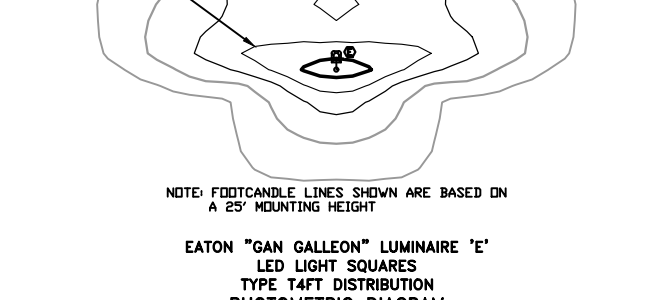
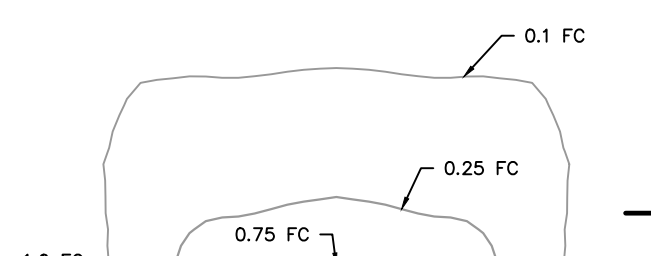
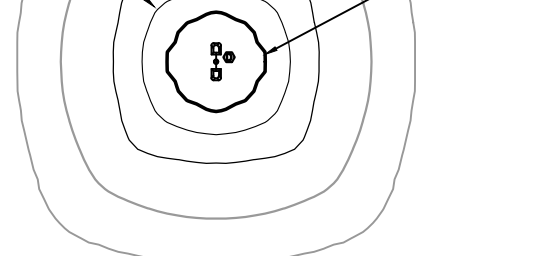
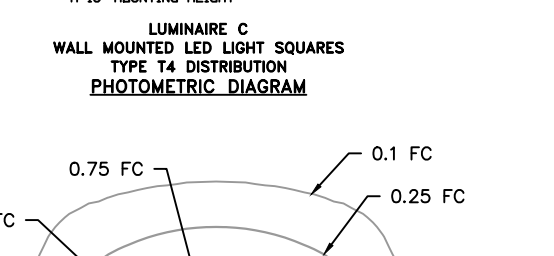
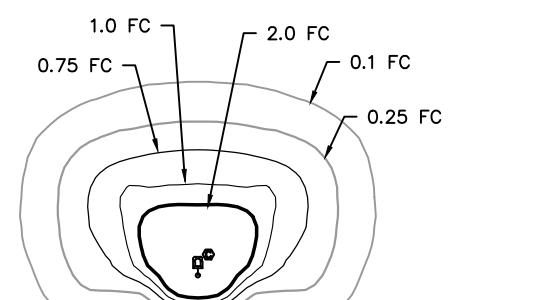
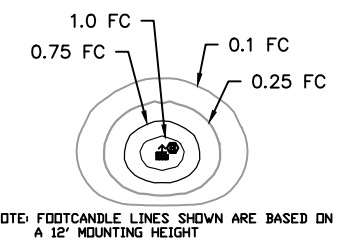
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Checked By: JQ
Scale: 1" = 50'
Tax Map No.: 17- 1-83, 84, 85, 86
Drawing No.: B - 17 - 0117 - 01

Date: FEBRUARY 26, 2020
Revisions:
JULY 21, 2020
OCTOBER 21, 2020
FEBRUARY 17, 2021
MARCH 23, 2021
APRIL 21, 2021
CAD File: 170117-LANDSCAPE PLAN
Layout: LANDSCAPE
Sheet No.: 9 OF 13

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EATON "GAN GALLEON"
LED AREA LUMINAIRE
TYPICAL WALL MOUNT AREA LUMINAIRE



EATON "GAN GALLEON"
LED AREA LUMINAIRE
TYPICAL POLE MOUNT AREA LUMINAIRE

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LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

LIGHTING PLAN
PREPARED FOR

POMEGRANATE SOLUTIONS, LLC
TOWN OF CHESTER
ORANGE COUNTY, NEW YORK

DATE: FEBRUARY 26, 2020
REVISIONS:
JULY 21, 2020
OCTOBER 21, 2020
FEBRUARY 17, 2021
MARCH 23, 2021
APRIL 21, 2021

CAD FILE:
170117-LIGHTING PLAN
LAYOUT
SHEET NO.: 10 OF 13
DRAWING NO.: C3D
B - 17 - 0117 - 01

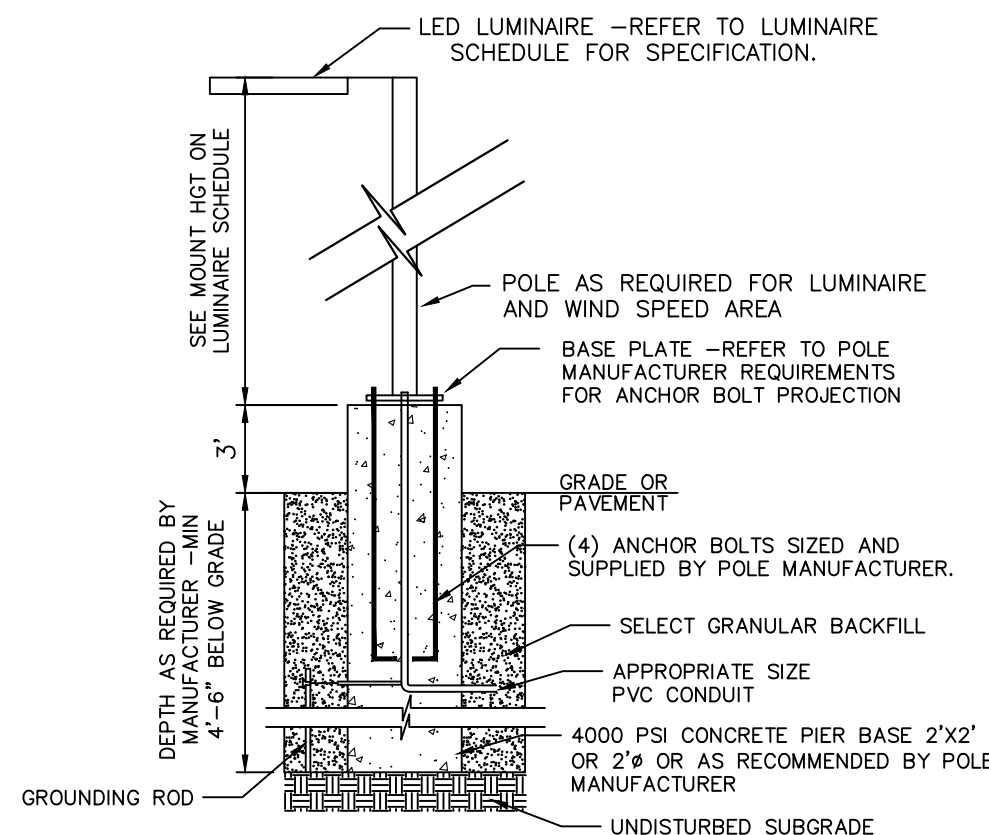
Drawn By: CMF
Checked By: JQ
Scale: 1" = 30'
Tax Map No.: 17-1-83, 84, 85, 86

LEGEND:

PROPERTY LINE	---
PROPOSED EDGE OF PAVEMENT	==
PROPOSED CURB	==
PROPOSED SIDEWALK	==
PROPOSED WALL	==

LIGHTING NOTES:

- ALL LIGHTING SHOWN ON THIS PLAN SHALL BE DIRECTED AND/OR SHIELDED SO AS TO PRECLUDE OBJECTIONABLE GLARE FROM BEING OBSERVABLE FROM ADJOINING STREETS AND PROPERTIES.
- NO SUBSTITUTIONS OF THE SITE LUMINAIRES SHOWN ON THIS LIGHTING PLAN SHALL BE PERMITTED WITHOUT REVIEW AND AUTHORIZATION FROM THE DESIGN ENGINEER TO VERIFY CONFORMANCE WITH THE DESIGN INTENT.
- REFER TO LUMINAIRE SCHEDULE FOR CATALOG NUMBER.
- POLES TO BE DETERMINED AS REQUIRED BY LUMINAIRE MANUFACTURER.
- NO ADDITIONAL EQUIPMENT OR ATTACHMENTS SHALL BE PERMITTED ON LIGHT POLES WITHOUT APPROVAL OF DESIGN ENGINEER. EQUIPMENT INCLUDES BUT IS NOT LIMITED TO BANNERS, FLAGS, ADDITIONAL LUMINAIRES OTHER THAN SPECIFIED ON THIS PLAN, AND SECURITY CAMERAS.
- FINISH OF ALL LUMINAIRES AND POLES SHALL BE SELECTED BY OWNER.
- THIS LIGHTING PLAN SHOWS ARCHITECTURAL BUILDING MOUNTED LUMINAIRES. ACTUAL LUMINAIRES TO BE INSTALLED SHALL BE CONFIRMED WITH THE OWNER AND ARCHITECT AT THE TIME OF CONSTRUCTION. NO LIGHTING PLAN RECALCULATIONS ARE REQUIRED FOR BUILDING MOUNTED ARCHITECTURAL LUMINAIRES.
- CALCULATION VALUES SHOWN ON THIS PLAN ARE TAKEN ON A HORIZONTAL PLAIN AT GROUND LEVEL. TOPOGRAPHICAL INFORMATION HAS NOT BEEN ACCOUNTED FOR IN THESE CALCULATIONS.
- LIGHTING CALCULATIONS SHOWN ARE BASED UPON DATA FILES PROVIDED BY THE LUMINAIRE MANUFACTURER. ACTUAL PERFORMANCE OF LUMINAIRES AFTER INSTALLATION MAY VARY DUE TO UNCONTROLLABLE FIELD CONDITIONS.
- CONTRACTOR SHALL REVIEW WITH OWNER PRIOR TO ORDERING LUMINAIRES TO DETERMINE IF PHOTOCELL LIGHTING CONTROL IS DESIRED. AT A MINIMUM A TIMECLOCK SYSTEM SHALL BE UTILIZED FOR LIGHTING CONTROL. ADDITIONAL PHOTOCELL LIGHTING CONTROL IS RECOMMENDED TO ENSURE LUMINAIRES ARE ONLY ILLUMINATED AS AMBIENT LIGHT CONDITIONS WARRANT.



LIGHT POLE BASE DETAIL
NOT TO SCALE

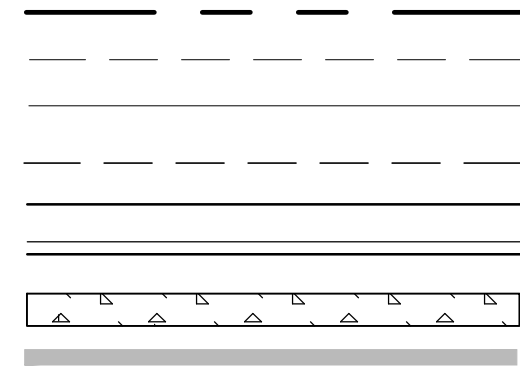


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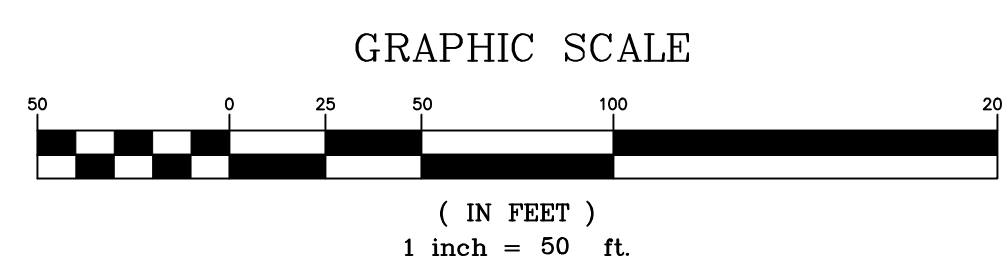
LEGEND:

- PROPERTY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- PROPOSED YARD
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CURB
- PROPOSED SIDEWALK
- PROPOSED WALL



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TRUCK TURN ANALYSIS

PREPARED FOR

POMEGRANATE SOLUTIONS, LLC

TOWN OF CHESTER

ORANGE COUNTY, NEW YORK

Date: FEBRUARY 26, 2020

Revisions: JULY 21, 2020
OCTOBER 21, 2020
FEBRUARY 17, 2021
MARCH 23, 2021
APRIL 21, 2021

CAD File: 170117-TURNING DIAGRAMS

Layout: TRUCK

Sheet No.: 11 OF 13

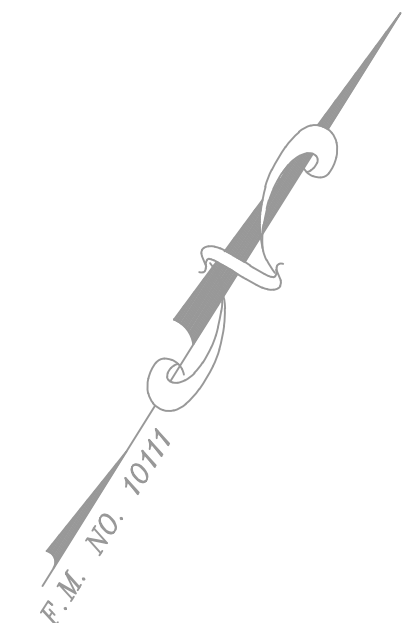
Drawing No.: C3D

Drawn By: CMF

Checked By: JQ

Scale: 1" = 50'

Tax Map No.: 17-1-83, 84, 85, 86



20' WIDE DRAINAGE EASEMENT 0.032± AC. (F.M. NO. 10111)

N02°46'43"E 42.45'

BENT I. ROD FOUND 0.40' SE OF PROPERTY CORNER

N/F PAGANO L. 2393 P. 201 17 - 1 - 21

N/F LAKE STATION INDUSTRIAL PARK, INC L. 11823 P. 744 17 - 1 - 22.4

N/F LAKE STATION INDUSTRIAL PARK, INC L. 11823 P. 744 17 - 1 - 22.1

N/F LAKE STATION INDUSTRIAL PARK, INC L. 11823 P. 744 17 - 1 - 22.5

BENT I. ROD FOUND 0.37' NE OF PROPERTY CORNER

N/F POMEGRANATE SOLUTIONS, LLC L. 14287 P. 537 17 - 1 - 45.1

DAVIDSON DRIVE

PROPOSED 110,000 SF LIGHT INDUSTRIAL BUILDING CONSISTING OF APPROX. 8,000 S.F. OFFICE SPACE FFE=580.0

PROPOSED 4,000 SF OFFICE SPACE

PROP SEPTIC TANK AND PUMP CHAMBER

PROPOSED DOCKS (10 TOTAL)

FEDERAL WETLAND "A" AREA: 0.170± AC

WETLAND AREA: 0.171 AC±

N/F DI SUGAR LOAF LLC L. 12159 P. 627 17 - 1 - 82

CENTRAL HUDSON GAS & ELECTRIC EASEMENT (F.M. NO. 10111)

BAT RE, INC. L. 13289 P. 1226 17 - 1 - 16.1

EXISTING SEWAGE DISPOSAL SYSTEM (PRESUMED LOCATION)

MANHOLE

GUY ANCHORS

PIPE FOUND

UTILITY TOWER

GATE POST

GATE POST

VEHICLE BODY PATH

VEHICLE TIRE PATH

VEHICLE BODY PATH

VEHICLE TIRE PATH

VEHICLE BODY PATH

VEHICLE TIRE PATH

VEHICLE BODY PATH

VEHICLE TIRE PATH

VEHICLE BODY PATH

VEHICLE TIRE PATH

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VEHICLE BODY PATH

VEHICLE TIRE PATH

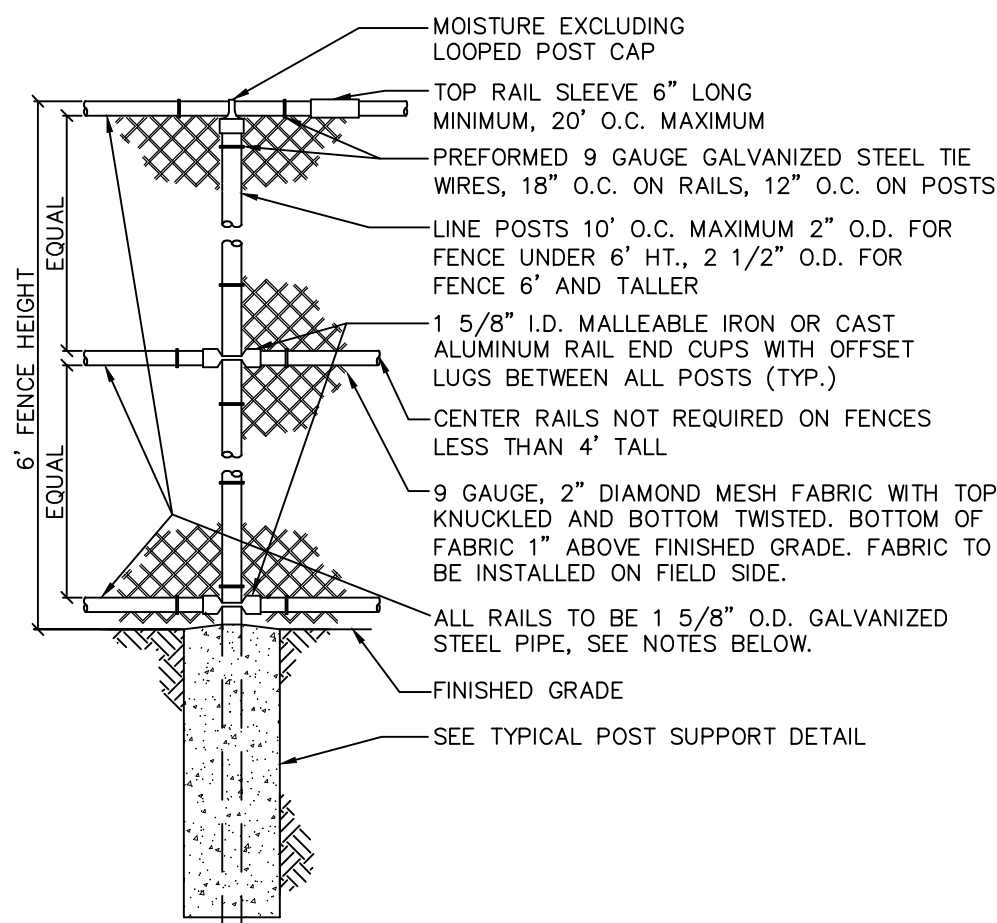
VEHICLE BODY PATH

VEHICLE TIRE PATH

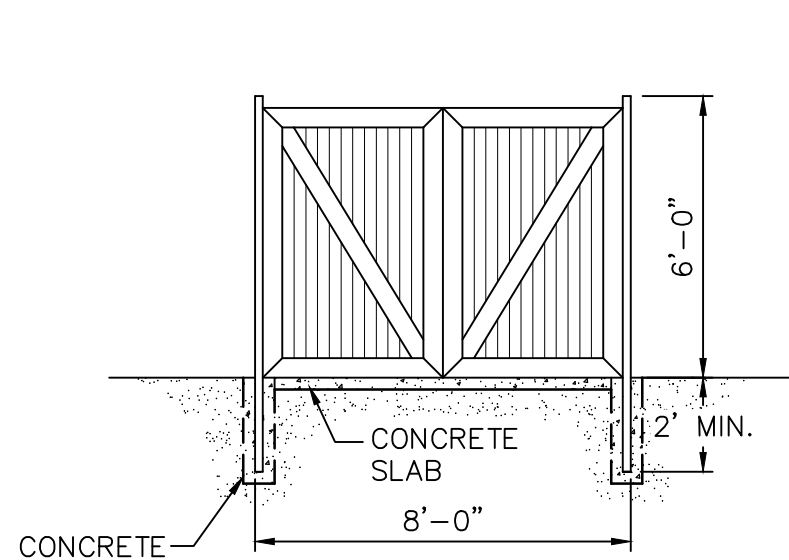
VEHICLE BODY PATH

VEHICLE TIRE PATH

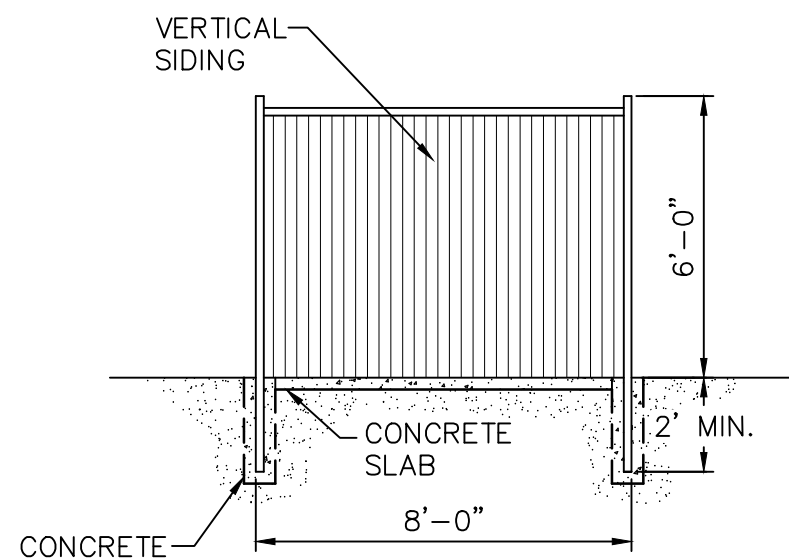
VEHICLE BODY PATH



CHAIN LINK FENCE DETAIL
NOT TO SCALE



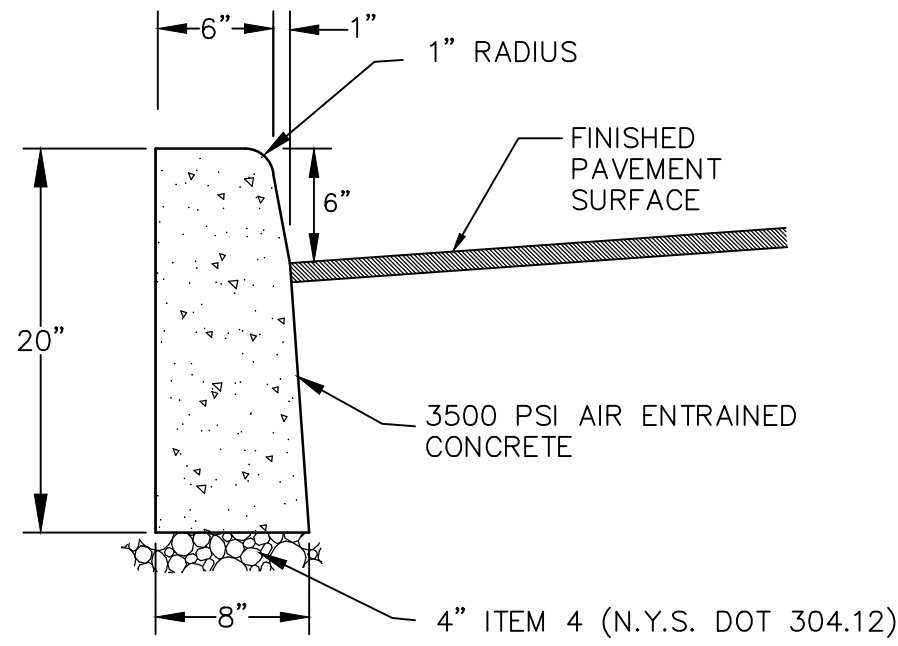
**PICK UP
ENTRANCE**



**ENCLOSED
SIDES**

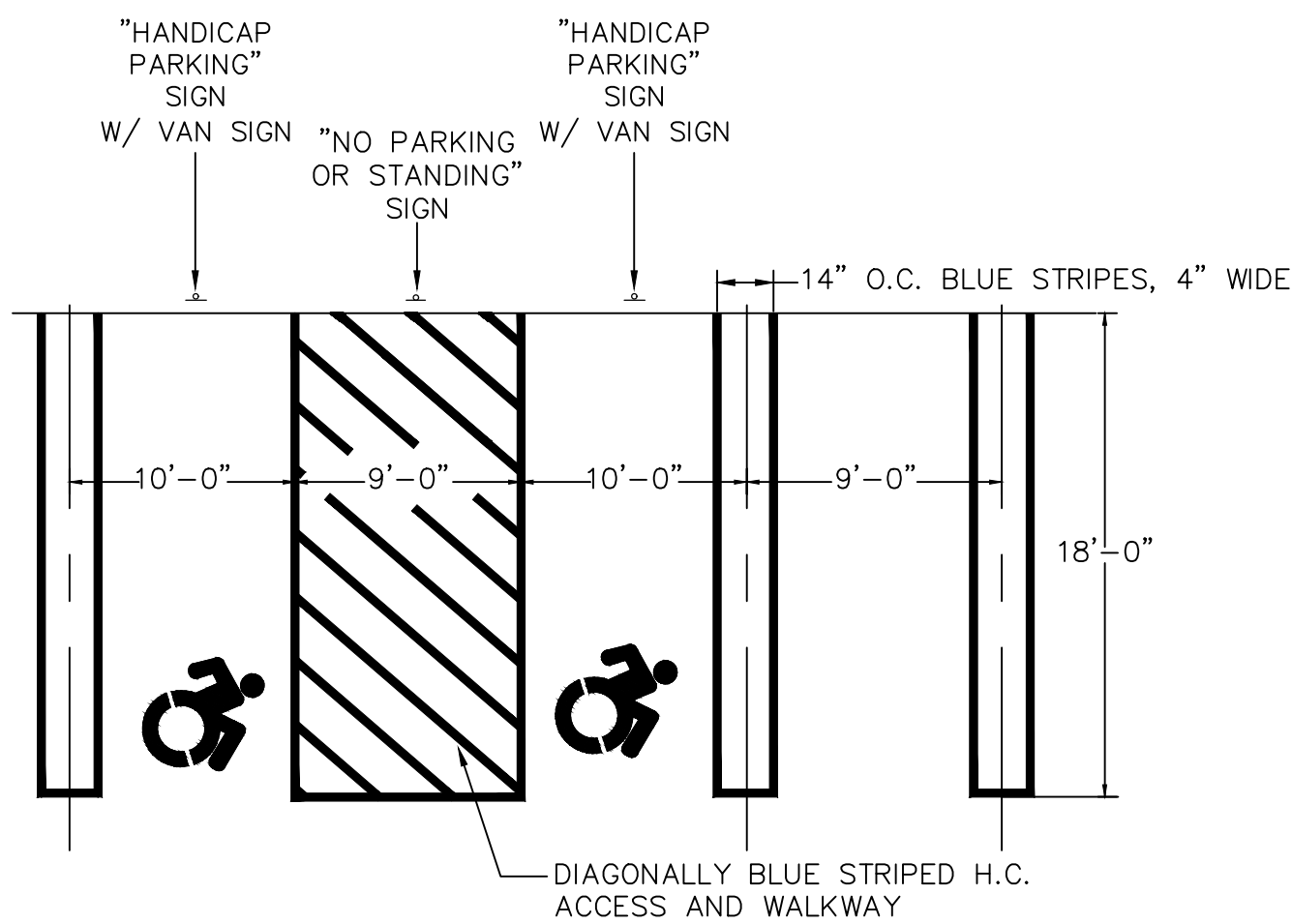
REFUSE STORAGE ENCLOSURE DETAIL

NOT TO SCALE

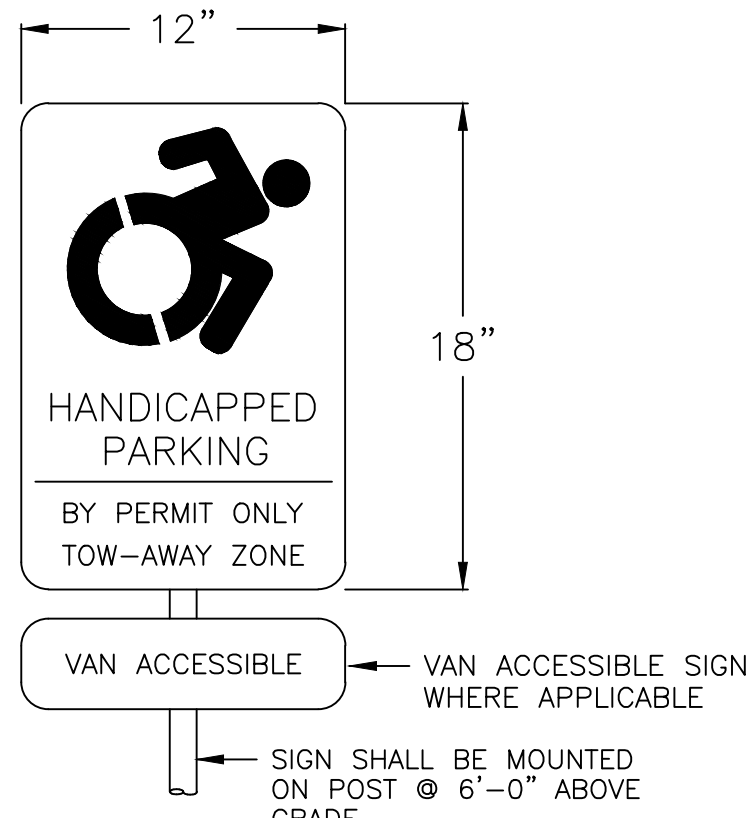


CONCRETE CURB

NOT TO SCALE



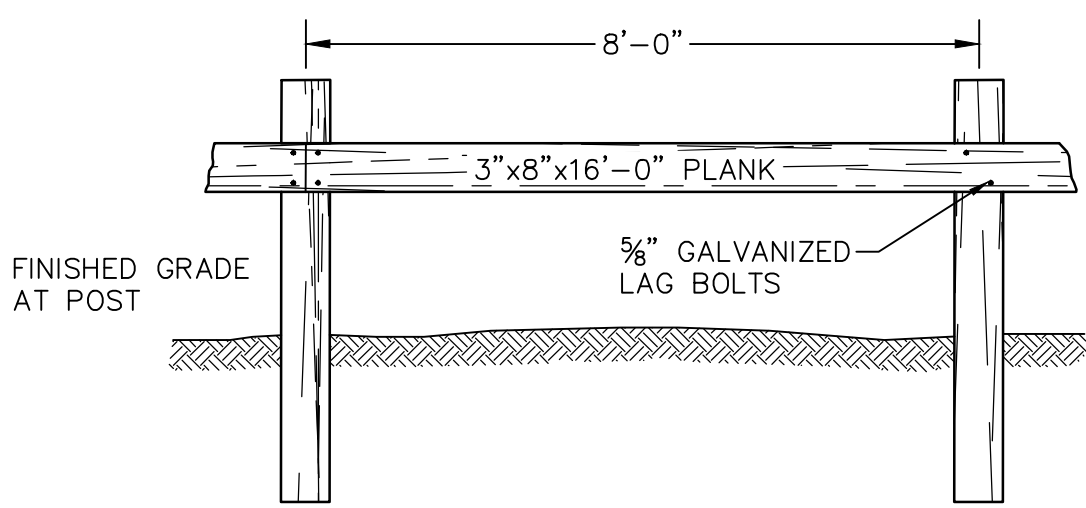
PARKING SPACE STRIPING DETAIL



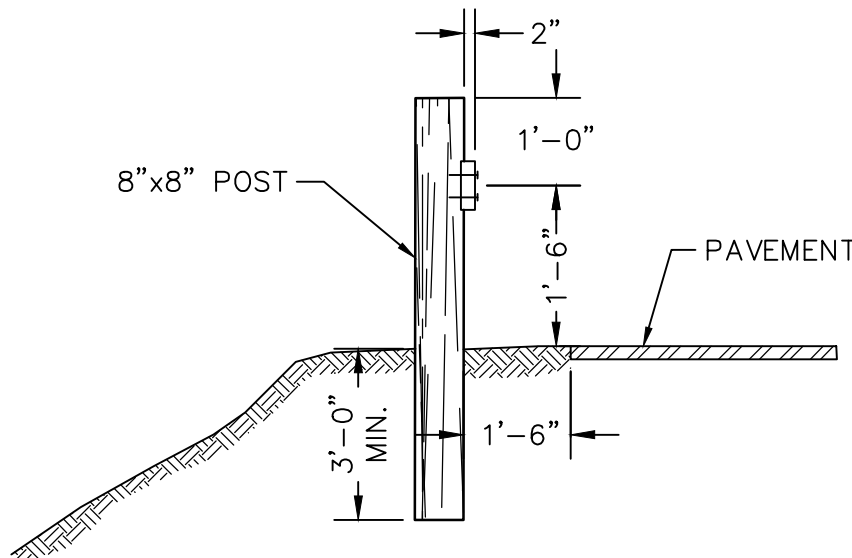
HANDICAP SIGN

SIGN & STRIPE DETAILS

NOT TO SCALE



ELEVATION

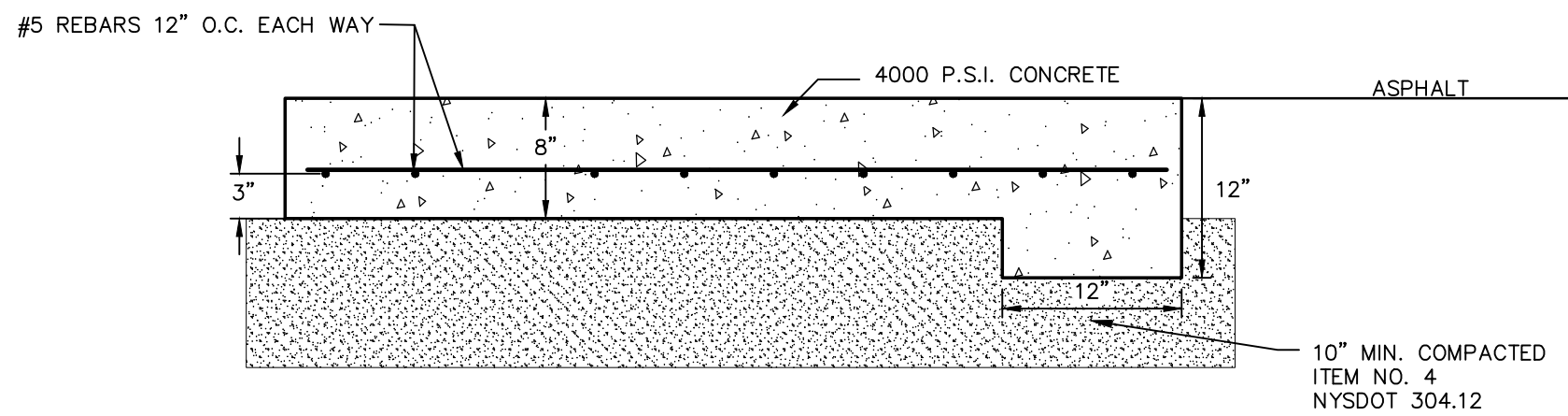


SECTION

NOTE:
ALL WOOD TO BE PRESSURE TREATED.

WOOD GUIDE RAIL

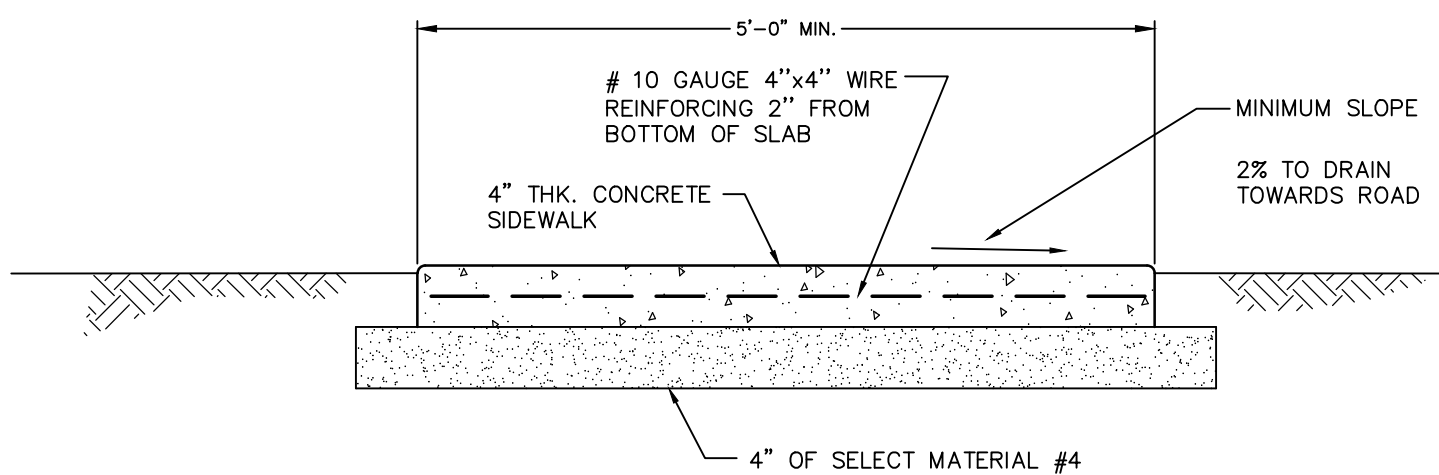
NOT TO SCALE



- NOTES:
1. CONCRETE APRON SHALL BE INCREASED TO 12\"
 2. ITEM NO. 4 SUBBASE TO BE COMPACTED TO 95% PROCTOR.
 3. CONCRETE SHALL BE 4,000 PSI 5% AIR ENTRAINMENT.
 4. EXPANSION JOINTS OF 3/16\"
 5. CONCRETE SHALL BE CURED AND SEALED. REFER TO PENSKE SPECIFICATIONS FOR REQUIREMENT.
 6. BROOM FINISH TOP SURFACE.

DUMPSTER ENCLOSURE CONCRETE PAD DETAIL

NOT TO SCALE



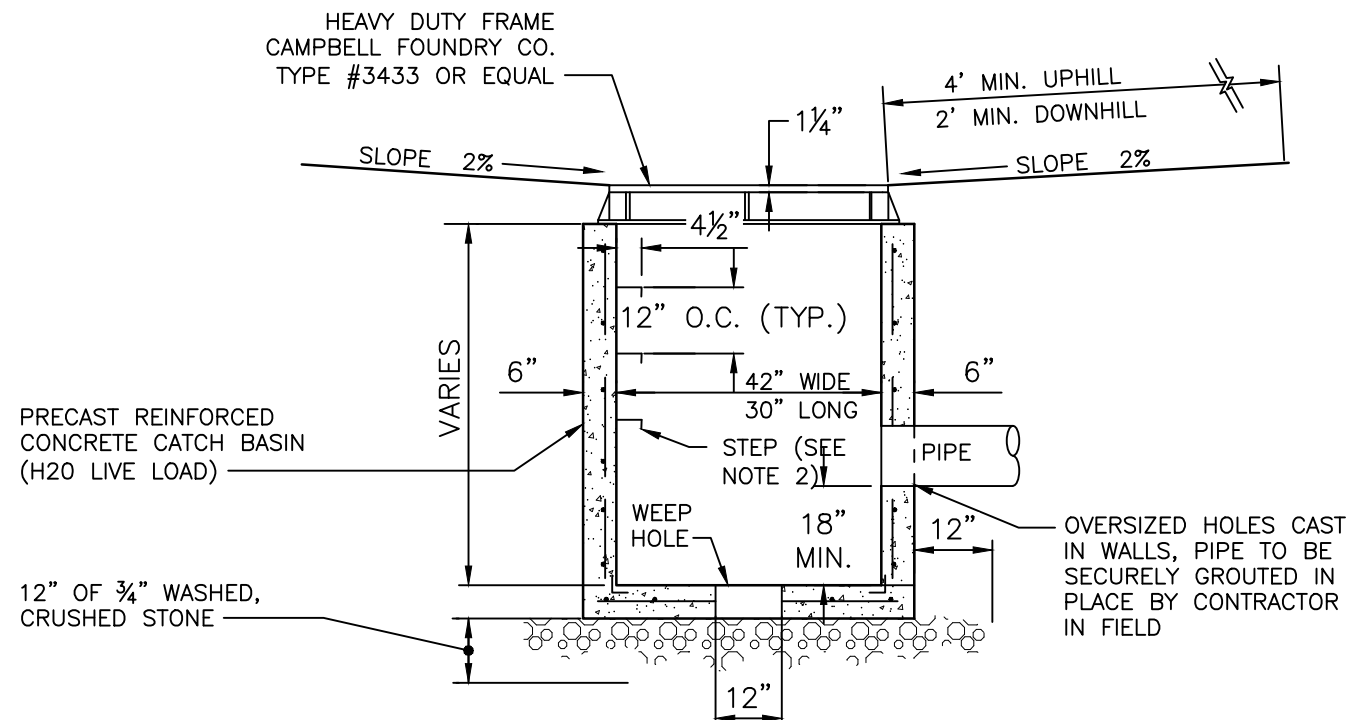
- NOTES:
1. EXPANSION JOINTS OF 3/4\"
 2. CONTRACTION JOINTS 1\"
 3. EDGES SHALL HAVE 1/2\"
 4. USE 4000 PSI CONCRETE.
 5. BROOM FINISH TOP SURFACE.

STANDARD SIDEWALK DETAIL

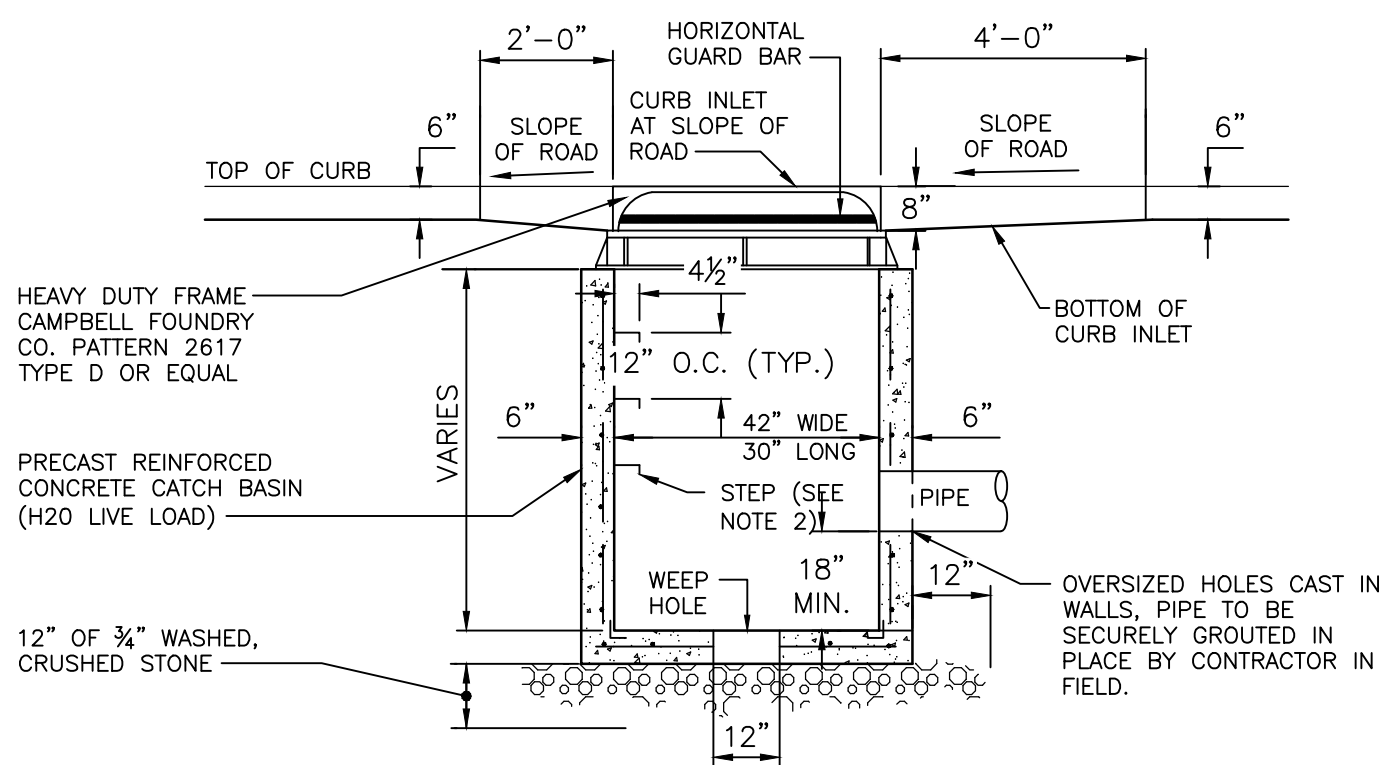
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FLAT TOP CATCH BASIN



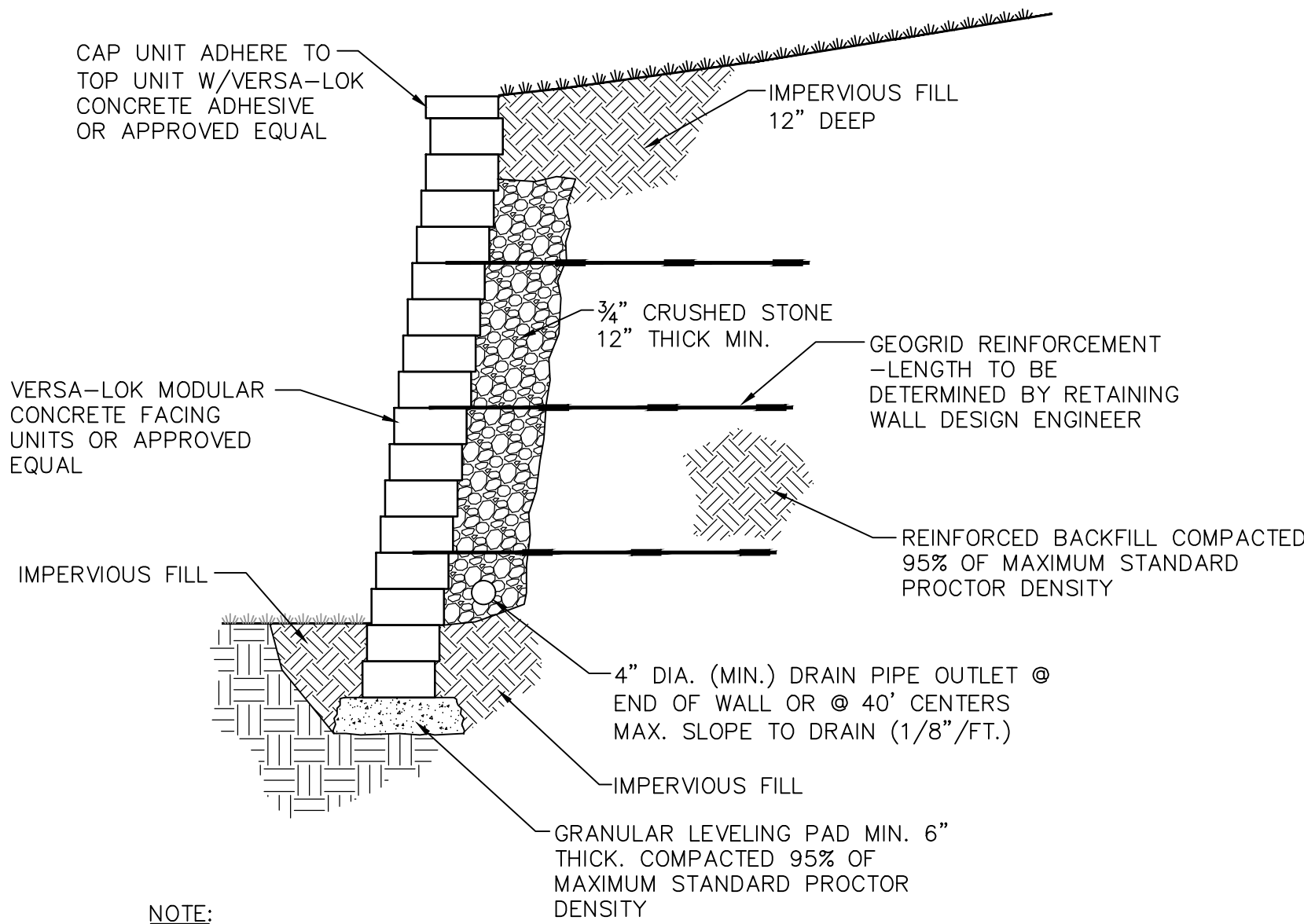
CURB TOP CATCH BASIN

CATCH BASINS

NOT TO SCALE

NOTES:

1. CONCRETE STRENGTH: 4000 P.S.I. @ 28 DAYS.
2. STEPS TO BE COPOLYMER POLYPROPYLENE PLASTIC WITH 1/2\"
3. THE ENDS OF ALL PIPES SHALL BE CUT OFF FLUSH WITH THE INSIDE SURFACE OF THE CATCH BASIN.

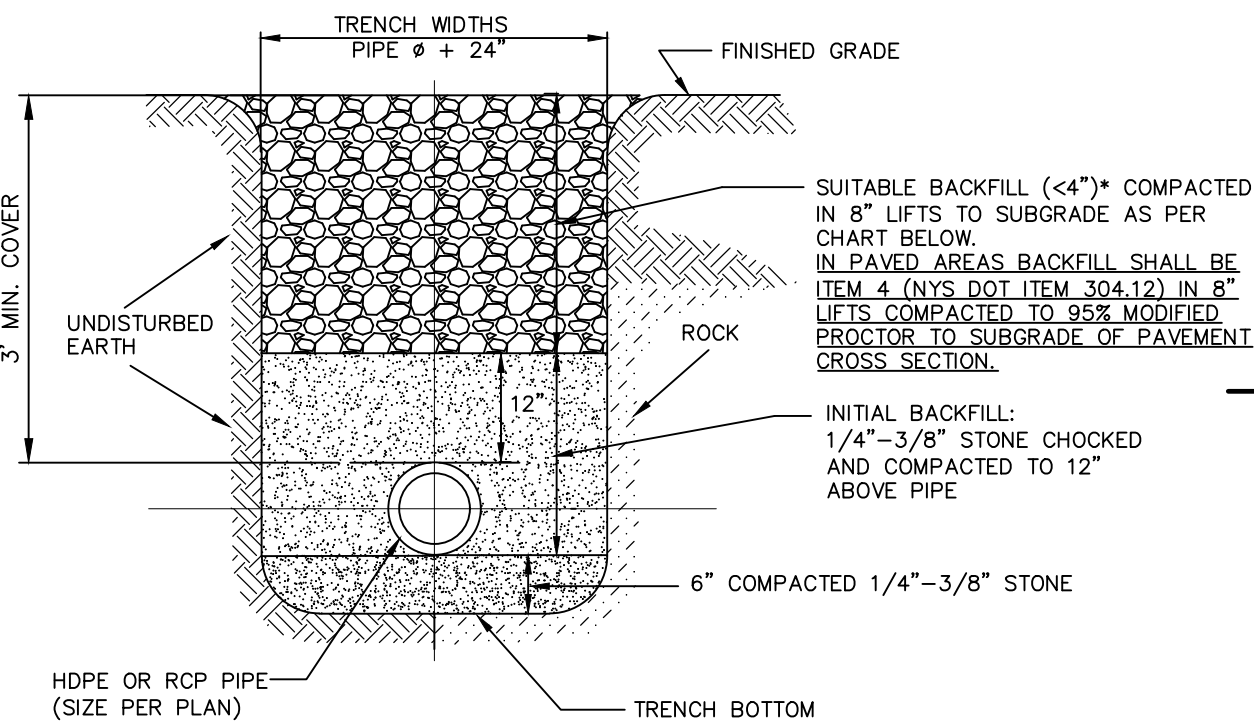


NOTE:

1. WALL SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
2. CONTRACTOR TO PROVIDE ACTUAL WALL DESIGN SIGNED AND SEALED BY NEW YORK STATE LICENSED ENGINEER FOR REVIEW AND APPROVAL PRIOR TO WALL CONSTRUCTION.

TYPICAL SECTION-REINFORCED RETAINING WALL

NOT TO SCALE



EARTH OR ROCK EXCAVATION

ACCEPTABLE BACKFILL MATERIAL & COMPACTION REQUIREMENTS			
DESCRIPTION	SOIL CLASSIFICATION ASTM D2321	ASTM D2487	MINIMUM STANDARD PROCTOR DENSITY %
GRADED OR CRUSHED, CRUSHED STONE, GRAVEL	CLASS I	5	56
SAND, GRAVELS AND GRAVEL/SAND MIXTURES; LITTLE OR NO FINES	CLASS II	6	85%
SILTY OR CLAYEY GRAVELS, GRAVEL/SAND/SILT OR GRAVEL AND CLAY MIXTURES; SILTY OR CLAYEY SANDS, SAND/CLAY OR SAND/SILT MIXTURES	CLASS III	SC	90%

NOTE: INORGANIC SILTS, CLAYS, AND OTHER CLASS IV MATERIAL SHALL NOT PERMITTED.
• BACKFILL SHALL CONTAIN NO STONES OVER 4\"

STORM SEWER TRENCH CROSS SECTION

NOT TO SCALE

LANC & TULLY
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P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

DATE: FEBRUARY 26, 2020

REVISIONS:
JULY 21, 2020
OCTOBER 21, 2020
FEBRUARY 17, 2021
MARCH 23, 2021
APRIL 21, 2021

CONSTRUCTION DETAILS
PREPARED FOR

POMEGRANATE SOLUTIONS, LLC

TOWN OF CHESTER
ORANGE COUNTY, NEW YORK

Drawn By: CMF

Checked By: JQ

Scale: N.T.S.

Tax Map No.: 17-1-83, 84, 85, 86

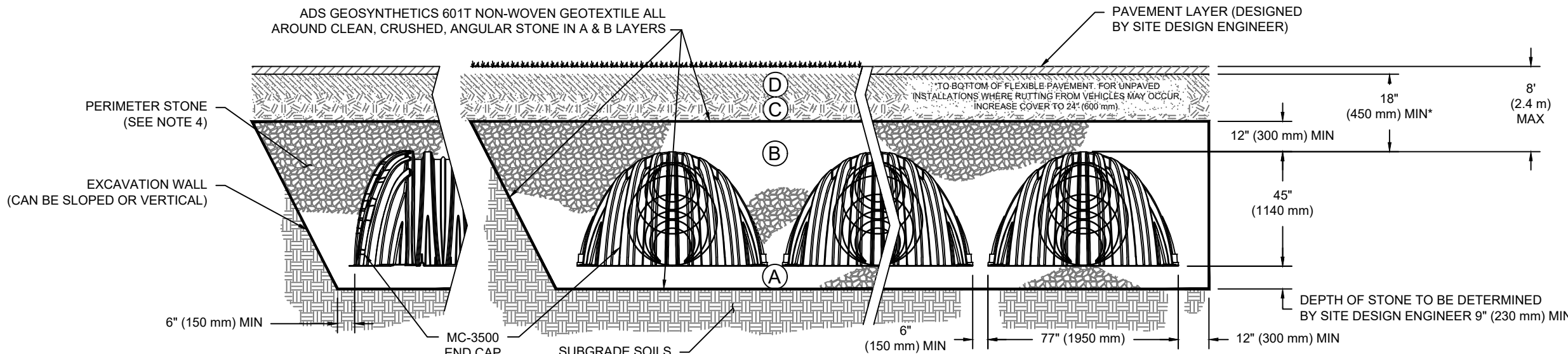
Drawing No.: C3D

Sheet No.: 12 OF 13

ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS

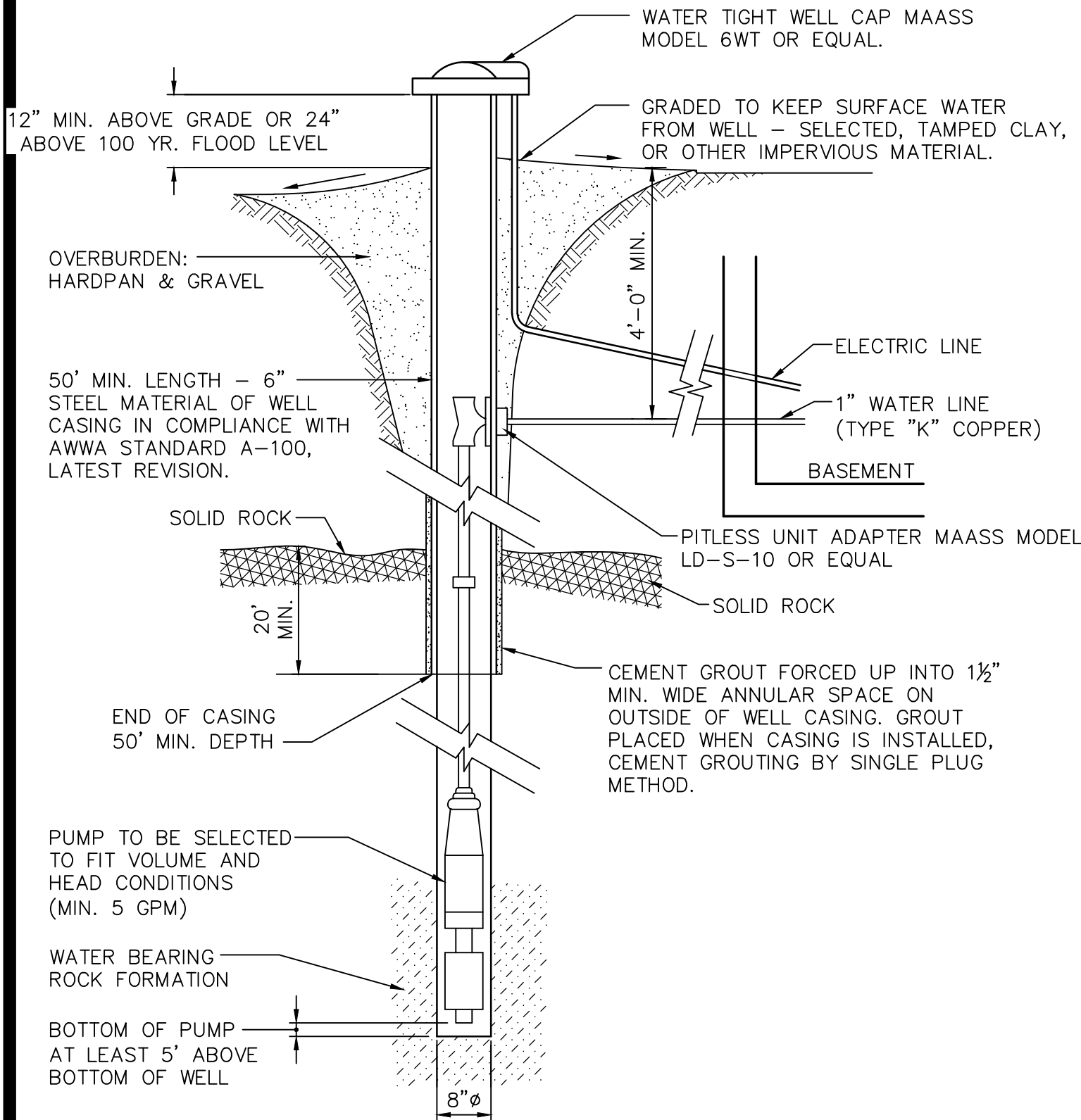
MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43 ² 3, 4
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43 ² 3, 4

PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR A LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) MAX LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
4. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



NOTES:

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16a, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 45x76 DESIGNATION SS.
- MC-3500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 500 LBS/IN/IN. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.



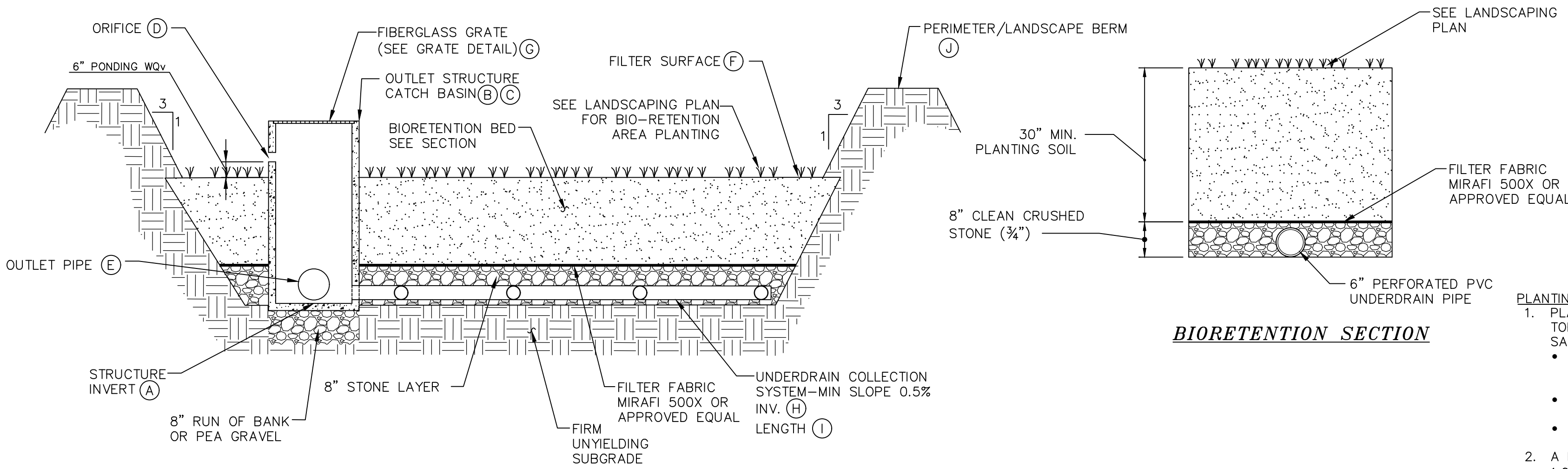
TYPICAL WELL DETAIL

NOT TO SCALE

- NOTES:
- MINIMUM 5 GPM WELL YIELD.
 - ANTICIPATED DEPTH OF WELL APPROXIMATELY 300'±.
 - THE MINIMUM DIAMETER OF THE WELL DRILL HOLES SHALL BE 6" IN DIAMETER.

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SECTION

BIO-RETENTION AREA DETAIL

NOT TO SCALE

BIORETENTION AREA MAINTENANCE REQUIREMENTS:
INSPECTION SHALL BE MADE WEEKLY BY A LICENSED PROFESSIONAL AND AFTER EVERY 1/2" RAINFALL EVENT BY THE OWNER OR CONTRACTOR DURING CONSTRUCTION. DURING THE FIRST GROWING SEASON INSPECTIONS SHALL BE CONDUCTED MONTHLY AND BI ANNUALLY THEREAFTER. THE FOLLOWING TASKS SHALL BE PERFORMED AS NEEDED:

- REMOVAL OF ACCUMULATED SEDIMENT AND CLEANING AND/OR RESTORATION OF THE FILTER BED AREAS WHENEVER ACCUMULATED SEDIMENT REACHES A DEPTH OF 1 INCH.
- RESTORATION OF ANY DISTURBED PLANT MATERIAL AND ANY ERODED EMBANKMENTS. REPLACEMENT OF PROPOSED PLANTS SHALL OCCUR IF MORE THEN 50% OF THE COVERAGE OF THE FACILITY IS NOT ACHIEVED.
- REMOVAL OF ACCUMULATED DEBRIS WITHIN THE FILTER BED AREAS AND AT ALL INLET AND OUTFALL STRUCTURES.
- ANNUAL MOWING (EARLY WINTER) OF THE BASINS. TRIMMING AND PRUNING OF BUSHES. REMOVAL OF ANY FALLEN TREES OR LIMBS.
- WHEN THE FILTERING CAPACITY OF THE FILTER DIMINISHES SUBSTANTIALLY (I.E., WHEN WATER PONDS ON THE SURFACE OF THE FILTER BED FOR MORE THAN 48 HOURS), THE TOP FEW INCHES OF DISCOLORED MATERIAL SHALL BE REMOVED AND SHALL BE REPLACED WITH FRESH MATERIAL. THE REMOVED SEDIMENTS SHALL BE DISPOSED IN AN ACCEPTABLE MANNER (I.E., LANDFILL).
- REFER TO LANDSCAPING PLANS FOR PLANTING REQUIREMENTS. IF FOR ANY REASON A CONFLICT OF PLANT MATERIAL OR PLANT MAINTENANCE SHOULD OCCUR, THE LANDSCAPE PLANS ARE TO TAKE PRECEDENCE.

BIORETENTION SECTION

PLANTING SOIL NOTES:

- PLANTING SOIL MIX: 4 PARTS TOPSOIL, 3 PARTS CONCRETE SAND, 1 PART COMPOST
 - LOAMY SAND TOPSOIL: 80%
 - SAND, 10% SILT, 7% CLAY, 3% COMPOST
 - CONCRETE SAND: NYSDOT CONCRETE SAND
 - COMPOST: 50% ORGANIC MATTER
- A PERMEABILITY OF AT LEAST 1.0 FEET PER DAY (0.5"/HR) IS REQUIRED (A CONSERVATIVE VALUE OF 0.5 FEET PER DAY IS USED FOR DESIGN).
- THE SOIL SHOULD BE FREE OF STONES, STUMPS, ROOTS, OR OTHER WOODY MATERIAL OVER 1" IN DIAMETER. BRUSH OR SEEDS FROM NOXIOUS WEEDS.
- PLACEMENT OF THE PLANTING SOIL SHOULD BE IN LIFTS OF 12 TO 18", LOOSELY COMPACTED (TAMPED LIGHTLY WITH A DOZER OR BACKHOE BUCKET).

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CONSTRUCTION DETAILS 2 PREPARED FOR		Date: FEBRUARY 26, 2020 Revisions: JULY 21, 2020 OCTOBER 21, 2020 FEBRUARY 17, 2021 MARCH 23, 2021 APRIL 21, 2021	
POMEGRANATE SOLUTIONS, LLC		CADD File: 170117-DETAILS.DWG Layout: DETAILS Sheet No.: 13 OF 13	
TOWN OF CHESTER ORANGE COUNTY, NEW YORK		Drawing No.: C3D B - 17 - 0117 - 01	
Drawn By: CMF	Checked By: JQ	Scale: N.T.S.	Tax Map No.: 17-1-83, 84, 85, 86