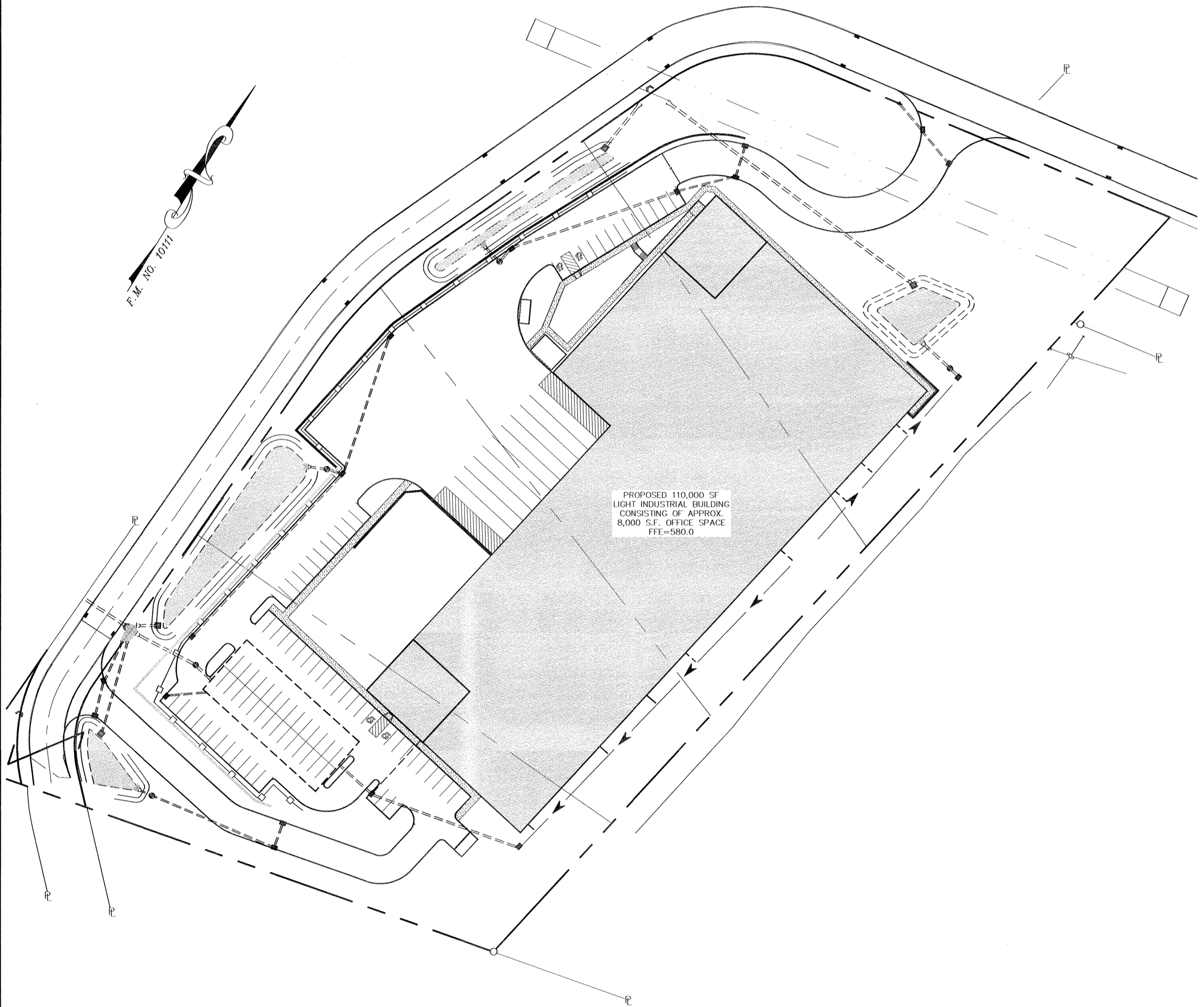


SITE PLAN FOR POMEGRANATE SOLUTIONS, LLC

TOWN OF CHESTER
ORANGE COUNTY, NEW YORK

GENERAL NOTES:

1. TAX MAP DESIGNATION: SECTION 17, BLOCK 1, LOT 83-86
2. TOTAL AREA: 8.726± ACRES
3. DEED REFERENCE: LIBER 14287 PAGE 537 OF DEEDS AS RECORDED IN THE ORANGE COUNTY CLERK'S OFFICE.
4. ZONING DISTRICT: IP - INDUSTRIAL PARK
5. EXISTING LOTS TO BE CONSOLIDATED
6. TOTAL PROPOSED BUILDING FOOTPRINT SQUARE FOOTAGE: 110,000± SQ. FT.
7. LOTS TO BE SERVICED BY ON-SITE INDIVIDUAL WELL FOR POTABLE WATER SERVICE.
8. LOT TO BE SERVICED BY ON-SITE PRIVATE SUBSURFACE SEWAGE DISPOSAL SYSTEM.
9. ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
10. THE DESIGN AND LOCATION OF SANITARY FACILITIES (WATER AND SEWER SYSTEMS) SHALL NOT BE CHANGED.
11. THE PROPERTY OWNER SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES.
12. SEWAGE DISPOSAL SYSTEMS SHALL NO LONGER BE CONSTRUCTED OR USED WHEN PUBLIC FACILITIES BECOME AVAILABLE. CONNECTION TO THE PUBLIC SEWER SYSTEM IS REQUIRED WITHIN 1 YEAR OF AVAILABILITY.
13. A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER (OR OTHER DESIGN PROFESSIONAL AS ALLOWED BY THE NYS EDUCATION DEPARTMENT) SHALL INSPECT THE SANITARY FACILITIES AT THE TIME OF CONSTRUCTION. THE ENGINEER SHALL CERTIFY TO THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT ANY SEPTIC TANK JOINTS HAVE BEEN SEALED AND TESTED FOR WATER TIGHTNESS.
14. DUE TO THE POTENTIAL FOR THE PRESENCE OF HABITAT FOR INDIANA BATS SPECIES WHICH ARE CONSIDERED TO BE FEDERALLY LISTED AND/OR STATE LISTED AS AN ENDANGERED OR THREATENED SPECIES, APPLICANT WILL SCHEDULE THE NECESSARY TREE CLEARING TO OCCUR BETWEEN OCTOBER 31ST AND MARCH 31ST.
15. NO SITE PREPARATION OR CONSTRUCTION SHALL COMMENCE UNTIL ALL REQUIRED PERMITTING AND APPROVALS HAVE BEEN OBTAINED AND THE APPROVED CLEARING LIMIT BOUNDARY HAS BEEN DELINEATED WITH CONSTRUCTION FENCING THROUGHOUT THE SITE.
16. ALL EXISTING STRUCTURES AND DEBRIS ON SITE SHALL BE REMOVED.
17. THE APPLICANT SHALL BE RESPONSIBLE FOR FINISHING DAVIDSON DRIVE WITH TOP COURSE. IN ADDITION, THE GRATES OF THE EXISTING DRAINAGE STRUCTURES SHALL BE SET TO THE CORRECT FINISHED ELEVATION AND THE CURBS SHALL BE REPAIRED AS NEEDED.
18. EXISTING CATCH BASINS AND STORM DRAINS TO BE CLEANED AND TIED WITH VIDEO SUPPLIED TO TOWN.
19. MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - A. NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", 2008; AS SUPPLEMENTED.
 - B. CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.
 - C. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - D. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
20. GAS, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
21. TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT TOP COURSE.
22. UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
23. STORM SEWER PIPING SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) N-12 OR APPROVED EQUAL AS NOTED. PROPER PIPE COVERAGE PER MANUFACTURER'S SPECIFICATIONS SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
24. TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD, LATEST EDITION).
25. FINAL BUILDING FOOTPRINT DIMENSIONS SHALL BE FURNISHED ON THE ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS AND REQUIREMENTS OF THIS SITE PLAN.
26. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED AND ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED.
27. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO THEIR SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIAL, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
28. THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
29. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS, CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT LANC & TULLY ENGINEERING AND SURVEYING, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OF CORRELATED ITEMS NOT RECEIVED.
30. NEITHER THE PROFESSIONAL ACTIVITIES OF LANC & TULLY ENGINEERING AND SURVEYING, P.C., NOR THE PRESENCE OF LANC & TULLY ENGINEERING AND SURVEYING, P.C. OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. LANC & TULLY ENGINEERING AND SURVEYING, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
31. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENAL TIES ASSESSED WITH RESPECT TO ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
32. THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.



LOCATION PLAN
1 INCH = 1000 FEET

SITE PLAN SHEET INDEX:

1. COVER SHEET
2. EXISTING CONDITIONS
3. SITE PLAN
4. GRADING & UTILITY PLAN
5. SEWAGE DISPOSAL SYSTEM DESIGN
6. EROSION CONTROL PLAN
7. EROSION CONTROL DETAILS
8. ROAD PROFILES PLAN
9. LANDSCAPING PLAN
10. LIGHTING PLAN
11. TRUCK TURN ANALYSIS
12. CONSTRUCTION DETAILS
13. CONSTRUCTION DETAILS 2

RECORD OWNER/APPLICANT:

POMEGRANATE SOLUTIONS, LLC
122 PENN STREET
BROOKLYN, NY 11211

L. 14287 P. 537
17 - 1 - 83
17 - 1 - 84
17 - 1 - 85
17 - 1 - 86

FILED MAP 10111
LOTS 4, 5, 6 & 7

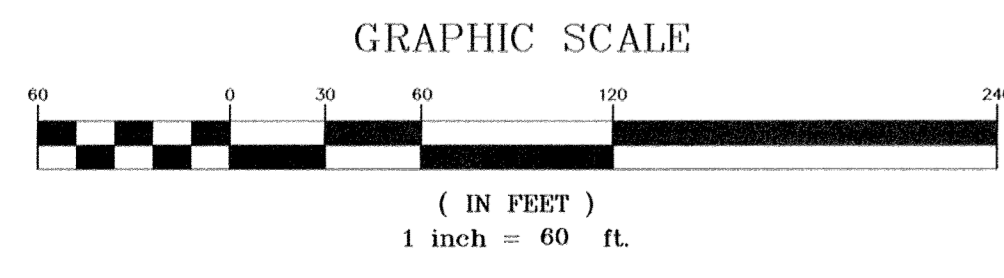
AREAS:

TAX LOT 17 - 1 - 83	2.506± AC.
TAX LOT 17 - 1 - 84	2.146± AC.
TAX LOT 17 - 1 - 85	2.044± AC.
TAX LOT 17 - 1 - 86	2.030± AC.
TOTAL:	8.726± AC.

LEGEND:

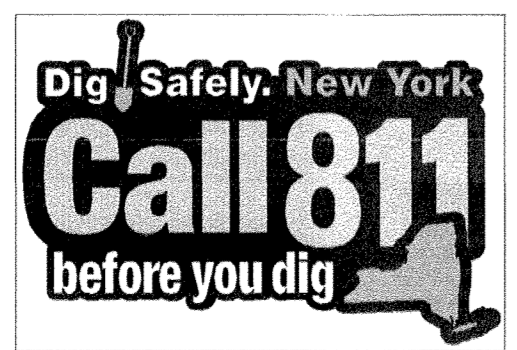
- PROPERTY LINE
ADJOINING PARCEL PROPERTY LINES
PROPOSED EDGE OF PAVEMENT
PROPOSED CURB
PROPOSED SIDEWALK

OVERALL PLAN
1 INCH = 60 FEET



COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.



1&T

LANC & TULLY

ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207

Goshen, N.Y. 10924

(845) 294-3700

COVER SHEET FOR

POMEGRANATE SOLUTIONS, LLC

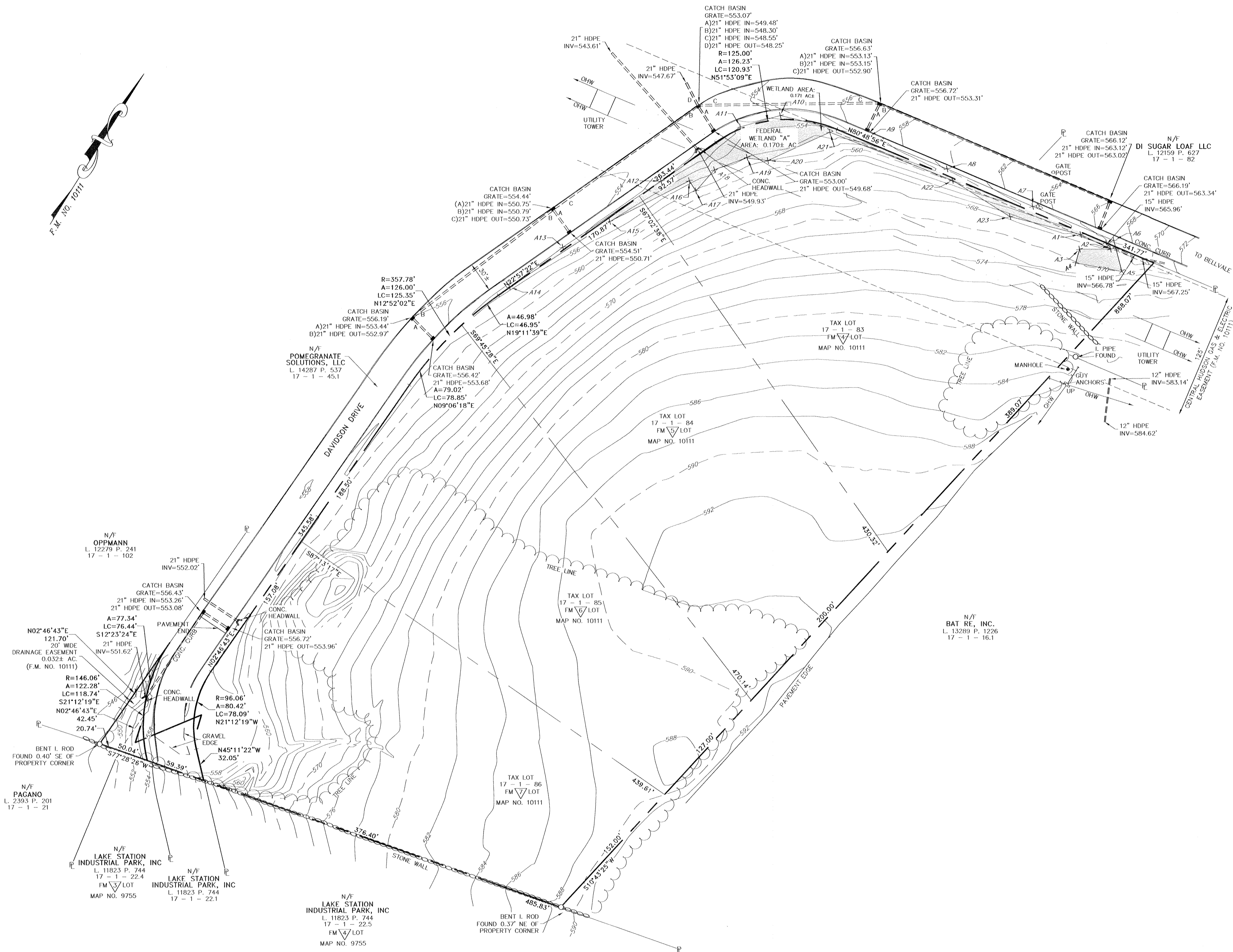
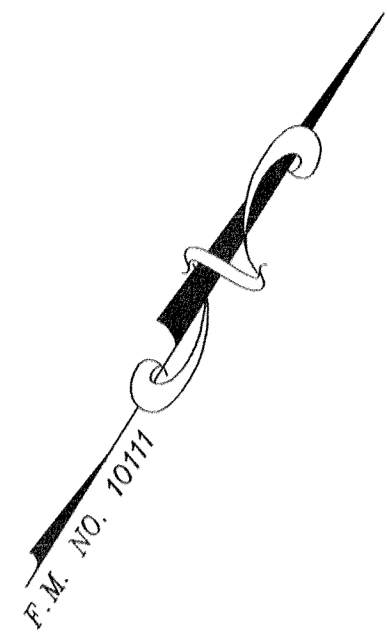
TOWN OF CHESTER
ORANGE COUNTY, NEW YORK

Drawn By: CMF
Checked By: JO
Scale: 1" = 60'
Tax Map No.: 17-1-83, 84, 85, 86

DATE: FEBRUARY 26, 2020

Revisions:
JULY 21, 2020
OCTOBER 21, 2020
FEBRUARY 17, 2021
MARCH 23, 2021
APRIL 21, 2021
MAY 19, 2021

CAD File: 170117-SITE PLAN.DWG
Layout: COVER
Sheet No.: 1 OF 13
Drawing No.: C30
B - 17 - 0117 - 01



SURVEY NOTES:

1. THIS SURVEY IS SUBJECT TO ANY FINDINGS OF A TITLE SEARCH.
2. SUBSURFACE STRUCTURES AND UTILITIES NOT VISIBLE AT THE TIME OF SURVEY HAVE NOT BEEN SHOWN.
3. REFERENCES:

MAP ENTITLED "FINAL PLAN SUGAR LOAF INDUSTRIAL PARK, TOWN OF CHESTER, ORANGE COUNTY, NEW YORK," DATED MAY 2, 1988, LAST REVISED SEPTEMBER 27, 1990 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON DECEMBER 20, 1990, S FILED MAP NO 10111.

MAP ENTITLED "LAKE STATION INDUSTRIAL PARK, FINAL SUBDIVISION PLAT, TOWN OF CHESTER, ORANGE COUNTY, NEW YORK," DATED FEBRUARY 28, 1989, LAST REVISED OCTOBER 30, 1989 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON DECEMBER 8, 1989, AS FILED MAP NO. 9755.

MAP ENTITLED "SUBDIVISION OF PROPERTY FOR HEINRICH & MAGDALENE KOCH, TOWN OF CHESTER, ORANGE COUNTY, NEW YORK," DATED AUGUST 25, 1978, LAST REVISED AUGUST 30, 1978 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 8, 1978, AS FILED MAP NO. 4633.

MAP ENTITLED "SUBDIVISION OF PROPERTY FOR HERBERT & MILA KANIA, TOWN OF CHESTER, ORANGE COUNTY, NEW YORK," DATED MARCH 6, 1984 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 26, 1984, AS FILED MAP NO. 6733.
4. CONTOURS SHOWN ARE THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED BY LANC & TULLY ENGINEERING AND SURVEYING, P.C. ELEVATIONS SHOWN ARE BASED ON APPROXIMATE USGS DATUM.
5. WETLANDS FLAGS SHOWN AS FIELD DELINEATED BY ECOLOGICAL SOLUTIONS, LLC., AND FIELD LOCATED BY LANC & TULLY ENGINEERING AND SURVEYING, P.C. ON MAY 27, 2020.

RECORD OWNER:

POMEGRANATE SOLUTIONS, LLC
122 PENN STREET
BROOKLYN, NY 11211

L. 14287 P. 537
17 - 1 - 83
17 - 1 - 84
17 - 1 - 85
17 - 1 - 86

FILED MAP 10111
LOTS 4, 5, 6 & 7

AREAS:

TAX LOT 17 - 1 - 83	2.506± AC.
TAX LOT 17 - 1 - 84	2.146± AC.
TAX LOT 17 - 1 - 85	2.044± AC.
TAX LOT 17 - 1 - 86	2.030± AC.
TOTAL:	8.726± AC.

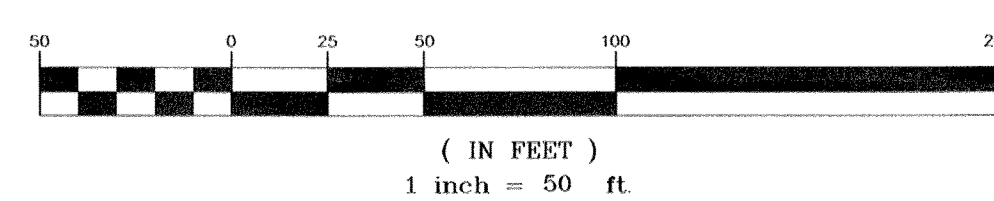
CERTIFICATION:

I HEREBY CERTIFY TO THE PARTIES OF INTEREST LISTED BELOW THAT THIS MAP SHOWS THE RESULTS OF AN ACTUAL FIELD SURVEY COMPLETED ON DECEMBER 14, 2017, AND UPDATED ON MAY 27, 2020.

POMEGRANATE SOLUTIONS, LLC

BY:
RODNEY C. KNOWLTON, L.S.
NEW YORK STATE LICENSE NO. 50276

GRAPHIC SCALE



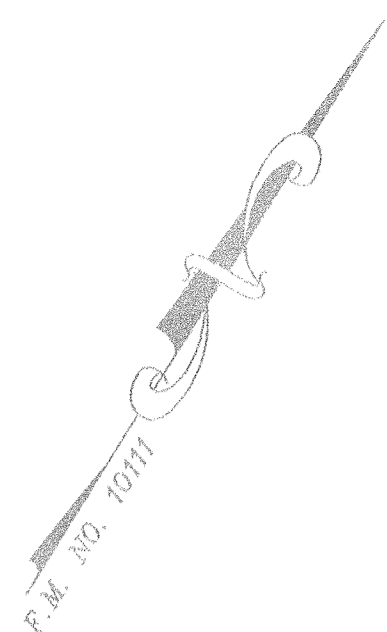
COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.



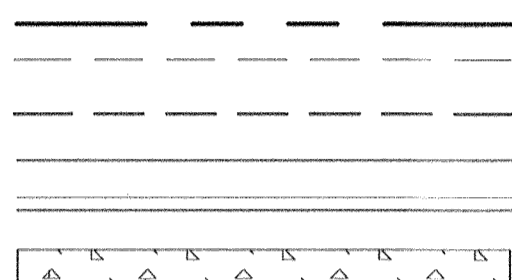
COPYRIGHT 2020, LANC & TULLY, P.C.

	LANC & TULLY ENGINEERING AND SURVEYING, P.C.	P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700	Date: FEBRUARY 26, 2020
			Revisions: JULY 21, 2020 OCTOBER 21, 2020 FEBRUARY 17, 2021 MARCH 23, 2021 APRIL 21, 2021 MAY 19, 2021
EXISTING CONDITIONS PREPARED FOR			CAD File: 170117 SITE PLAN.DWG
POMEGRANATE SOLUTIONS, LLC			Layout: EXISTING
TOWN OF CHESTER ORANGE COUNTY, NEW YORK			Sheet No.: 2 OF 13
Drawn By: CMF	Checked By: JQ	Scale: 1" = 50'	Tax Map No.: 17- 1-83, 84, 85, 86
			Drawing No.: B - 17 - 0117 - 02



LEGEND:

- PROPERTY LINE
PROPOSED BUILDING SETBACK
PROPOSED PARKING SETBACK
PROPOSED EDGE OF PAVEMENT
PROPOSED CURB
PROPOSED SIDEWALK



N/E
OPPMANN
L. 12279 P. 241
17 - 1 - 102

N/E
PAGANO
L. 2393 P. 201
17 - 1 - 21

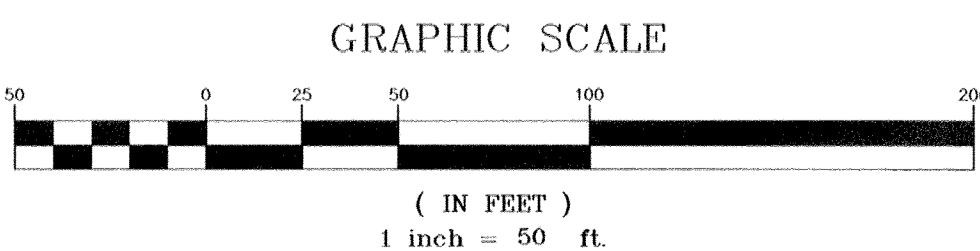
N/E
LAKE STATION
INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.4

N/E
LAKE STATION
INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.1

N/E
LAKE STATION
INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.5

COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.



PARKING CALCULATION TABLE			
USE	REQUIRED RATIO	REQUIRED SPACES	PROVIDED SPACES
PROPOSED	PROPOSED OFFICE	ONE SPACE / 200 SQ. FT.	8,000/200 = 40 SPACES
	PROPOSED INDUSTRIAL	TWO SPACES PER 3 EMPLOYEES ON THE TWO LARGEST CONSECUTIVE SHIFTS	2/3 * 75 EMPLOYEES = 50 SPACES
	PROPOSED TOTAL		90 SPACES

Total parking count includes 4 accessible parking spaces per lot as required by ADA Code for parking facilities with 76-100 spaces. Loading spaces include the minimum of four.

RECORD
OWNER/APPLICANT:

POMEGRANATE SOLUTIONS, LLC
122 PENN. STREET
BROOKLYN, NY 11211

L. 14287 P. 537
17 - 1 - 83
17 - 1 - 84
17 - 1 - 85
17 - 1 - 86

FILED MAP 10111
LOTS 4, 5, 6 & 7

AREAS:

TAX LOT 17 - 1 - 83 2,506± AC.
TAX LOT 17 - 1 - 84 2,146± AC.
TAX LOT 17 - 1 - 85 2,044± AC.
TAX LOT 17 - 1 - 86 2,030± AC.
TOTAL: 8,726± AC.

GENERAL NOTES:

- TAX MAP DESIGNATION: 17-1-83, 84, 85, 86
- TOTAL AREA: 8.7 AC±
- ZONING DISTRICT: INDUSTRIAL PARK - IP
- EXISTING LOTS TO BE CONSOLIDATED.

TABLE OF ZONING REQUIREMENTS

TOWN OF CHESTER INDUSTRIAL PARK DISTRICT (IP)		
LOT SERVED BY PRIVATE SEWER AND WATER SYSTEMS		
MINIMUM	REQUIRED	PROVIDED
LOT AREA	2 AC.	8.7 AC.
LOT WIDTH	200 FT.	427 FT.
FRONT YARD	60 FT.	104.7 FT.
REAR YARD	50 FT.	54.0 FT.
SIDE YARD (ONE)	50 FT.	107.8 FT.
SIDE YARD (BOTH)	100 FT.	>140 FT.
MAXIMUM		
BUILDING COVERAGE	40%	32%
BUILDING HEIGHT	45 FT.	45 FT.
BUILDING FOR Light Industrial Use		

COPYRIGHT 2020, LANC & TULLY, P.C.

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

SITE PLAN
PREPARED FOR

POMEGRANATE SOLUTIONS, LLC
TOWN OF CHESTER
ORANGE COUNTY, NEW YORK

Date: FEBRUARY 26, 2020
Revisions:
JULY 21, 2020
OCTOBER 21, 2020
FEBRUARY 17, 2021
MARCH 23, 2021
APRIL 21, 2021
MAY 19, 2021

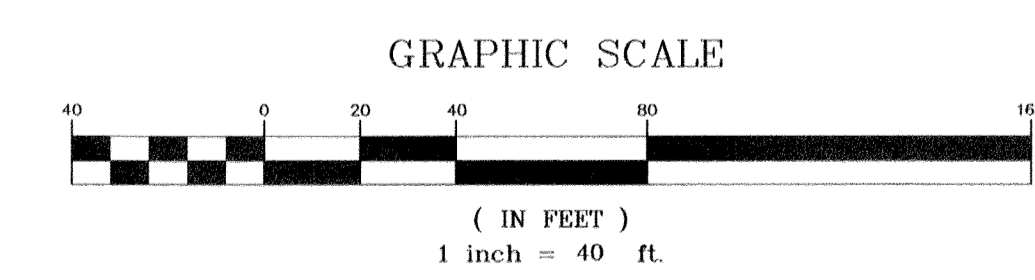
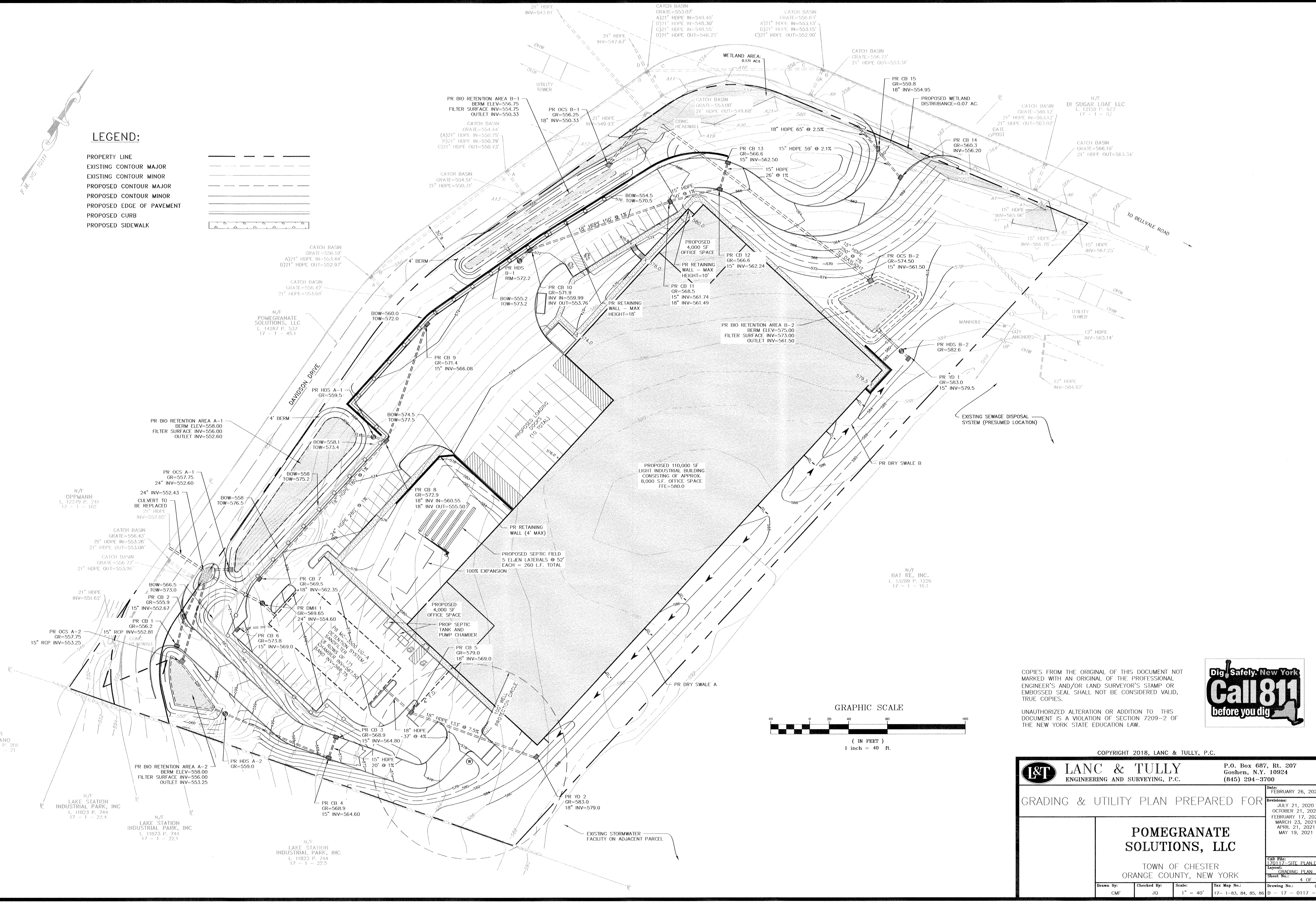
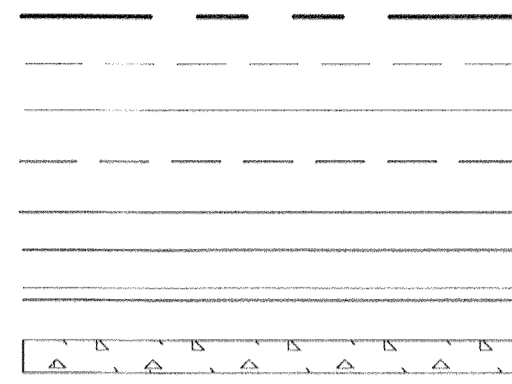
Cap File:
170117-SITE PLAN.DWG
Layout:
SITE PLAN
Sheet No.: 3 OF 13
Drawing No.: C30

Drawn By: CMF
Checked By: JQ
Scale: 1" = 50'
Tax Map No.: 17-1-83, 84, 85, 86

B = 17 - 0117 - 01

LEGEND:

PROPERTY LINE
EXISTING CONTOUR MAJOR
EXISTING CONTOUR MINOR
PROPOSED CONTOUR MAJOR
PROPOSED CONTOUR MINOR
PROPOSED EDGE OF PAVEMENT
PROPOSED CURB
PROPOSED SIDEWALK



COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

COPYRIGHT 2018, LANC & TULLY, P.C.

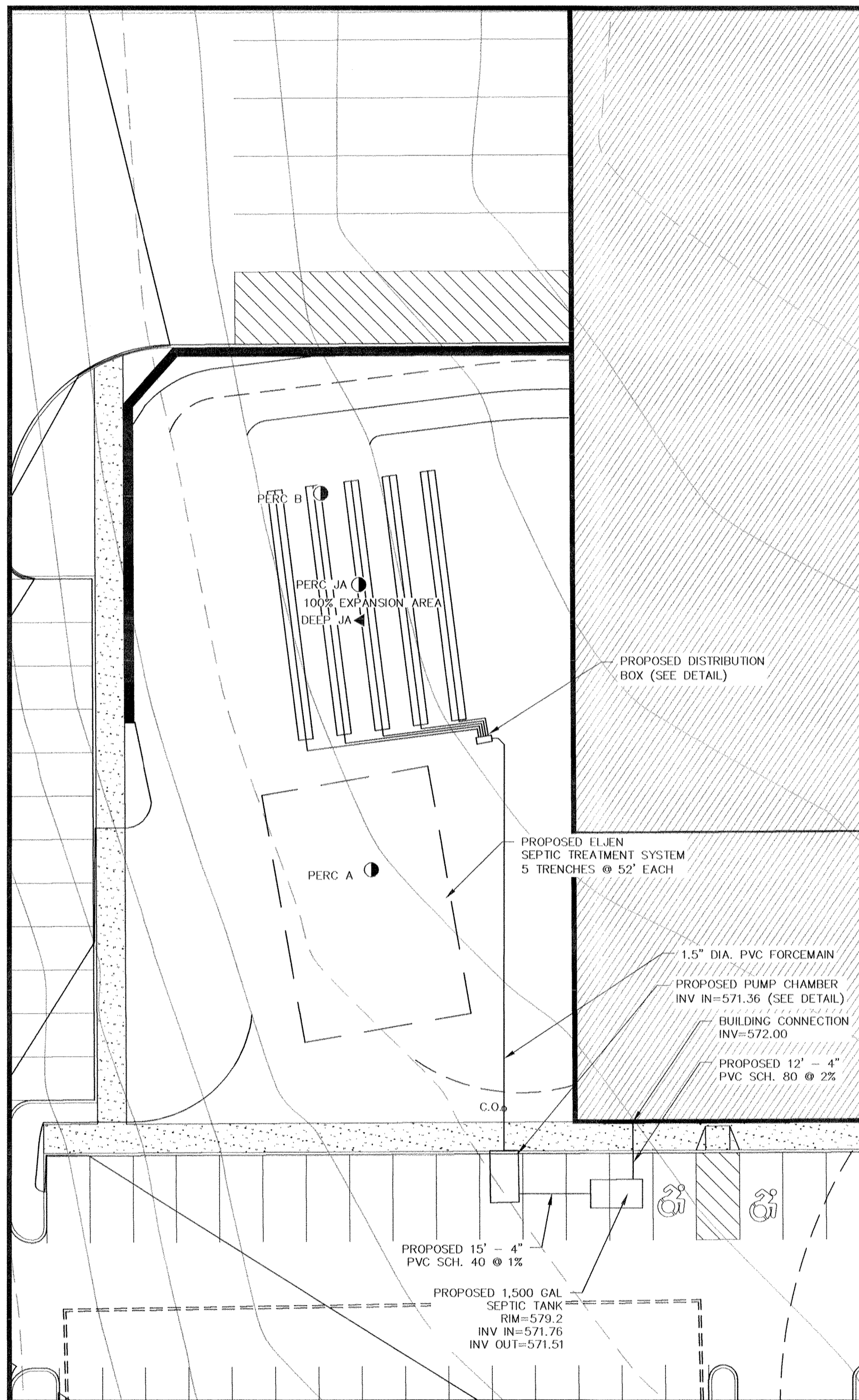
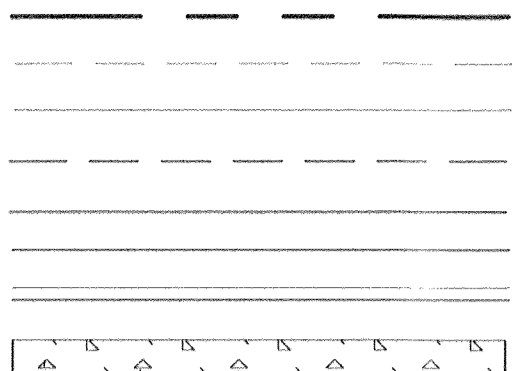
LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

GRADING & UTILITY PLAN PREPARED FOR		Date: FEBRUARY 26, 2020	
<p>POMEGRANATE SOLUTIONS, LLC</p> <p>TOWN OF CHESTER ORANGE COUNTY, NEW YORK</p>		Revised:	JULY 21, 2020
			OCTOBER 21, 2020
			FEBRUARY 17, 2021
			MARCH 23, 2021
			APRIL 21, 2021
		May 19, 2021	
		CAD File:	170117-SITE PLAN.DWG
		Layout:	GRADING PLAN
Drawn By:	CMF	Checked By:	JO
Scale:	1" = 40'	Tab. Map No.:	17-1-B3, B4, B5, B6
Drawing No.:	B-17-0117-01	Sheet No.:	4 OF 13

LEGEND:

PROPERTY LINE
EXISTING CONTOUR MAJOR
EXISTING CONTOUR MINOR
PROPOSED CONTOUR MAJOR
PROPOSED CONTOUR MINOR
PROPOSED EDGE OF PAVEMENT
PROPOSED CURB
PROPOSED SIDEWALK

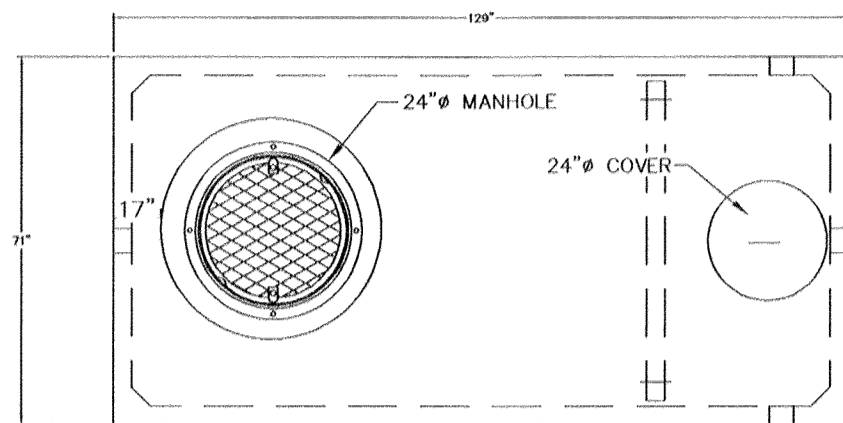
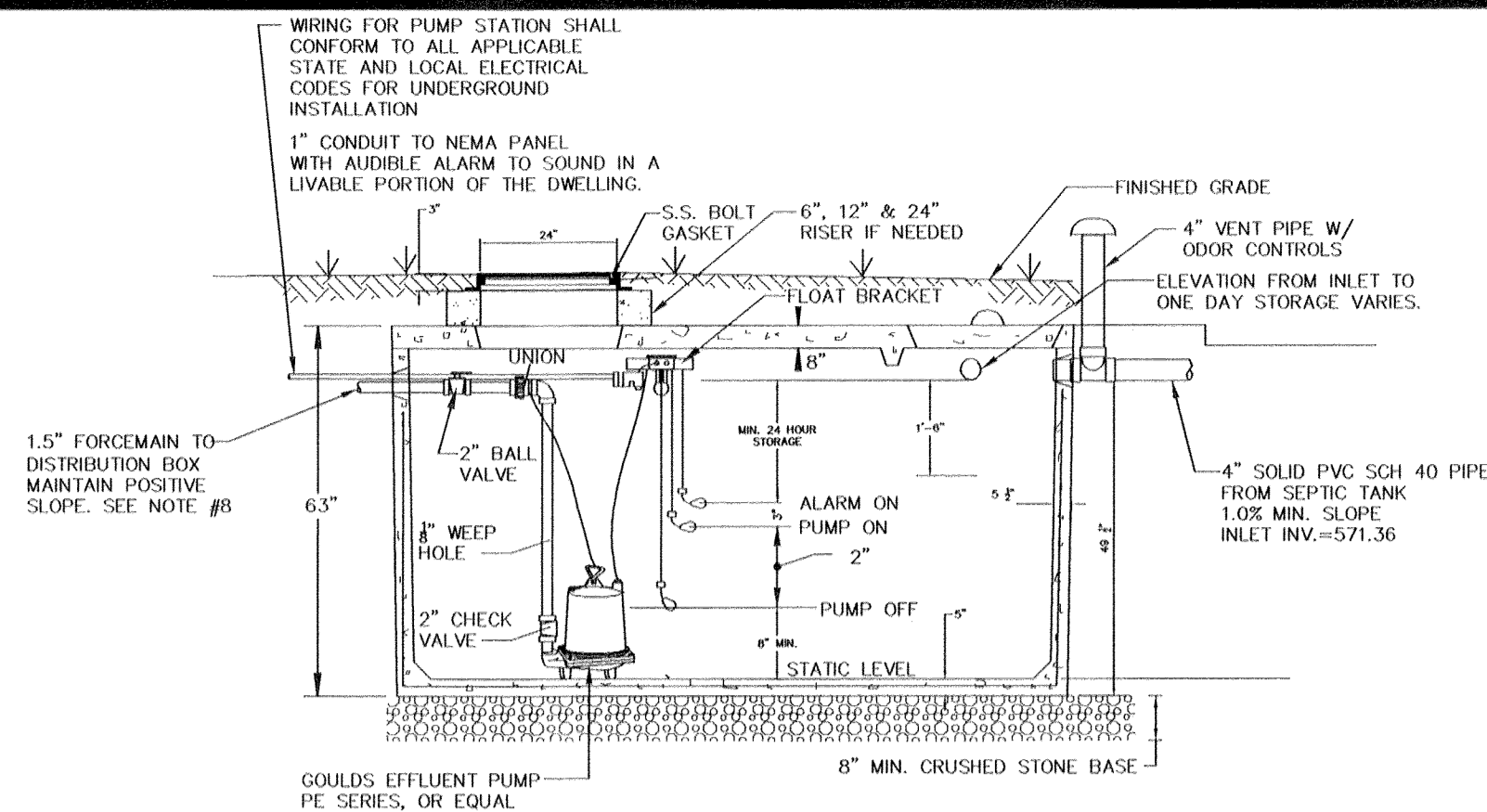


SEPTIC SYSTEM DESIGN

SCALE: 1" = 20'

COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.



SPECIFICATIONS

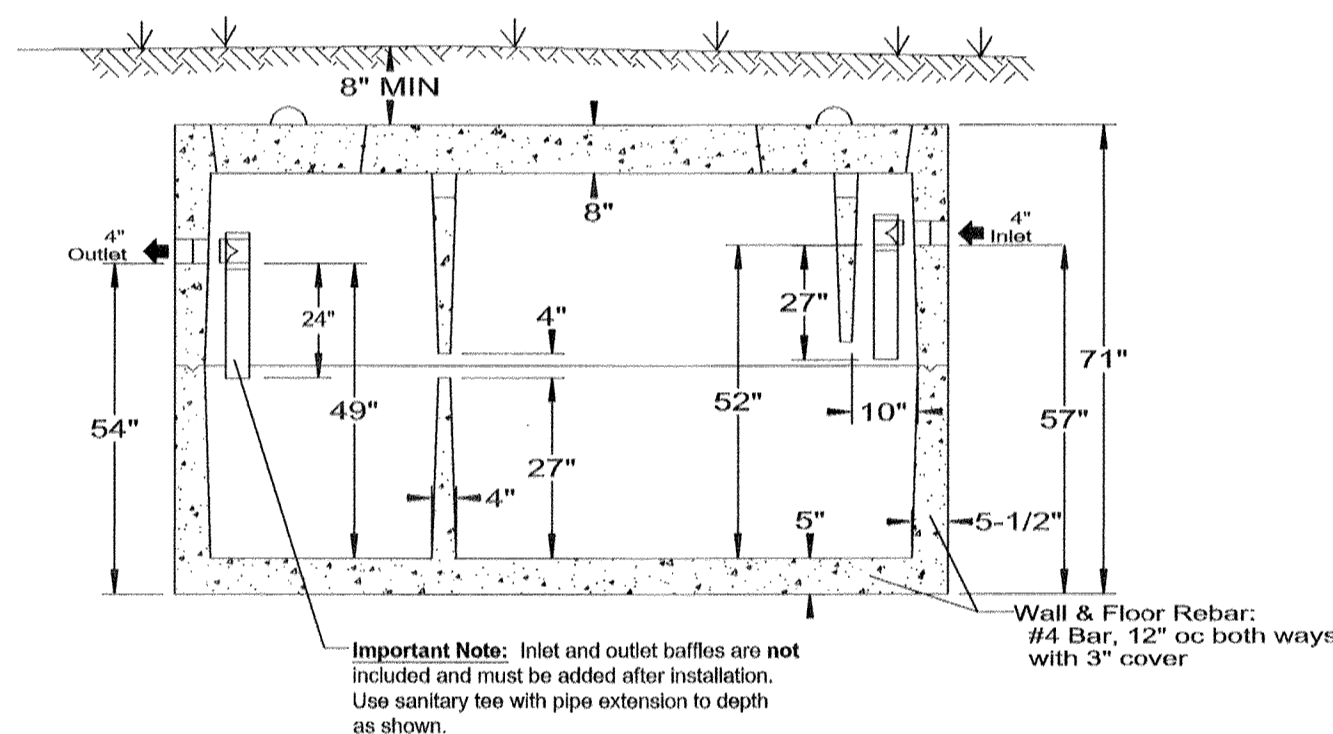
CONCRETE MIN. STRENGTH: 4,000 PSI AT 28 DAYS
REINFORCEMENT: #4 & #5 REBAR, ASTM A615
AIR ENTRAINMENT: 6%
CONSTRUCTION JOINT: BUTYL RUBBER SEALANT
PIPE CONNECTION: POLYLOK SEAL (PATENTED)
WEIGHT = 21,000
LOAD RATING: HS20-44 + 30% / ASTM C857

NOTES:

- H20 CONCRETE PRECAST PUMP CHAMBER BY WOODARD'S CONCRETE PRODUCTS, INC., BULLVILLE, N.Y. OR EQUAL.
- CONTROL PANEL TO BE AUTOMATED CONTROL SYSTEMS SFT11 NEMA 1 ENCLOSURE OR EQUAL. ALL NEC REQUIREMENTS SHALL BE MET FOR THE PUMP STATION ELECTRICAL COMPONENTS.
- ELECTRICAL EQUIPMENT OR IN ENCLOSED SPACES WHERE EXPLOSIVE GASES MAY ACCUMULATE SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE FOR CLASS 1, DIVISION 1, GROUPS C AND D LOCATIONS. THERE SHALL BE NO ELECTRICAL SPLICES, JUNCTION BOXES OR CONNECTIONS OF ANY KIND IN SEWAGE WET WELLS OF ANY NEC BOXING.
- ALL JOINTS SHALL BE CAULKED.
- AN ASPHALTIC SEAL SHALL BE APPLIED BETWEEN CONTACT SURFACES OF BASE AND RISER SECTIONS, WHERE APPLICABLE.
- ALL COVERS SHALL BE LOCKABLE AND WATERIGHT.
- THE FORCE MAIN MUST MAINTAIN A POSITIVE SLOPE BACK TO THE PUMP STATION TO ALLOW THE EFFLUENT TO DRAIN BACK INTO THE PUMP CHAMBER AFTER EACH PUMPING CYCLE.

H20 PRECAST PUMP CHAMBER TANK (1,250 GAL.)

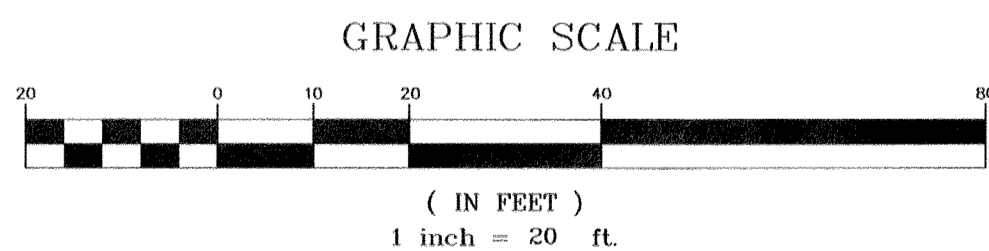
NOT TO SCALE



SPECIFICATIONS	ST-1500 H20 1,500 GALLON SEPTIC TANK
Concrete Min. Strength: 4,000 psi at 28 days	
Reinforcement: #4 & #5 Rebar / ASTM A615	
Air Entrainment: 6%	
Construction Joint: Butyl Rubber Sealant	
Pipe Connection: Polylok Seal	
Weight = 22,500 lbs	
Load Rating: HS20-44 + 30% / ASTM C857	

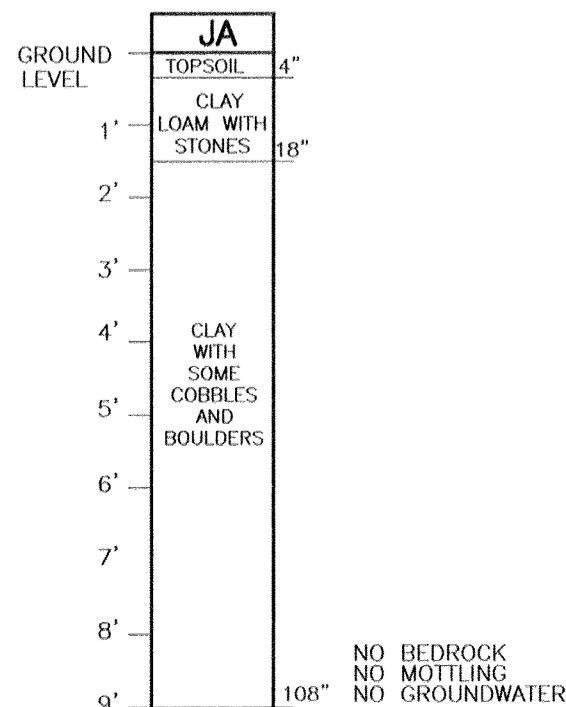
Woodard's Concrete Products, Inc.

H20 1,500 GAL. CONCRETE SEPTIC TANK



DEEP TEST RESULTS

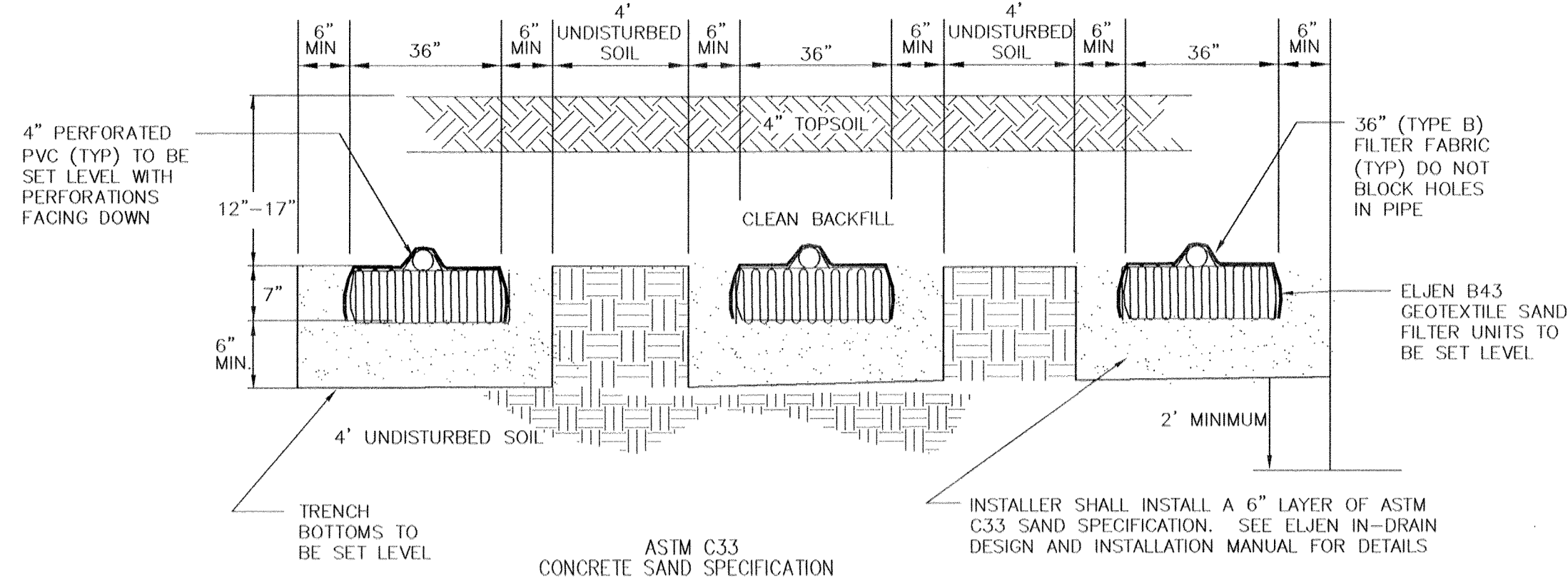
JA - JOINT SITE INSPECTION PERFORMED ON APRIL 28, 2021 BY LANC AND TULLY ENGINEERING AND SURVEYING, P.C. AND FUSCO ENGINEERING & LAND SURVEYING, P.C.



PERCOLATION TEST RESULTS AND SYSTEM DESIGN:

PERCOLATION TESTS 'A' AND 'B' WERE PERFORMED ON DECEMBER 3, 2020, BY LANC & TULLY ENGINEERING AND SURVEYING, P.C.
JOINT SITE INSPECTION 'JI' WAS PERFORMED ON APRIL 23, 2021, BY LANC & TULLY ENGINEERING AND SURVEYING, P.C. AND FUSCO ENGINEERING & LAND SURVEYING, P.C.

PERC. TEST RATE (MIN.) DEPTH = 24"			DESIGN RATE (MIN.)	GPD (FLOW)	LENGTH OF FIELD (FEET)	TYPE OF SYSTEM	
A	B	JI			REQUIRED	PROPOSED	
23	13	13	21-30	878 GPD	244	260	ELJEN



TYPICAL "ELJEN" TRENCH CROSS SECTION DETAIL

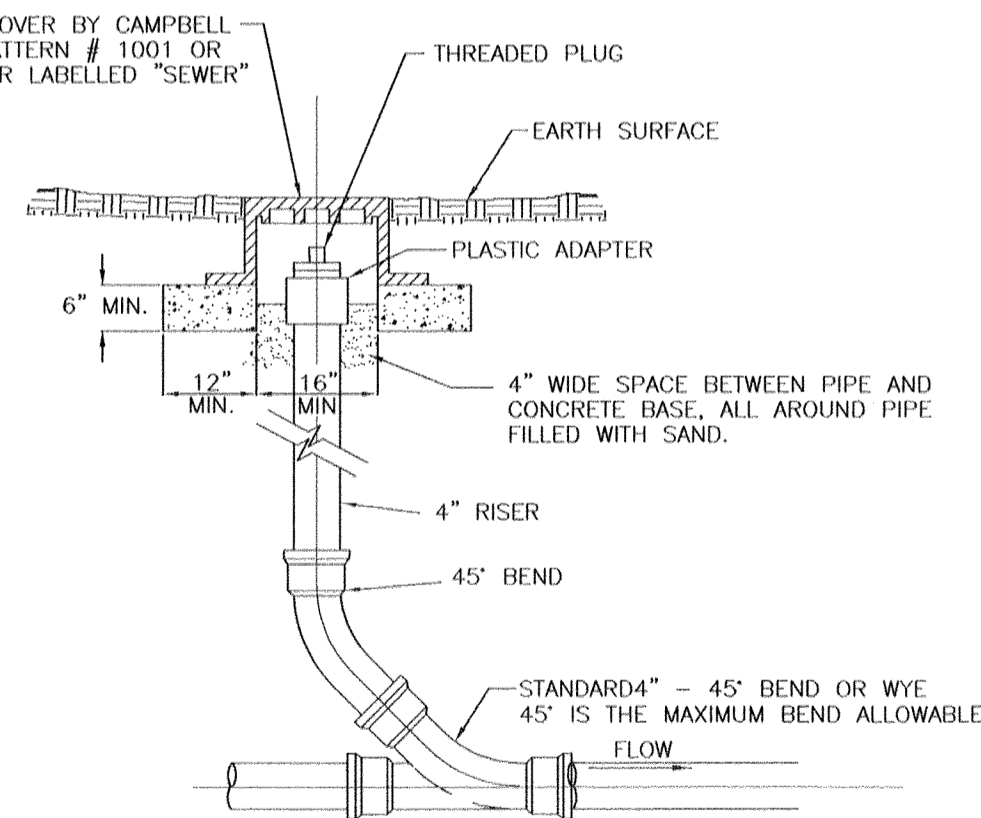
NOT TO SCALE

SYSTEM DESIGN

SYSTEM FLOWS AND DESIGN FOR NEW SDS:

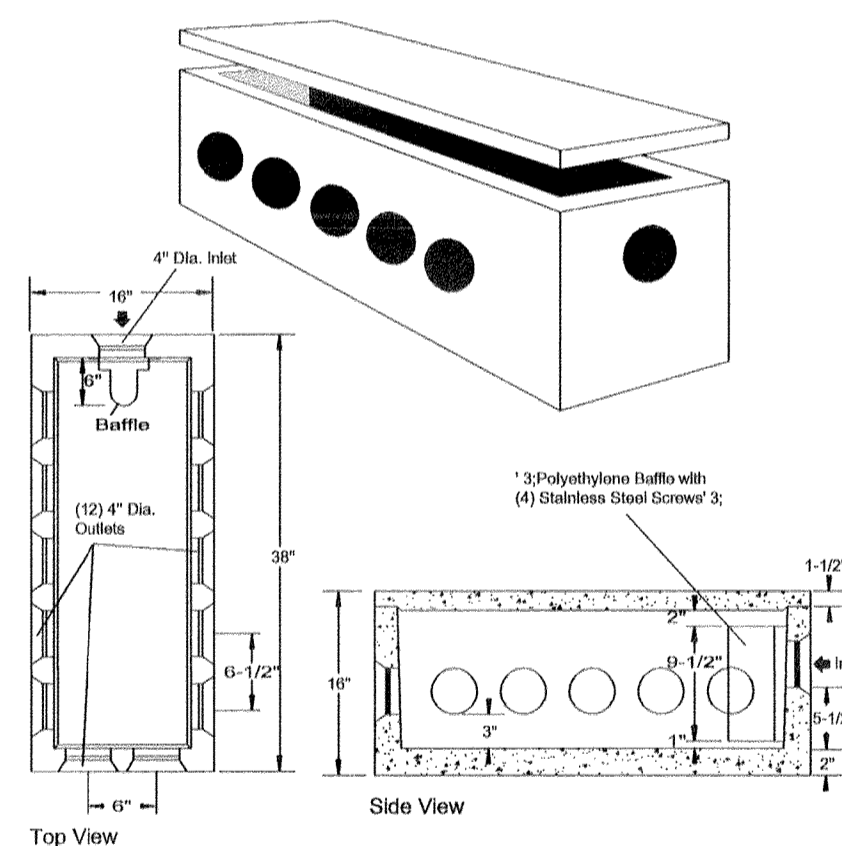
FLOW RATE FOR WAREHOUSE/OFFICE = 1,110 GPD
20% WATER SAVINGS = 222 GPD
1,110 GPD - 222 GPD = 878 GPD (DESIGN VOLUME)
DESIGN PERCOLATION RATE: 21-30 MINUTES/INCH
DESIGN APPLICATION RATE: 0.6 GAL/DAY/SQ. FOOT
APPLICATION RATE (ELJEN): 6 SQ FT/LIN. FT. OF TRENCH
TOTAL SQUARE FOOTAGE REQ'D: 878 GPD / 0.6 GPD/SQ FT = 1464 SQ FT
ABSORPTION FIELD TRENCH LENGTH REQUIRED: 1,464 GPD/6 SQ FT PER LIN. FT. = 244 FT OF TRENCH
ABSORPTION FIELD TRENCH PROVIDED: 5 LATERALS @ 52 FEET = 260 LINEAR FEET
SEPTIC TANK SIZING: 878 GPD X 1.5 = 1,317 GPD - USE 1,500 GAL TANK

Concrete: Bottom = 2.5 yards weight = 10,000 lbs
Top = 3.1 yards weight = 12,500 lbs



CLEANOUT DETAIL

NOT TO SCALE



SPECIFICATIONS	PRECAST DISTRIBUTION BOXES MODEL DB-12 12 OUTLETS W/BAFFLE
Concrete Min. Strength: 4,000 psi at 28 days	
Reinforcement: Fiber, 10ga. wire mesh	
Air Entrainment: 6%	
Pipe Connection: Polylok Seal (patented)	
Load Rating: 300 psf	
Weight = 325 lbs	

Woodard's Concrete Products, Inc.
620 Lybott Road, Bullville, NY 10915
(845) 361-3471 / Fax 361-1050
Page 6B 1/12/05

www.woodardsconcrete.com

DB-12 DROP BOX

NOT TO SCALE

COPYRIGHT 2018, LANC & TULLY, P.C.

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

SEWAGE DISPOSAL SYSTEM DESIGN
DETAILS PREPARED FOR

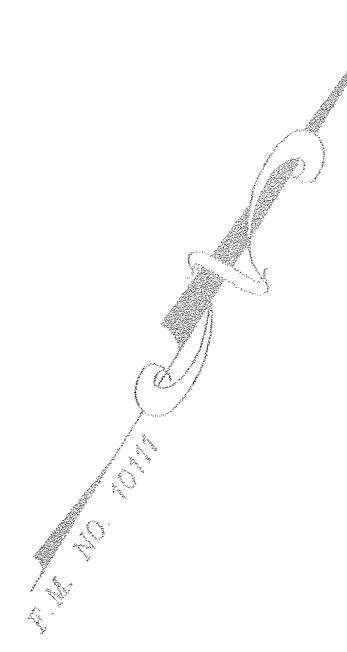
POMEGRANATE SOLUTIONS, LLC

TOWN OF CHESTER
ORANGE COUNTY, NEW YORK

Drawn By: CMF
Checked By: JQ
Scale: 1" = 20'
Tax Map No.: 17- 1-83, 84, 85, 86

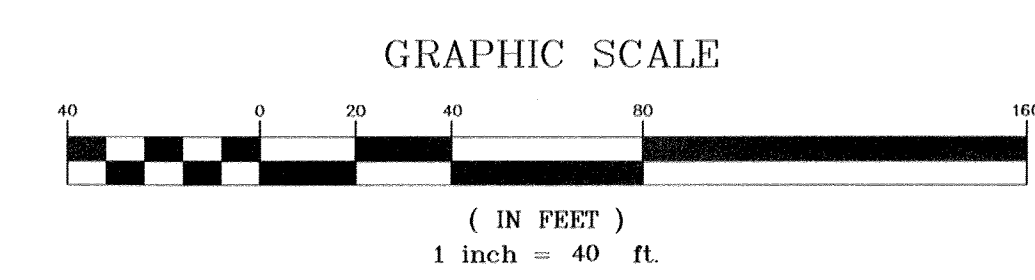
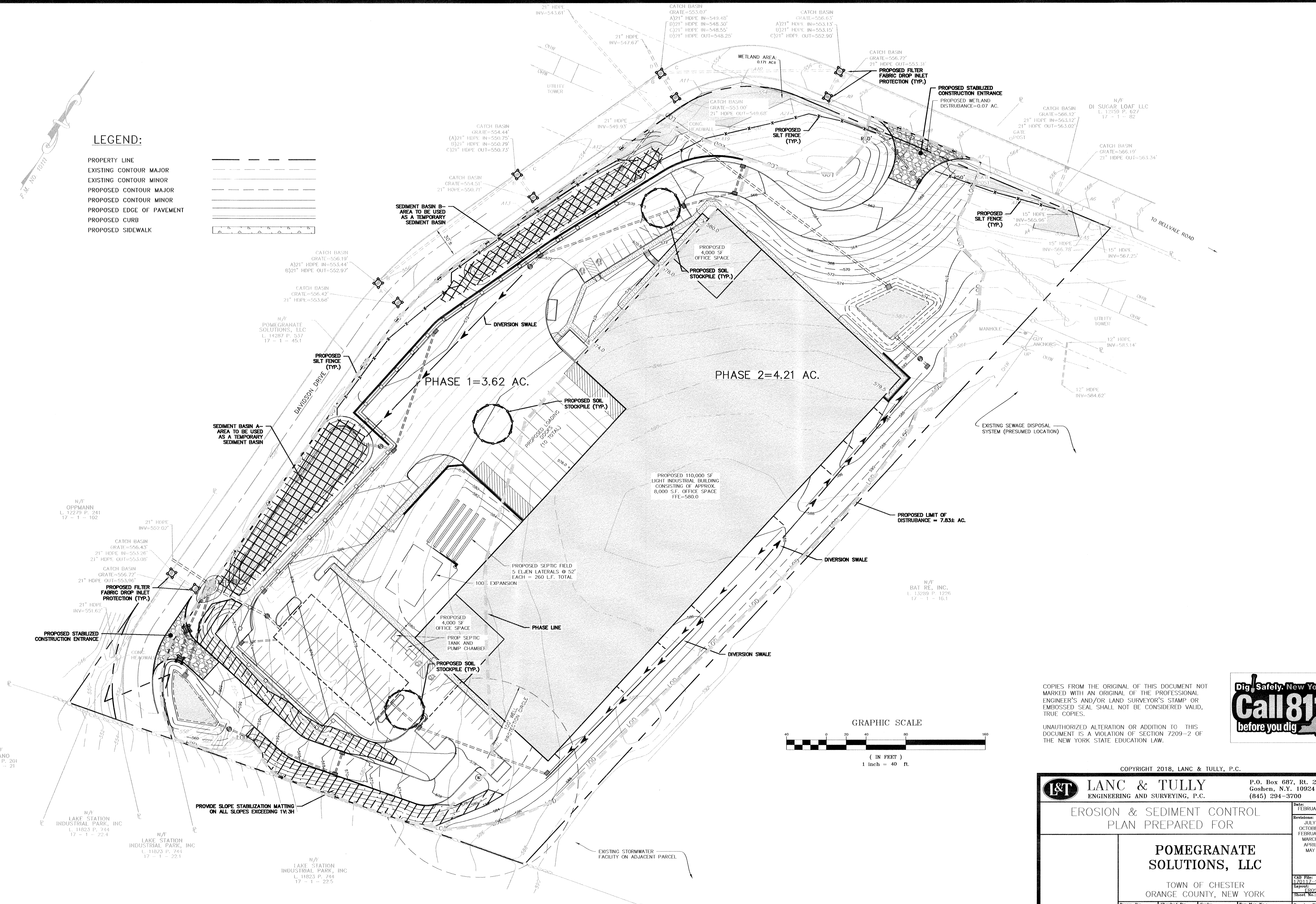
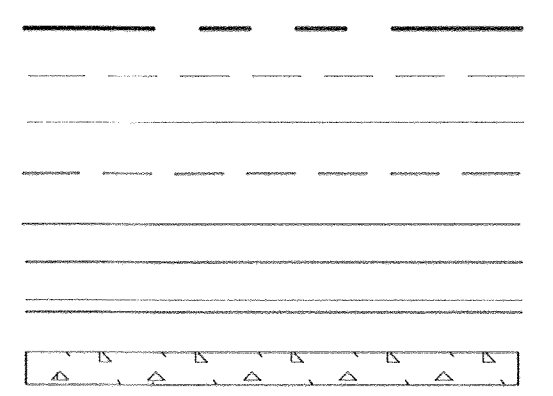
Date: FEBRUARY 26, 2020
Revisions:
JULY 21, 2020
OCTOBER 21, 2020
FEBRUARY 17, 2021
MARCH 23, 2021
APRIL 21, 2021
MAY 19, 2021

CAD File: 170117-SITE PLAN.DWG
Layout: SDS PLAN
Sheet No.: 5 OF 13
Drawing No.: C30
B = 17 - 0117 - 01



LEGEND:

- PROPERTY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- PROPOSED CONTOUR MAJOR
- PROPOSED CONTOUR MINOR
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CURB
- PROPOSED SIDEWALK



COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.



Copyright 2018, LANC & TULLY, P.C.

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

**EROSION & SEDIMENT CONTROL
PLAN PREPARED FOR**

**POMEGRANATE
SOLUTIONS, LLC**

TOWN OF CHESTER
ORANGE COUNTY, NEW YORK

Date: FEBRUARY 26, 2020

Revisions:
JULY 21, 2020
OCTOBER 21, 2020
FEBRUARY 17, 2021
MARCH 23, 2021
APRIL 21, 2021
MAY 19, 2021

CAD File: 170117-SITE PLAN.DWG
Layout: EROSION PLAN
Sheet No: 6 OF 13
Drawing No: C30
B - 17 - 0117 - 01

Drawn By: CMF
Checked By: JO
Scale: 1" = 40'
Tax Map No: 17-1-83, 84, 85, 86

N/T
PAGANO
L. 2393 P. 201
17 - 1 - 21

N/T
LAKE STATION
INDUSTRIAL PARK, INC
L. 11823 P. 744
17 - 1 - 22.4

N/T
LAKE STATION
INDUSTRIAL PARK, INC
L. 11823 P. 744
17 - 1 - 22.1

N/T
LAKE STATION
INDUSTRIAL PARK, INC
L. 11823 P. 744
17 - 1 - 22.5

N/T
BAT RE, INC.
L. 13289 P. 1226
17 - 1 - 16.1

N/T
DI SUGAR LOAF LLC
L. 12159 P. 627
17 - 1 - 82

CATCH BASIN
GRATE=566.12'
21" HDPE IN=563.12'
21" HDPE OUT=563.02'
GATE
C/POST

12" HDPE
INV=583.14'

12" HDPE
INV=584.62'

CATCH BASIN
GRATE=554.44'
(A)21" HDPE IN=550.75'
(B)21" HDPE IN=550.79'
(C)21" HDPE OUT=550.73'

CATCH BASIN
GRATE=554.51'
21" HDPE=550.71'

CATCH BASIN
GRATE=556.39'
(A)21" HDPE IN=553.44'
(B)21" HDPE OUT=552.97'

CATCH BASIN
GRATE=556.42'
21" HDPE=553.68'

N/T
POMEGRANATE
SOLUTIONS, LLC
L. 14287 P. 937
17 - 1 - 45.1

21" HDPE
INV=552.02'

CATCH BASIN
GRATE=556.43'
21" HDPE IN=553.26'
21" HDPE OUT=553.09'

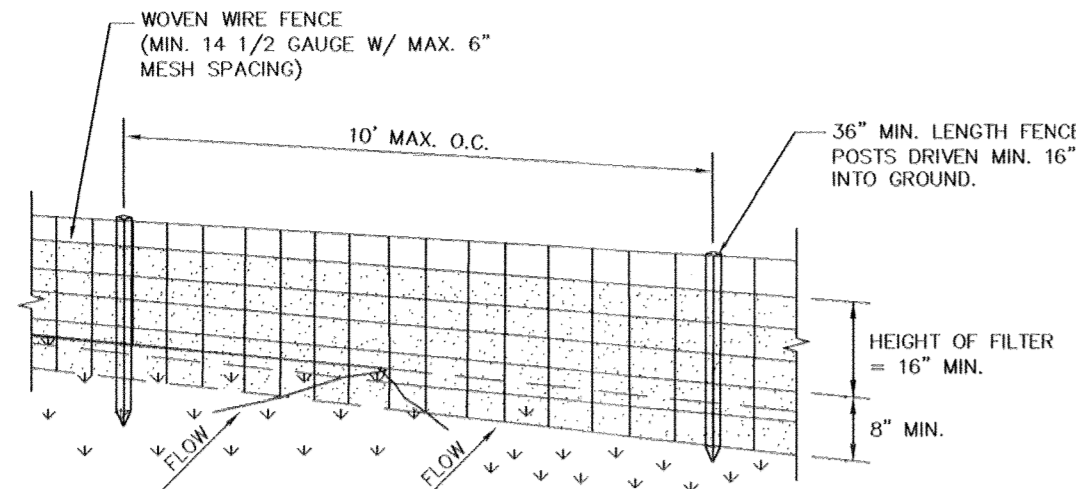
CATCH BASIN
GRATE=556.72'
21" HDPE OUT=553.96'

21" HDPE
INV=551.62'

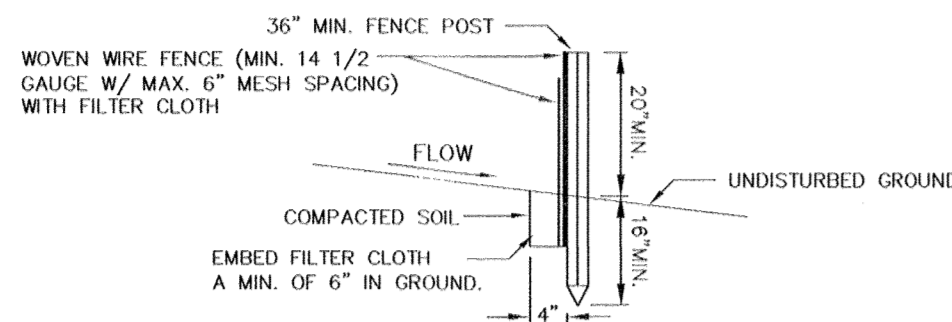
PROPOSED STABILIZED
CONSTRUCTION ENTRANCE

PROVIDE SLOPE STABILIZATION MATTING
ON ALL SLOPES EXCEEDING 1V:3H

EXISTING STORMWATER
FACILITY ON ADJACENT PARCEL



PERSPECTIVE VIEW



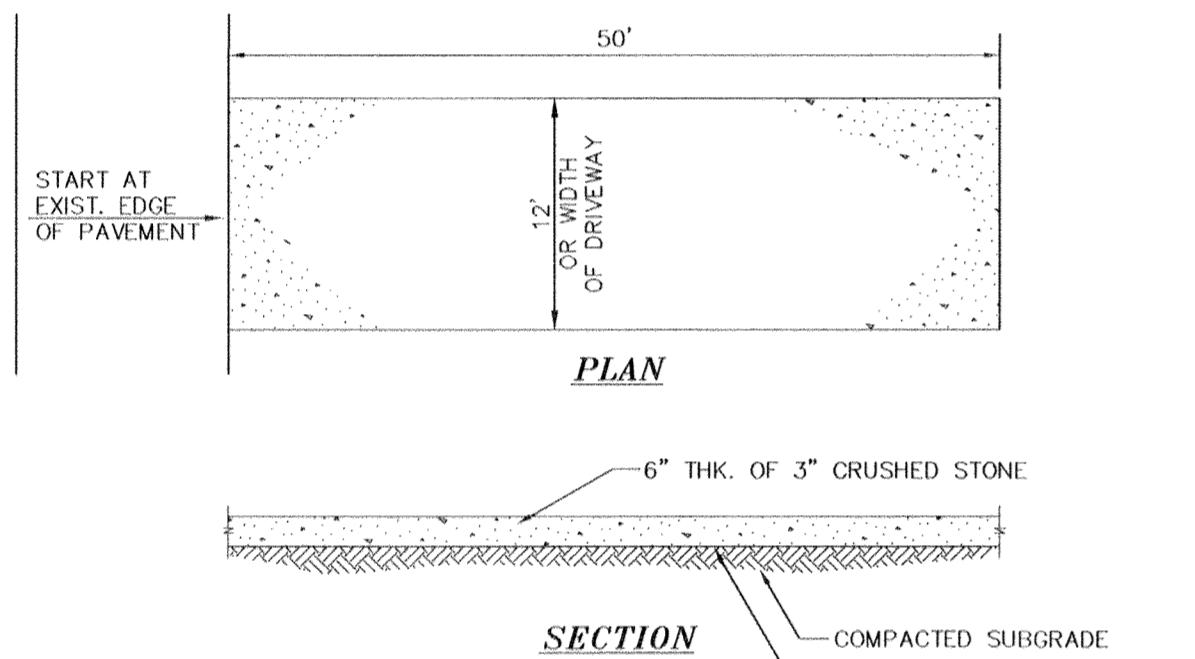
SECTION VIEW

CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "I" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILTATION FENCE

NOT TO SCALE



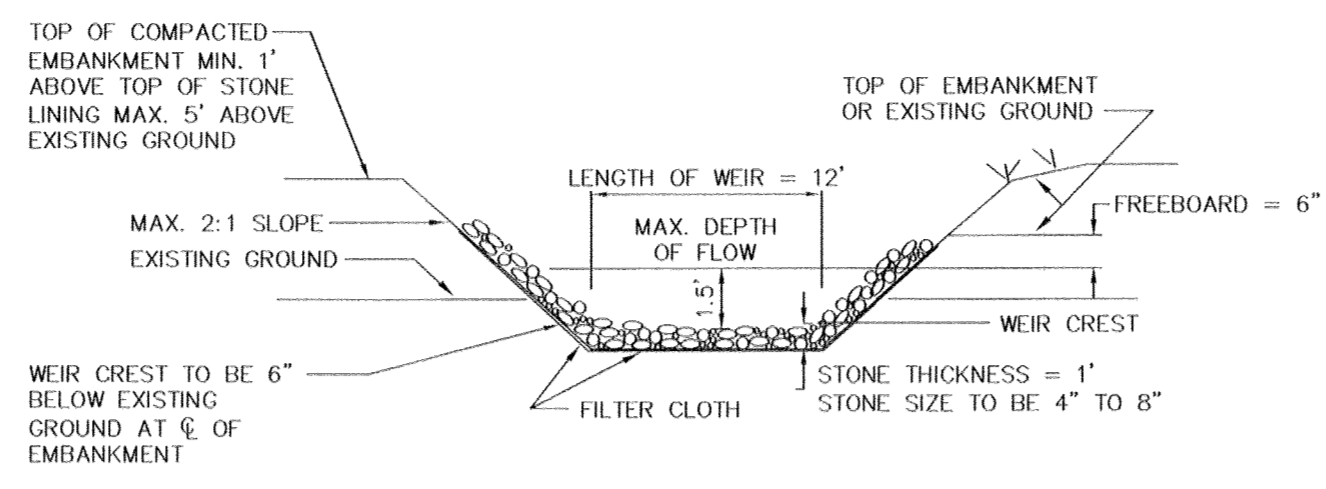
NOTE:
ENTRANCE SHALL BE MAINTAINED AS CONDITIONS DEMAND TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY.

INSTALLATION NOTES:

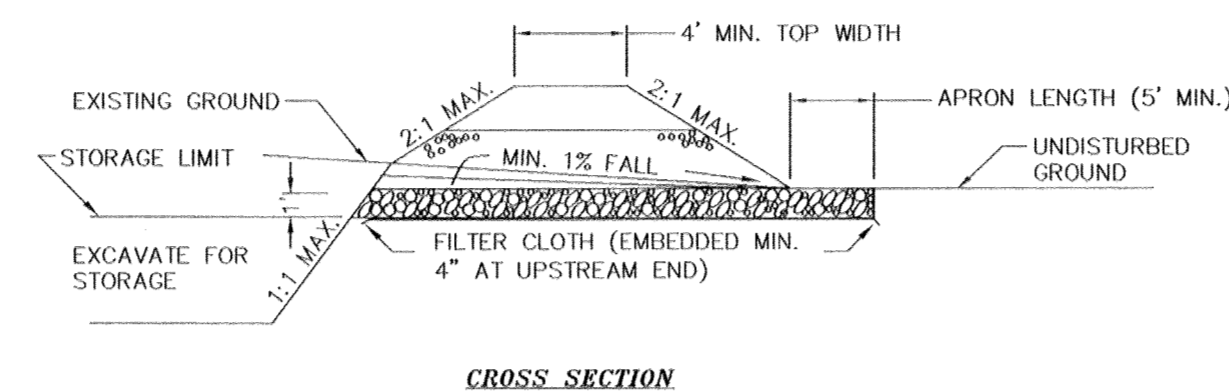
- STONE SIZE - USE 3" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE DETAIL

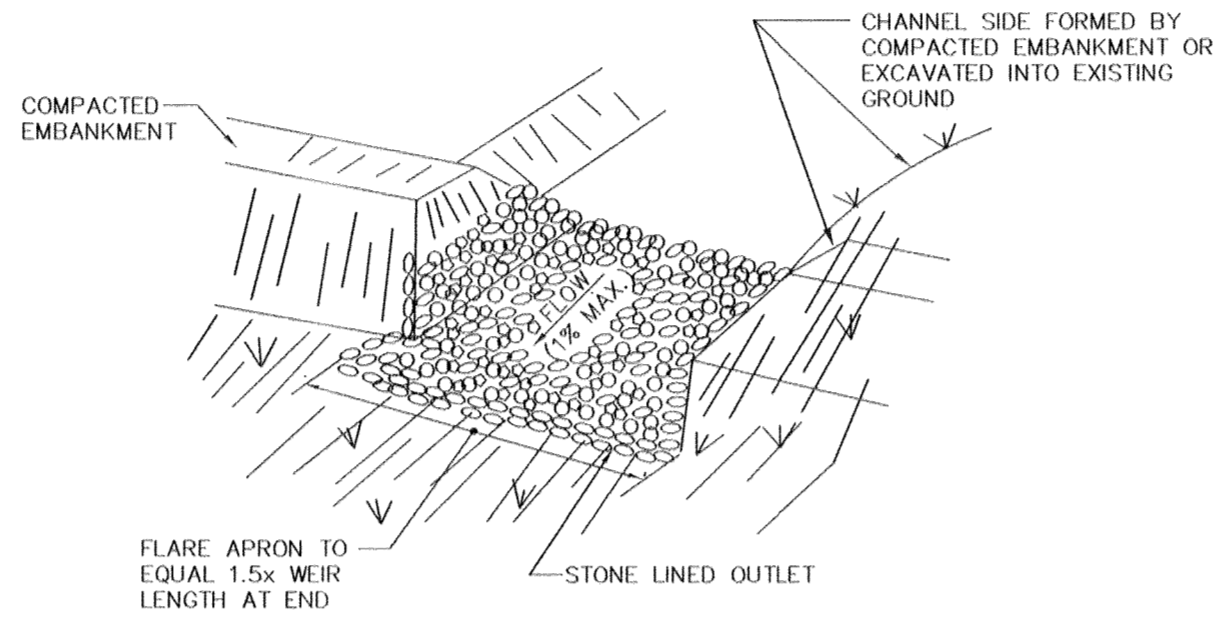
NOT TO SCALE



PROFILE



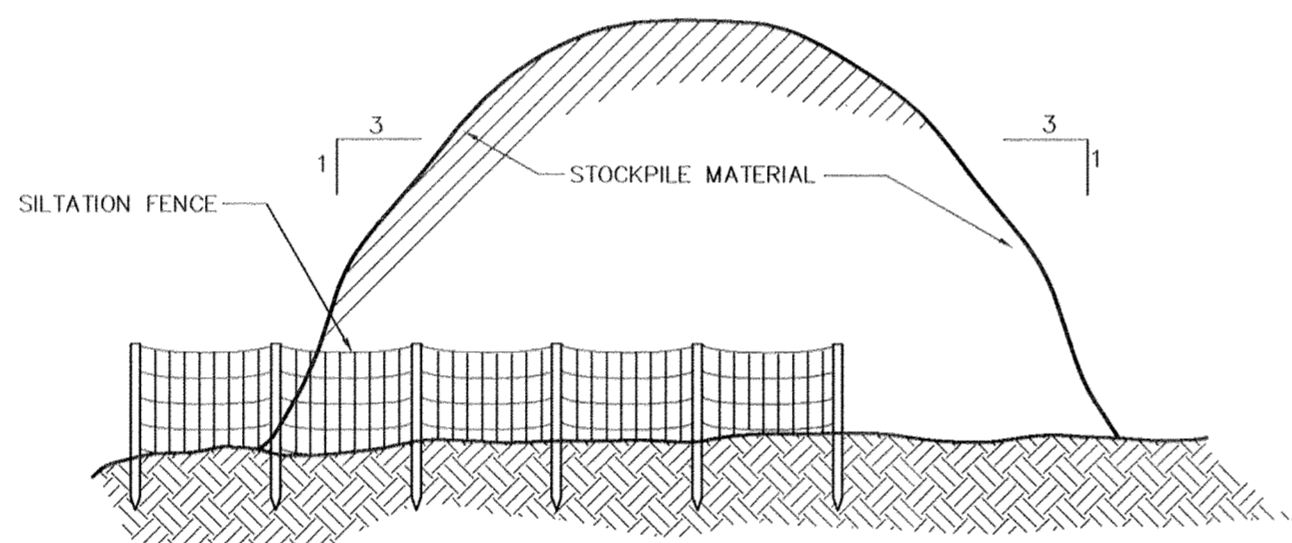
CROSS SECTION



PERSPECTIVE VIEW

TEMPORARY RIP-RAP OUTLET SEDIMENT TRAP

NOT TO SCALE



NOTE:
SEE DETAILS FOR INSTALLATION OF SILTATION FENCE

TYPICAL STOCKPILE DETAIL

NOT TO SCALE

WINTER SITE STABILIZATION AND INSPECTIONS

THIS GUIDANCE IS TO ADDRESS THE REQUIREMENTS FOR WINTER SITE STABILIZATION ON CONSTRUCTION SITES WHERE THE OWNER/OPERATOR WISHES TO REDUCE WEEKLY SITE INSPECTIONS THAT ARE REQUIRED PURSUANT TO PART BLD.3.A. OF THE STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT GP-02-01.

THE OWNER/OPERATOR IS REQUIRED TO HAVE A QUALIFIED PROFESSIONAL CONDUCT A SITE INSPECTION AT LEAST EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.5 INCHES OR GREATER. AT THE END OF THE CONSTRUCTION SEASON WHEN SOIL DISTURBANCE ACTIVITIES WILL BE FINALIZED OR SUSPENDED UNTIL THE FOLLOWING SPRING, IT MAY BE DESIRABLE TO REDUCE THE FREQUENCY OF THE REQUIRED INSPECTIONS.

IF THE SOIL DISTURBANCE IS COMPLETELY SUSPENDED AND THE SITE IS PROPERLY STABILIZED AN OWNER/OPERATOR MAY REDUCE THE SELF-INSPECTION FREQUENCY, BUT SHALL MAINTAIN A MINIMUM OF MONTHLY INSPECTIONS IN ALL SITUATIONS (EVEN WHEN THERE IS TOTAL WINTER SHUTDOWN). DURING PERIODS OF REDUCED INSPECTION FREQUENCY, INSPECTIONS MUST STILL BE DONE AFTER EVERY STORM EVENT OF 0.5 INCHES OR GREATER.

TO BE ALLOWED TO REDUCE INSPECTION FREQUENCIES, THE OPERATOR MUST COMPLETE STABILIZATION ACTIVITIES (PERIMETER CONTROLS, TRAPS, BARRIERS ETC) BEFORE PROPER INSTALLATION IS PRECLUDED BY SNOW COVER OR FROZEN GROUND. IF VEGETATION IS DESIRED, SEEDING, PLANTING, AND/OR SOODING MUST BE SCHEDULED TO AVOID DIE-OFF FROM FALL FROSTS AND ALLOW FOR PROPER GERMINATION/ESTABLISHMENT.

ALL EROSION AND SEDIMENT CONTROLS MUST BE INSTALLED AND MAINTAINED ACCORDING TO THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (AKA BLUE BOOK). THE MAIN ITEMS TO CONSIDER ARE:

- SITE STABILIZATION - ALL BARE/EXPOSED SOILS MUST BE STABILIZED BY AN ESTABLISHED VEGETATION, STRAW OR MULCH, MATING, ROCK OR OTHER APPROVED PRODUCT SUCH AS ROLLED EROSION CONTROL PRODUCT. SEEDING OF AREAS ALONG WITH MULCHING IS ENCOURAGED, HOWEVER SEEDING ALONE IS NOT CONSIDERED ACCEPTABLE FOR PROPER STABILIZATION.
- SEDIMENT BARRIERS - BARRIERS MUST BE PROPERLY INSTALLED AT ALL NECESSARY PERIMETER AND SENSITIVE LOCATIONS.
- SLOPES - ALL SLOPES AND GRADES MUST BE PROPERLY STABILIZED WITH APPROVED METHODS. ROLLED EROSION CONTROL PRODUCTS MUST BE USED ON ALL SLOPES GREATER THAN 3/1, OR WHERE CONDITIONS FOR EROSION DICTATE SUCH MEASURES.
- SOIL STOCKPILES - STOCKPILED SOILS MUST BE PROTECTED BY THE USE OF ESTABLISHED VEGETATION, AN ANCHORED-DOWN STRAW OR MULCH, ROLLED EROSION CONTROL PRODUCT OR OTHER DURABLE COVERING. A BARRIER MUST BE INSTALLED AROUND THE PILE TO PREVENT EROSION AWAY FROM THAT LOCATION.
- CONSTRUCTION ENTRANCE - ALL ENTRANCE/EXIT LOCATIONS TO THE SITE MUST BE PROPERLY STABILIZED AND MUST BE MAINTAINED TO ACCOMMODATE SNOW MANAGEMENT AS SET FORTH IN THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- SNOW MANAGEMENT - SNOW MANAGEMENT MUST NOT DESTROY OR DEGRADE EROSION AND SEDIMENT CONTROL PRACTICES.

FROZEN GROUND, WINTER CONDITIONS AND EQUIPMENT CAN AFFECT EROSION AND SEDIMENT CONTROL PRACTICES. CHECK FOR DAMAGE DURING MONTHLY INSPECTIONS AND REPAIR AS NECESSARY. THIS IS ESPECIALLY IMPORTANT DURING THAW AND PRIOR TO SPRING RAIN EVENTS. WEEKLY INSPECTIONS MUST RESUME NO LATER THAN MARCH 15 OR AS DIRECTED BY THE DEPARTMENT.

TEMPORARY RIP-RAP OUTLET SEDIMENT TRAP CONSTRUCTION SPECIFICATIONS

- THE AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED.
- THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS OR OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS, ORGANIC MATERIAL OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED. MAXIMUM HEIGHT OF OF EMBANKMENT SHALL BE FIVE (5) FEET, MEASURED AT CENTERLINE OF EMBANKMENT.
- ALL FILL SLOPES SHALL BE 2:1 OR FLATTER, CUT SLOPES 1:1 OR FLATTER.
- ELEVATION OF THE TOP OF ANY DIKE DIRECTING WATER INTO TRAP MUST EQUAL OR EXCEED THE HEIGHT OF EMBANKMENT.
- REQUIRED STORAGE SHALL BE 3,600 CUBIC FEET PER ACRE OF DRAINAGE AREA. STORAGE AREA PROVIDED SHALL BE FIGURED BY COMPUTING THE VOLUME AVAILABLE BEHIND THE OUTLET CHANNEL UP TO AN ELEVATION OF ONE (1) FOOT BELOW THE LEVEL WEIR CREST.
- FILTER CLOTH SHALL BE PLACED OVER THE BOTTOM AND SIDES OF THE OUTLET CHANNEL PRIOR TO PLACEMENT OF STONE. SECTIONS OF FABRIC MUST OVERLAP AT LEAST ONE (1) FOOT WITH SECTION NEAREST ENTRANCE PLACED ON TOP. FABRIC SHALL BE EMBEDDED AT LEAST SIX (6) INCHES INTO EXISTING GROUND AT ENTRANCE OF OUTLET CHANNEL.
- STONE USED IN THE OUTLET CHANNEL SHALL BE FOUR (4) TO EIGHT (8) INCH RIPRAP. TO PROVIDE A FILTERING EFFECT, A LAYER OF FILTER CLOTH SHALL BE EMBEDDED ONE (1) FOOT WITH SECTION NEAREST ENTRANCE PLACED ON TOP. FABRIC SHALL BE EMBEDDED AT LEAST SIX (6) INCHES INTO EXISTING GROUND AT ENTRANCE OF OUTLET CHANNEL.
- SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRED AS NEEDED.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION ARE MINIMIZED.
- THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
- DRAINAGE AREA FOR THIS PRACTICE IS LIMITED TO 15 ACRES OR LESS.
- A 2' VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN TEMPORARY SEDIMENT TRAP AND PROPOSED BIO RETENTION AREA TO PREVENT SEDIMENTATION FROM ALTERING NATURAL INFILTRATION RATES. THE TEMPORARY SEDIMENT BASIN SHALL BE LINED WITH AN IMPERMEABLE LINER TO PREVENT SEDIMENTATION.
- PRIOR TO CONSTRUCTION OF BIORETENTION AREAS, THE ACCUMULATED SEDIMENT MUST BE EXCAVATED FROM TEMPORARY SEDIMENT TRAPS IN A MANNER THAT PREVENTS COMPACTION OF THE UNDERLYING SOILS.

SEDIMENT BASIN A:
VOLUME = 25,580 CF
DRAINAGE AREA= 5.0 AC.

SEDIMENT BASIN B:
VOLUME = 11,070 CF
DRAINAGE AREA= 2.9 AC.

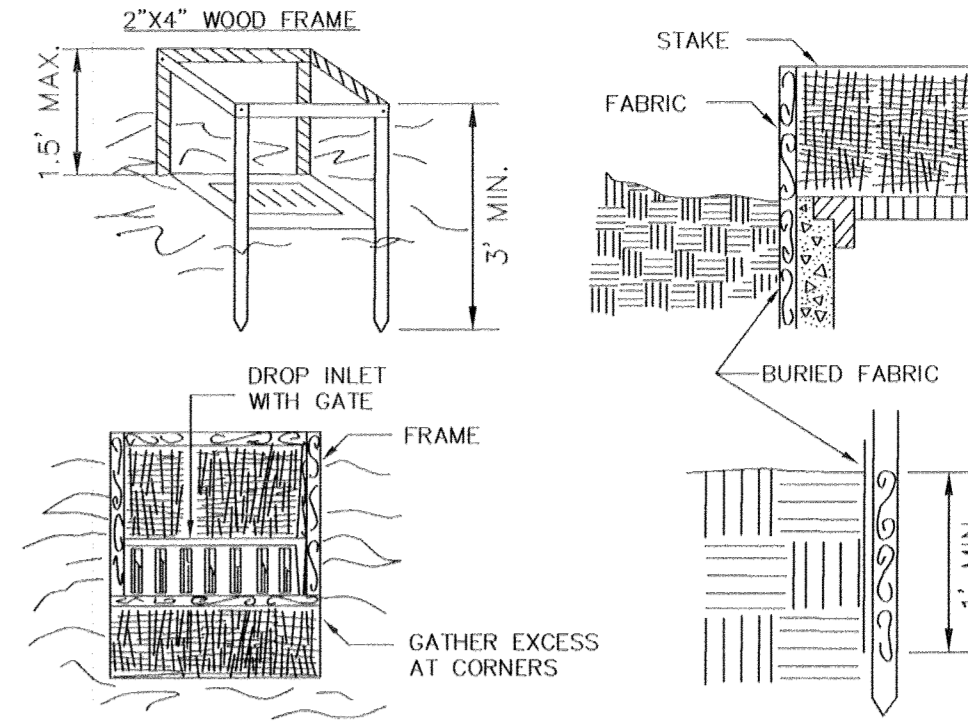
SOIL RESTORATION REQUIREMENTS

- ALL DISTURBED AREAS WHERE ONLY TOPSOIL STRIPPING HAS OCCURRED REQUIRE AERATION OF THE SUBGRADE BEFORE SPREADING TOPSOIL.
- ALL DISTURBED AREAS WHERE CUT AND FILL OPERATIONS OCCURRED REQUIRE FULL SOIL RESTORATION AS SPECIFIED IN NYSDEC MANUAL PUBLICATION ENTITLED "DEEP RIPPING AND DE-COMPACTION."

CONSTRUCTION SCHEDULE

AS PART OF THE DEVELOPMENT OF THE EROSION CONTROL PLAN, AN ANALYSIS OF PROPOSED CONSTRUCTION SEQUENCING WILL BE CONDUCTED TO ENSURE WATER QUALITY DISCHARGES DURING CONSTRUCTION. THE FOLLOWING CONSTRUCTION SCHEDULE FOR IMPLEMENTING STORMWATER MANAGEMENT IS PROPOSED. (SEE APPENDIX F FOR CONSTRUCTION AND MAINTENANCE INSPECTION FORMS.)

- PRE-CONSTRUCTION MEETING: BEFORE CONSTRUCTION ACTIVITIES AN EVALUATION OF THE SITE WILL BE PERFORMED WITH THE SITE CONTRACTOR, TOWN PERSONNEL AND SITE DESIGN ENGINEER TO DISCUSS GENERAL CONSTRUCTION PROCEDURES AND SEQUENCING. DURING THIS MEETING SENSITIVE AREAS OF THE PROPERTY SHALL BE DELINEATED AND MARKED-OUT (I.E.: TREES, WETLANDS, ETC.)
- PROTECT EXISTING WETLANDS: PLACE EROSION CONTROL DEVICE (SILTATION FENCE) UPSTREAM OF WETLANDS (IF ANY) OUTSIDE CONSTRUCTION AREA, PRIOR TO ANY CONSTRUCTION.
- CONSTRUCTION ENTRANCE/SILTATION CONTROLS: A STABILIZED CONSTRUCTION ENTRANCE WILL BE INSTALLED AT EACH ENTRANCE TO THE SITE AFTER THE EXISTING DRIVEWAY THAT IS TO REMAIN. DURING WET WEATHER IT MAY NECESSARY TO WASH VEHICLE TIRES AT THESE LOCATIONS. THEREFORE, THESE ENTRANCES ARE TO BE GRADED SO THAT RUNOFF IS DIRECTED ONTO THE CONSTRUCTION SITE. IN ADDITION, SILTATION CONTROL DEVICES, AS SHOWN ON THE EROSION CONTROL PLAN ARE TO BE INSTALLED.
 - SILTATION FENCE
 - SEDIMENT TRAPS
 - DIVERSION SWALES
 - INLET PROTECTION
- CONSTRUCTION OF TEMPORARY SEDIMENT BASINS/TRAPS: CONSTRUCTION OF THE TEMPORARY SEDIMENT BASINS AND OUTLET STRUCTURES THROUGHOUT THE SITE SHALL BE COMPLETED PRIOR TO THE START OF ANY MAJOR EARTHWORk MOVEMENT OR SITE CONSTRUCTION.
- CONSTRUCTION OF DIVERSION SWALES AND ON-SITE DITCHES: THE INSTALLATION OF ALL ON SITE DITCHES TO BE USED TO CONVEY STORMWATER TO THE SEDIMENT BASINS SHALL BE COMPLETED.
- LAND GRADING: GRADING WILL BE REQUIRED THROUGHOUT THE SITE. ALL PROPOSED SILT FENCING AND TEMPORARY SWALES SHALL BE INSTALLED PRIOR TO DRIVEWAY CONSTRUCTION.
- SOIL RESTORATION: ALL DISTURBED AREAS WHERE ONLY TOPSOIL STRIPPING HAS OCCURRED REQUIRE AERATION OF THE SUBGRADE BEFORE SPREADING TOPSOIL. ALL DISTURBED AREAS WHERE CUT AND FILL OPERATIONS OCCURRED REQUIRE FULL SOIL RESTORATION AS SPECIFIED IN NYSDEC MANUAL PUBLICATION ENTITLED "DEEP RIPPING AND DE-COMPACTION."
- DRIVEWAY CONSTRUCTION/UTILITY INSTALLATION: WITH ALL EROSION CONTROL DEVICES IN PLACE, CONSTRUCTION OF THE DRIVEWAY AND PARKING AREAS SHALL COMMENCE.
- BUILDING CONSTRUCTION: UPON COMPLETION OF THE ABOVE, BUILDING CONSTRUCTION WILL COMMENCE. ADDITIONAL PRECAUTIONS/SEDIMENT CONTROLS AT THE ENTRANCES TO STORM SYSTEM ARE TO BE UTILIZED, INCLUDING SILTATION FENCING, CATCH BASIN PROTECTION, AND RIP RAP OUTFALL STRUCTURES. UPON COMPLETION OF THE BUILDING, DRIVEWAY AND PARKING LOTS SHALL BE COMPLETED IN ACCORDANCE WITH THE PLANS.
- LANDSCAPING AND FINAL STABILIZATION: ALL OPEN AREAS TO BE STABILIZED WITH TOPSOIL AND SEEDED AS PER THE SEEDING SCHEDULE SPECIFIED ON THE EROSION AND SEDIMENT CONTROL PLANS. REMOVAL OF ALL TEMPORARY MEASURES, FLUSHING/CLEANING OF ALL CATCH BASINS AND PIPE, AND REMOVAL AND DISPOSAL OF ALL TRAPPED SEDIMENT ON SITE SHALL BE COMPLETED.
- STORMWATER MANAGEMENT FACILITIES: FOLLOWING STABILIZATION OF UPSTREAM AREAS, THE STORMWATER MANAGEMENT AREAS WILL BE CONSTRUCTED. THEN THE PROPOSED STORMWATER MANAGEMENT AREA INCLUDING THE BIO-RETENTION AREA SHALL BE INSTALLED IN THEIR RESPECTIVE LOCATIONS. FILTER MEDIA MUST NOT BE PLACED UNTIL CONTRIBUTING DRAINAGE AREA HAS BEEN SUBSTANTIALLY STABILIZED.
- FINAL SITE INSPECTION AND CERTIFICATION: AT THE END OF CONSTRUCTION A SITE EVALUATION OF THE SITE WILL BE PERFORMED WITH SITE CONTRACTOR, TOWN PERSONNEL AND SITE ENGINEER TO ENSURE THAT ALL STORMWATER FACILITIES WERE CONSTRUCTED AS PER THE SWPPP DESIGN AND THAT THE SITE HAS BEEN STABILIZED.
- OPERATOR SHALL FILE THE NOTICE OF TERMINATION WITH THE NYSDEC.



CONSTRUCTION SPECIFICATIONS

- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
- CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIALS WILL BE STANDARD 2"x4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
- FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
- A 2"x4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

MAXIMUM DRAINAGE AREA 1 ACRE

FILTER FABRIC DROP INLET PROTECTION

NOT TO SCALE

EROSION AND SEDIMENT CONTROL NOTES AND SPECIFICATIONS

- ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN UNTIL THEY ARE PERMANENTLY STABILIZED.
- ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN AND THE "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL."
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF FOUR INCHES PRIOR TO PLACEMENT OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL FILL TO BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- EXCEPT FOR APPROVED LANDFILLS, FILL MATERIAL SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.
- STOCKPILES, BORROW AREAS AND SPOIL AREAS SHALL BE SHOWN ON THE PLANS AND SHALL BE SUBJECT TO THE PROVISIONS OF THIS STANDARD AND SPECIFICATION.
- SEED ALL DISTURBED AREAS WHICH WILL REMAIN UNDISTURBED FOR A PERIOD OF 15 DAYS OR MORE AND WHICH WILL NOT BE UNDER CONSTRUCTION WITHIN 30 DAYS WITH TEMPORARY RYEGRASS COVER, AS FOLLOWS (METHOD OF SEEDING IS OPTIONAL):
 - LOOSEN SEEDBED BY DISCING TO A 4" DEPTH.
 - SEED WITH SUMMER - PERENNIAL OR ANNUAL RYEGRASS AT 30 LBS PER ACRE
FALL/WINTER - AROOSTOOK WINTER RYE AT 100 LBS PER ACRE
 - MULCH WITH 2 TONS PER ACRE OF BLOWN AND CHOPPED HAY.
 - WHERE NOTED ON THE PLAN, AND ON SLOPES GREATER THAN OR EQUAL TO 3:1, PROVIDE SOIL STABILIZATION MATING.
- AFTER COMPLETION OF SITE CONSTRUCTION, FINE GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED WITH PERMANENT LAWN MIX AS FOLLOWS (SEE LANDSCAPE PLAN FOR OTHER PLANTING INFORMATION):
 - LIME TOPSOIL TO pH 6.0.
 - FERTILIZE WITH 600 LBS PER ACRE OF 5-10-10.
 - SEED MIXTURE: 10# PER ACRE CREEPING RED FESCUE, 10# PER ACRE PERENNIAL RYE GRASS
 - MULCH AS DESCRIBED FOR TEMPORARY SEEDING (NOTE 15C ABOVE).
- DURING THE PROGRESS OF CONSTRUCTION, AND ESPECIALLY AFTER RAIN EVENTS, MAINTAIN ALL SEDIMENT TRAPS, BARRIERS, AND FILTERS AS NECESSARY TO PREVENT THEIR BEING CLOGGED WITH SEDIMENT. RE-STABILIZE ANY AREAS THAT MAY HAVE ERODED.
- MAINTAIN ALL SEEDED AND PLANTED AREAS TO INSURE A Viable STABILIZED VEGETATIVE COVER.
- MAINTAIN COPIES OF THE CONSTRUCTION LOGBOOK, STORMWATER POLLUTION PREVENTATION PLAN (SWPPP) NOTICE OF INTENT (NOI), PERMITS, AND SITE PLANS ON-SITE AT ALL TIMES DURING CONSTRUCTION.
- A RAIN GAUGE WILL BE MAINTAINED ON-SITE AT ALL TIMES. READINGS SHALL BE TAKEN ON A DAILY BASIS AND LOGGED.

COPYRIGHT 2020, LANC & TULLY, P.C.



LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

EROSION CONTROL DETAILS PREPARED FOR

POMEGRANATE SOLUTIONS, LLC

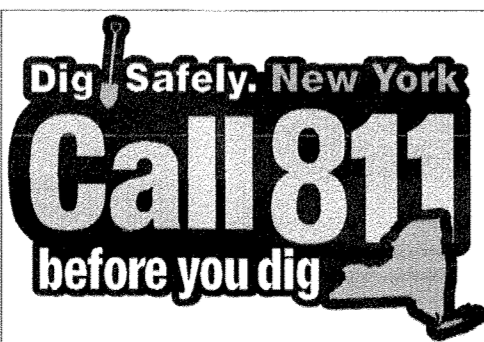
TOWN OF CHESTER
ORANGE COUNTY, NEW YORK

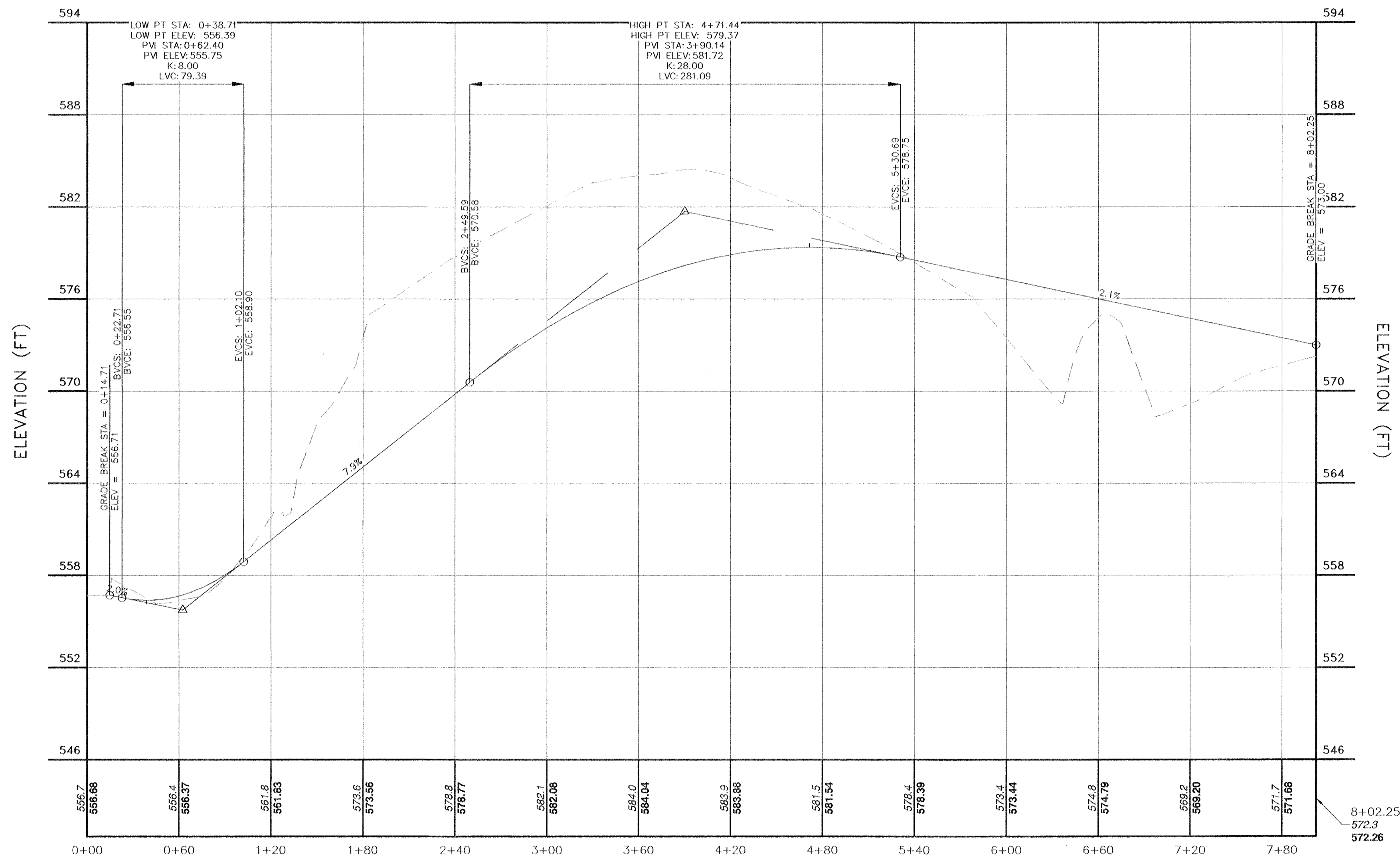
Drawn By: CMF Checked By: JO Scale: N.T.S. Tax Map No.: 17-1-83, 84, 85, 86

Date: FEBRUARY 26, 2020
Revisions:
JULY 21, 2020
OCTOBER 21, 2020
FEBRUARY 17, 2021
MARCH 23, 2021
APRIL 21, 2021
MAY 19, 2021
CAD File: 170117-DETAILS.DWG
Layout: EROSION
Sheet No.: 7 OF 13
Drawing No.: C30
B - 17 - 0117 - 01

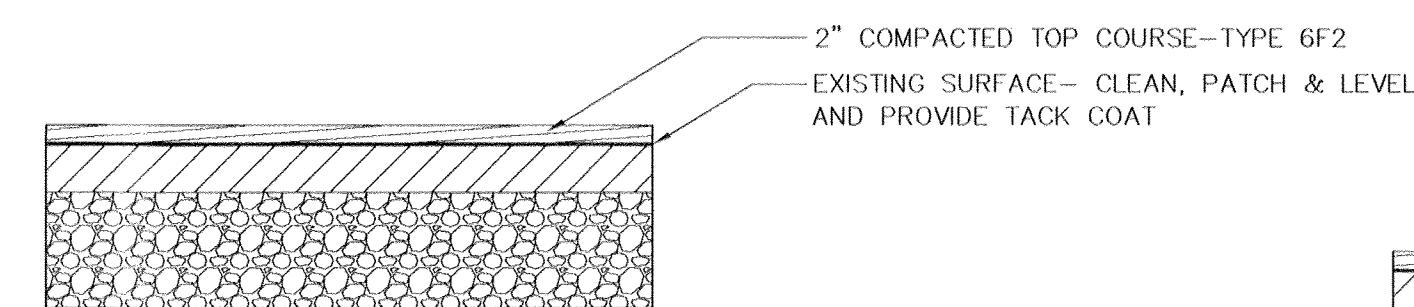
COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

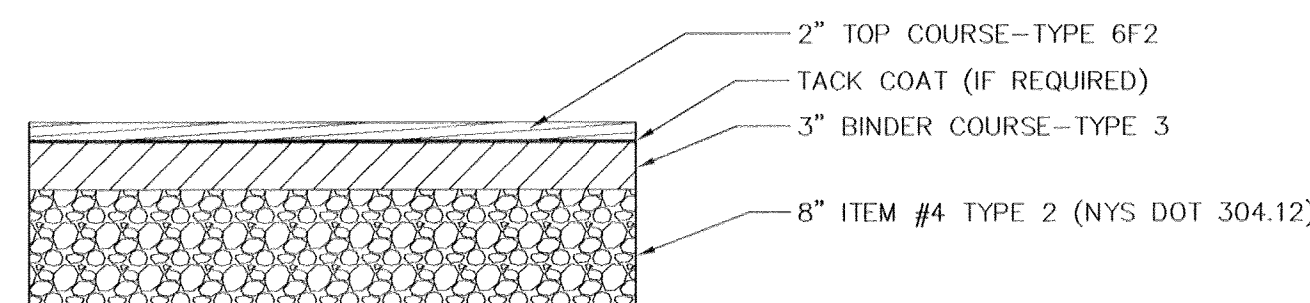




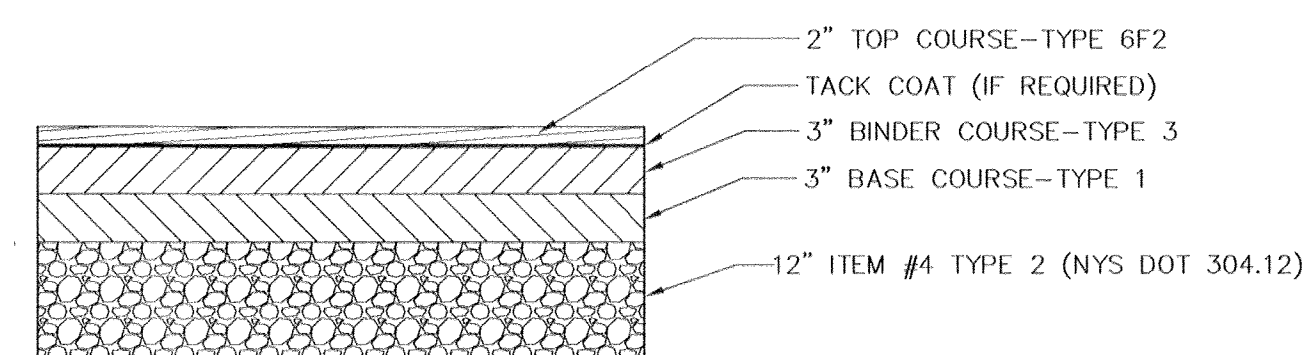
South Access Drive
ST 0+00 THRU ST 8+02.25
SCALE: HORIZONTAL 1"=60'
VERTICAL 1"=6'



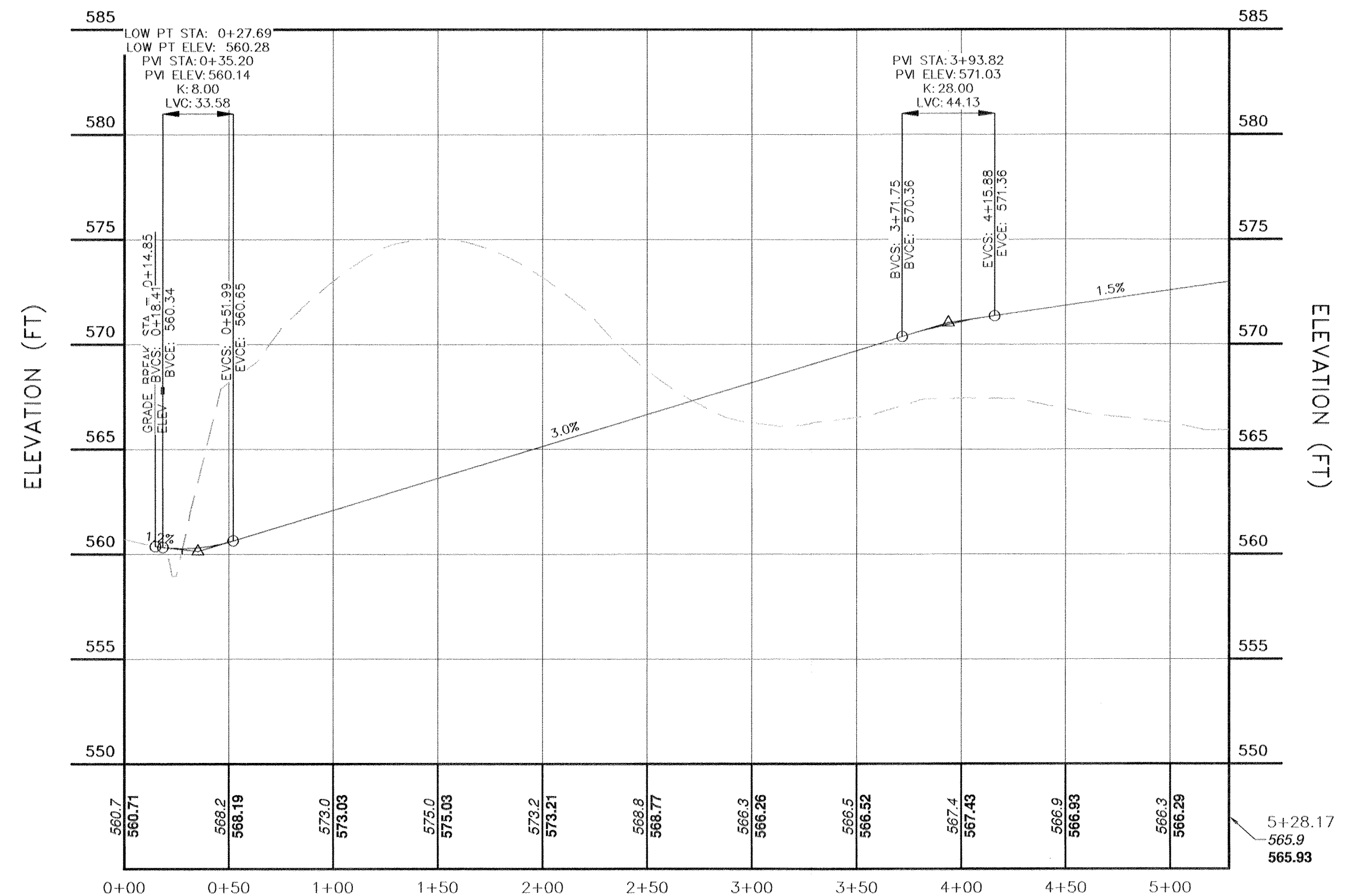
PAVEMENT SECTION
TOWN ROAD RESTORATION
NOT TO SCALE



PAVEMENT SECTION 1
PASSENGER TRAFFIC AND PARKING AREAS
NOT TO SCALE



PAVEMENT SECTION 3
HEAVY DUTY TRUCK TRAFFIC AREAS
NOT TO SCALE



North Access Drive
ST 0+00 THRU ST 5+28.17
SCALE: HORIZONTAL 1"=50'
VERTICAL 1"=5'



COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

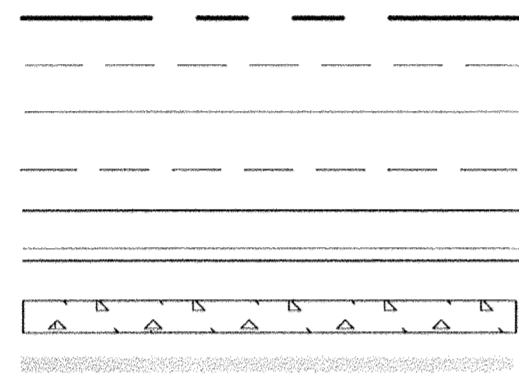
NOTE: CURBS TO HAVE 6" REVEAL AND REPLACEMENT CURBS TO BE PINNED ON EACH SIDE.

COPYRIGHT 2020, LANC & TULLY, P.C.

LANC & TULLY ENGINEERING AND SURVEYING, P.C.		P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700	
ROAD PROFILES			
POMEGRANATE SOLUTIONS, LLC		TOWN OF CHESTER ORANGE COUNTY, NEW YORK	
Date: FEBRUARY 26, 2020 Revisions: JULY 21, 2020 OCTOBER 21, 2020 FEBRUARY 17, 2021 MARCH 23, 2021 APRIL 21, 2021 MAY 19, 2021	CAD File: 170117-PROFILES.DWG Layout: ROAD PROFILES Sheet No.: 8 OF 13	Drawing No.: B-17-0117-01	Tax Map No.: 17-1-83, 84, 85, 86
Drawn By: CMF	Checked By: JO	Scale: 1" = 50'	Date: FEBRUARY 26, 2020

LEGEND:

PROPERTY LINE
EXISTING CONTOUR MAJOR
EXISTING CONTOUR MINOR
PROPOSED YARD
PROPOSED EDGE OF PAVEMENT
PROPOSED CURB
PROPOSED SIDEWALK
PROPOSED WALL



SEED WITH MIX #3 AS SHOWN
ON TABLE 4.4 OF THE NEW YORK
STATE STANDARDS AND SPECIFICATIONS
FOR EROSION AND SEDIMENT CONTROL

N/T
OPPMANN
L. 12279 P. 241
17 - 1 - 102

20' WIDE
DRAINAGE EASEMENT
0.032± AC.
(F.M. NO. 10111)

N02°46'43"E
42.45'

BENT I. ROD
FOUND 0.49' SE OF
PROPERTY CORNER

N/T
PAGANO
L. 2393 P. 201
17 - 1 - 21

N/T
LAKE STATION
INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.4

N/T
LAKE STATION
INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.1

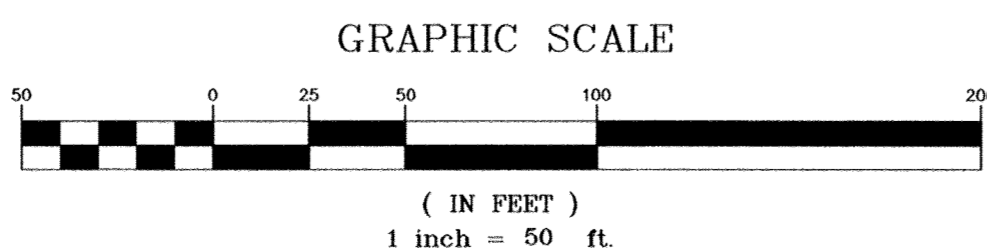
SEED WITH MIX #3 AS SHOWN
ON TABLE 4.4 OF THE NEW YORK
STATE STANDARDS AND SPECIFICATIONS
FOR EROSION AND SEDIMENT CONTROL

N/T
LAKE STATION
INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.5

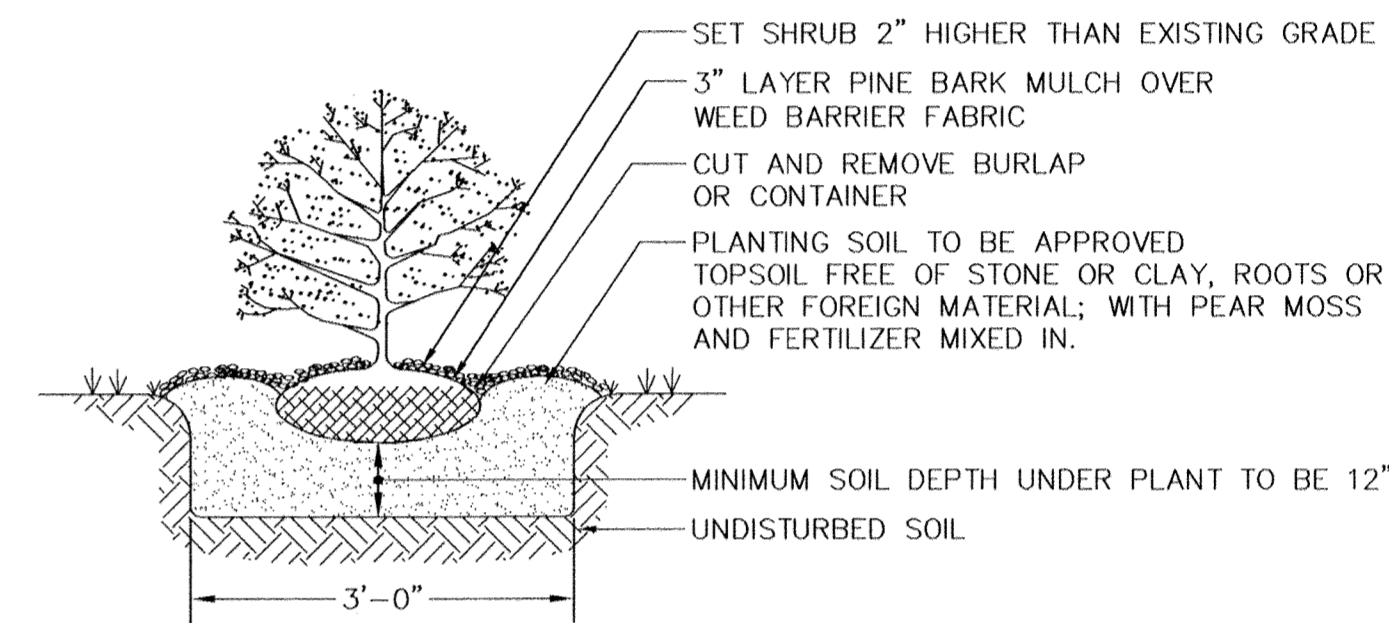
BENT I. ROD
FOUND 0.37' NE OF
PROPERTY CORNER

COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT
MARKED WITH AN ORIGINAL OF THE PROFESSIONAL
ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR
EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID,
TRUE COPIES.

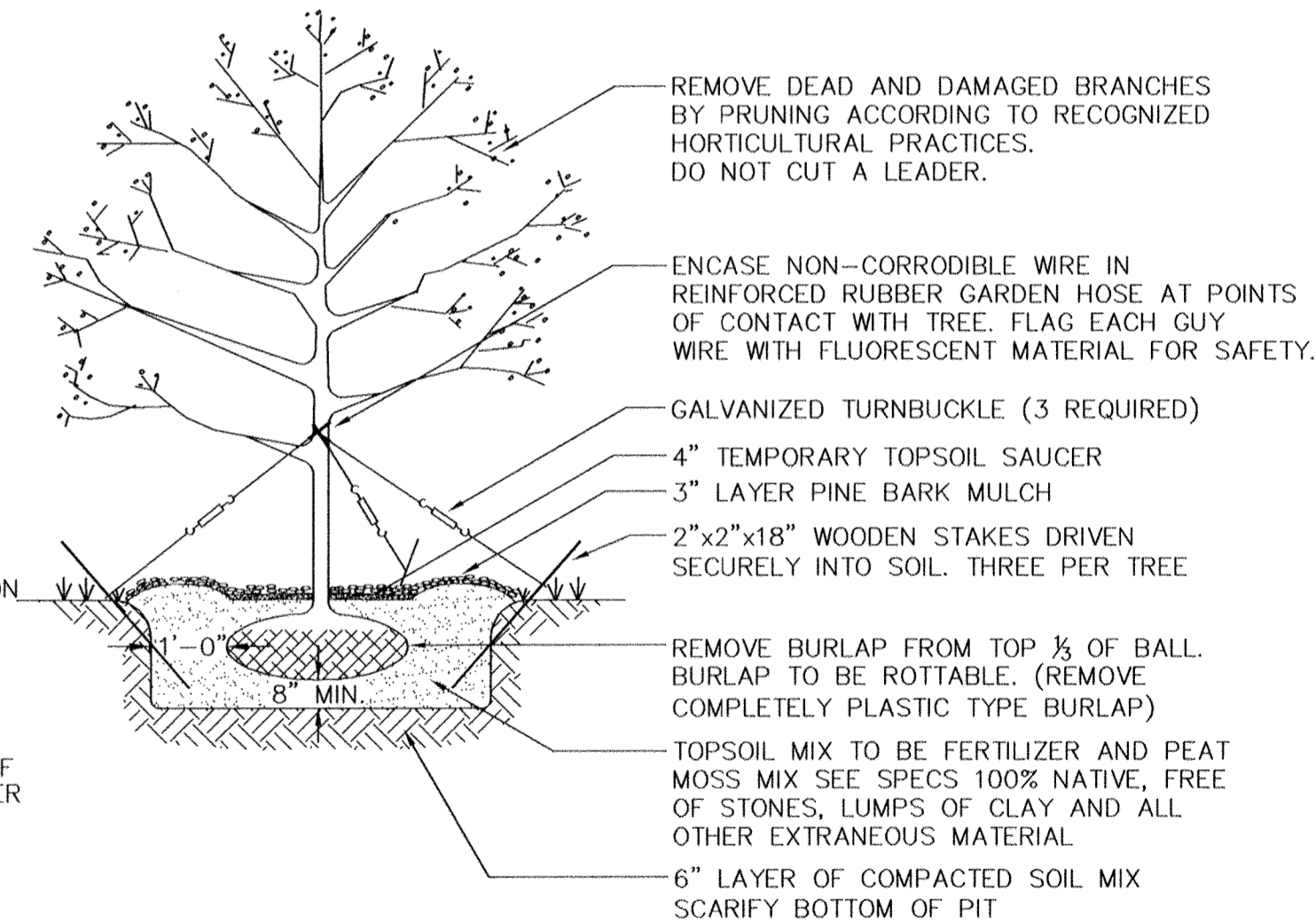
UNAUTHORIZED ALTERATION OR ADDITION TO THIS
DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF
THE NEW YORK STATE EDUCATION LAW.



SITE PLANT SCHEDULE					
KEY	BOTANICAL NAME	COMMON NAME	SIZE, NOTES	QUANTITY	SYMBOL
DECIDUOUS TREES					
Ar	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	2-1/2" CAL MIN, B&B	7	+
EVERGREEN TREES					
Ts	THUJA STANDISHII x PICATA	GREEN GIANT ARBORVITAE	7-8' HGT, B&B	16	⊗
SHRUBS					
Bs	BUXUS SEMPERVIRENS	ENGLISH BOXWOOD	18"-24" DIA, CONTAINER	24	⊗



SHRUB PLANTING DETAIL
NOT TO SCALE



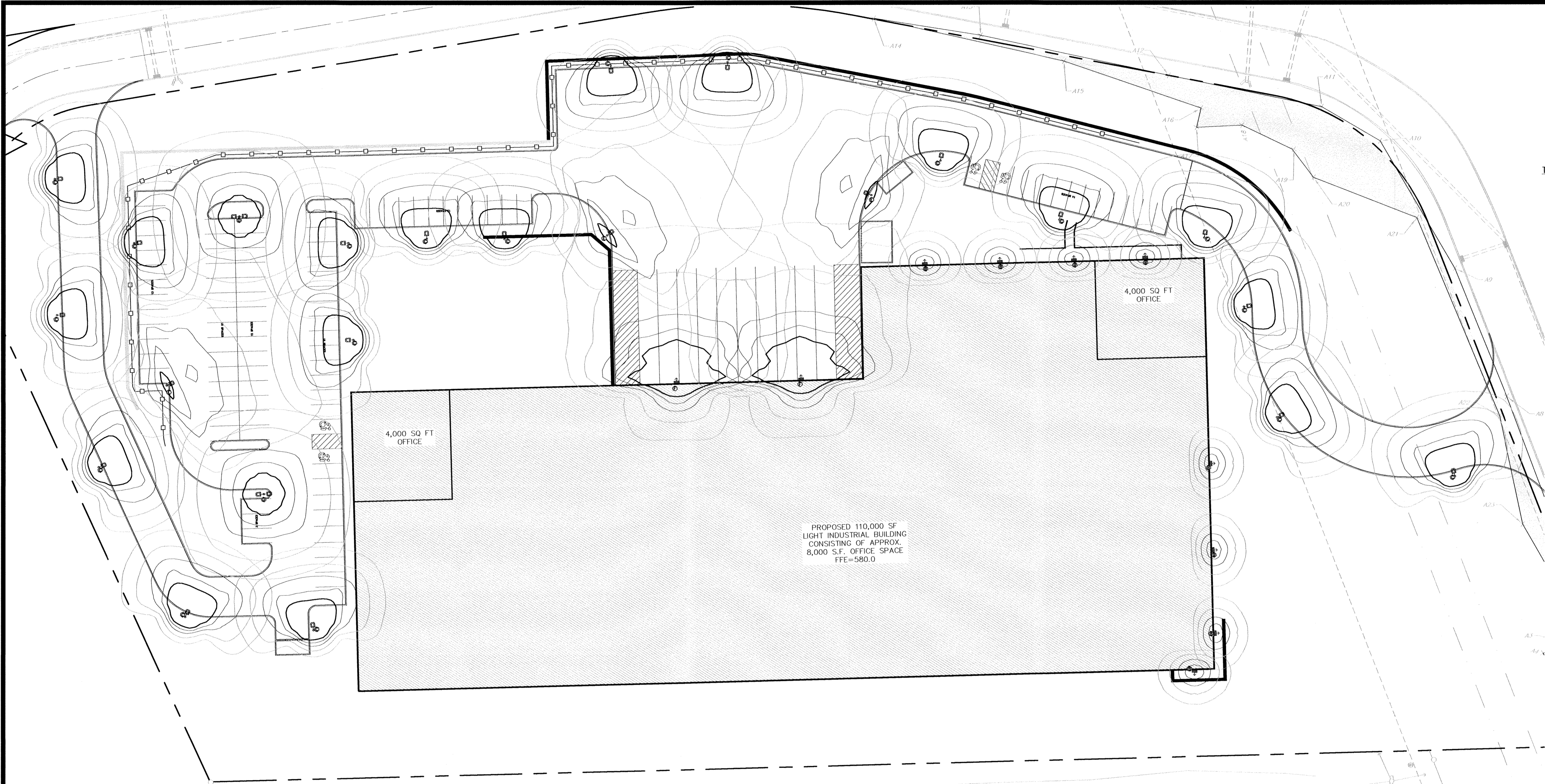
DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

GENERAL LANDSCAPING NOTES:

- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE TO LOCATE AND VERIFY LOCATION OF ALL UTILITIES ON SITE PRIOR TO CONSTRUCTION OR INSTALLATION.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO THE STANDARDS OF AMERICAN STANDARD FOR NURSERY STOCK, THE AMERICAN ASSOCIATION OF NURSERYMEN, LATEST EDITION.
- ALL PLANTS AND WORKMANSHIP SHALL BE UNCONDITIONALLY GUARANTEED FOR 2 CALENDAR YEARS. IF STAKING IS NECESSARY, CONTRACTOR SHALL REMOVE STAKES AND GUIDES AFTER ONE YEAR—OR AFTER ONE GROWING SEASON.
- ALL LANDSCAPE INSTALLATIONS SHALL BE MAINTAINED ON A REGULAR BASIS, AND SHALL NOT BE ALLOWED TO TAKE ON AN UNSIGHTLY APPEARANCE (EXCEPT FOR NATURAL AREAS WHICH SHALL BE ALLOWED TO GROW NATURALLY WITH A MINIMUM OF MAINTENANCE).
- CONTRACTOR SHALL FIELD STAKE THE LOCATIONS OF ALL PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE.
- ALL LANDSCAPING PLANT MATERIALS — TREES, SHRUBS, GROUNDCOVERS AND PERENNIALS SHALL BE PLANTED AS SHOWN IN DETAILS. BACKFILL MIX FOR PLANTING BEDS SHALL BE A MIX OF TOPSOIL, WELL-ROTTED COMPOST AND FERTILIZER. PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. IF WET SOIL CONDITIONS EXIST THEN PLANTING PITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND FILLED WITH CRUSHED STONE.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THAT WHICH EXISTED IN THE NURSERY.
- ALL PLANTS SHALL BE ORIENTED AT THEIR PROPOSED LOCATION TO PRESENT THEIR BEST SIDE.
- NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL ALL PLANTS.
- ALL LAWN/GRASSED AREAS ARE TO BE TOPSOILED TO A DEPTH OF 4" AND SEEDDED AS PER THE PERMANENT SEEDING RATE. A MINIMUM OF 12" OF TOPSOIL IN ALL PLANTING AREAS SHALL BE PROVIDED.
- MULCH ALL PLANTING BEDS AND TREES WITH A 3 INCH MINIMUM DEPTH OF HARDWOOD BARK MULCH. NO MULCH SHALL BE PLACED AGAINST THE ROOT COLLAR OF THE PLANTINGS. ALL TREES PLANTED IN LAWN AREAS SHALL RECEIVE A 3' DIAMETER MULCH RING OR TO THE LIMIT OF THE ADJACENT LAWN AREA.
- MAINTENANCE AND MOWING: SWALES AND STEEP SLOPES SHALL ONLY BE MOWED ONCE A YEAR IN LATE WINTER OR EARLY SPRING.

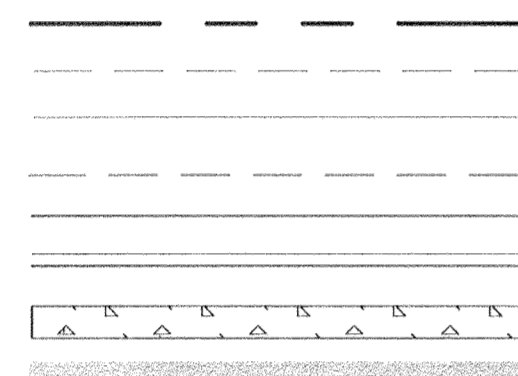
COPYRIGHT 2021, LANC & TULLY, P.C.

L&T LANC & TULLY ENGINEERING AND SURVEYING, P.C.		P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700
LANDSCAPE PLAN PREPARED FOR		Date: FEBRUARY 26, 2020 Revisions: JULY 21, 2020 OCTOBER 21, 2020 FEBRUARY 17, 2021 MARCH 23, 2021 APRIL 21, 2021 MAY 19, 2021
POMEGRANATE SOLUTIONS, LLC		CAD File: L17117-LANDSCAPE PLAN Layout: LANDSCAPE Sheet No.: 9 OF 13
Drawn By: CMF	Checked By: JQ	Scale: 1" = 50' Town Map No.: 17- 1-B3, B4, B5, B6 Drawing No.: B - 17 - 0117 - 01



LEGEND:

PROPERTY LINE
EXISTING CONTOUR MAJOR
EXISTING CONTOUR MINOR
PROPOSED YARD
PROPOSED EDGE OF PAVEMENT
PROPOSED CURB
PROPOSED SIDEWALK
PROPOSED WALL



N/F
OPPMANN
L. 12278 P. 241
17 - 1 - 102

20' WIDE
DRAINAGE EASEMENT
0.032± AC.
(F.M. NO. 10111)

N02°46'43"E
42.45'

BENT I. ROD
FOUND 0.40' SE OF
PROPERTY CORNER

N/F
PAGANO
L. 2393 P. 201
17 - 1 - 21

N/F
LAKE STATION
INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.4

N/F
LAKE STATION
INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.1

N/F
LAKE STATION
INDUSTRIAL PARK, INC.
L. 11823 P. 744
17 - 1 - 22.5

BENT I. ROD
FOUND 0.37' NE OF
PROPERTY CORNER

N/F
POMEGRANATE
SOLUTIONS, LLC
L. 14287 P. 537
17 - 1 - 45.1

PROPOSED 110,000 SF
LIGHT INDUSTRIAL BUILDING
CONSISTING OF APPROX.
8,000 S.F. OFFICE SPACE
FFE=580.0

PROPOSED 4,000 SF
OFFICE SPACE

PROP SEPTIC
TANK AND
PUMP CHAMBER

VEHICLE
BODY PATH

VEHICLE TIRE PATH

PROPOSED Loading
DOCK
(10 TOTAL)

WETLAND AREA:
0.171 AC±
FEDERAL
WETLAND "A"
AREA: 0.170± AC

N/F
DI SUGAR LOAF LLC
L. 12159 P. 527
17 - 1 - 82

EXISTING SEWAGE DISPOSAL
SYSTEM (PRESUMED LOCATION)

NOTE: THE TRUCK TURNING MOVEMENT SHOWN HAS BEEN
ANALYZED FOR A WB-67 INTERSTATE SEMI-TRAILER.

COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT
MARKED WITH AN ORIGINAL OF THE PROFESSIONAL
ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR
EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID,
TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS
DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF
THE NEW YORK STATE EDUCATION LAW.



GRAPHIC SCALE



(IN FEET)
1 inch = 50 ft

COPYRIGHT 2021, LANC & TULLY, P.C.



LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

TRUCK TURN ANALYSIS
PREPARED FOR

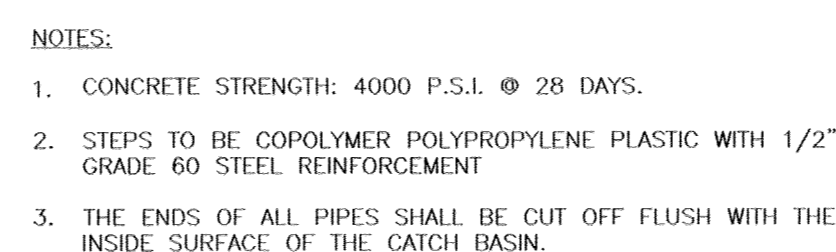
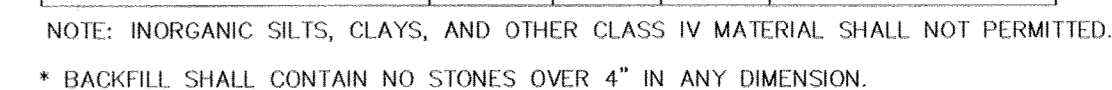
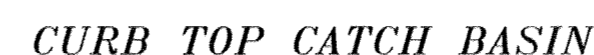
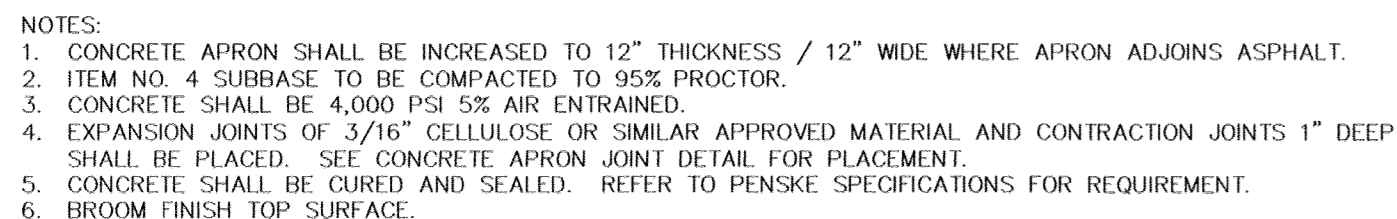
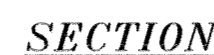
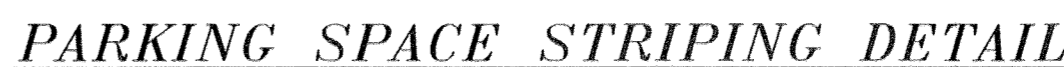
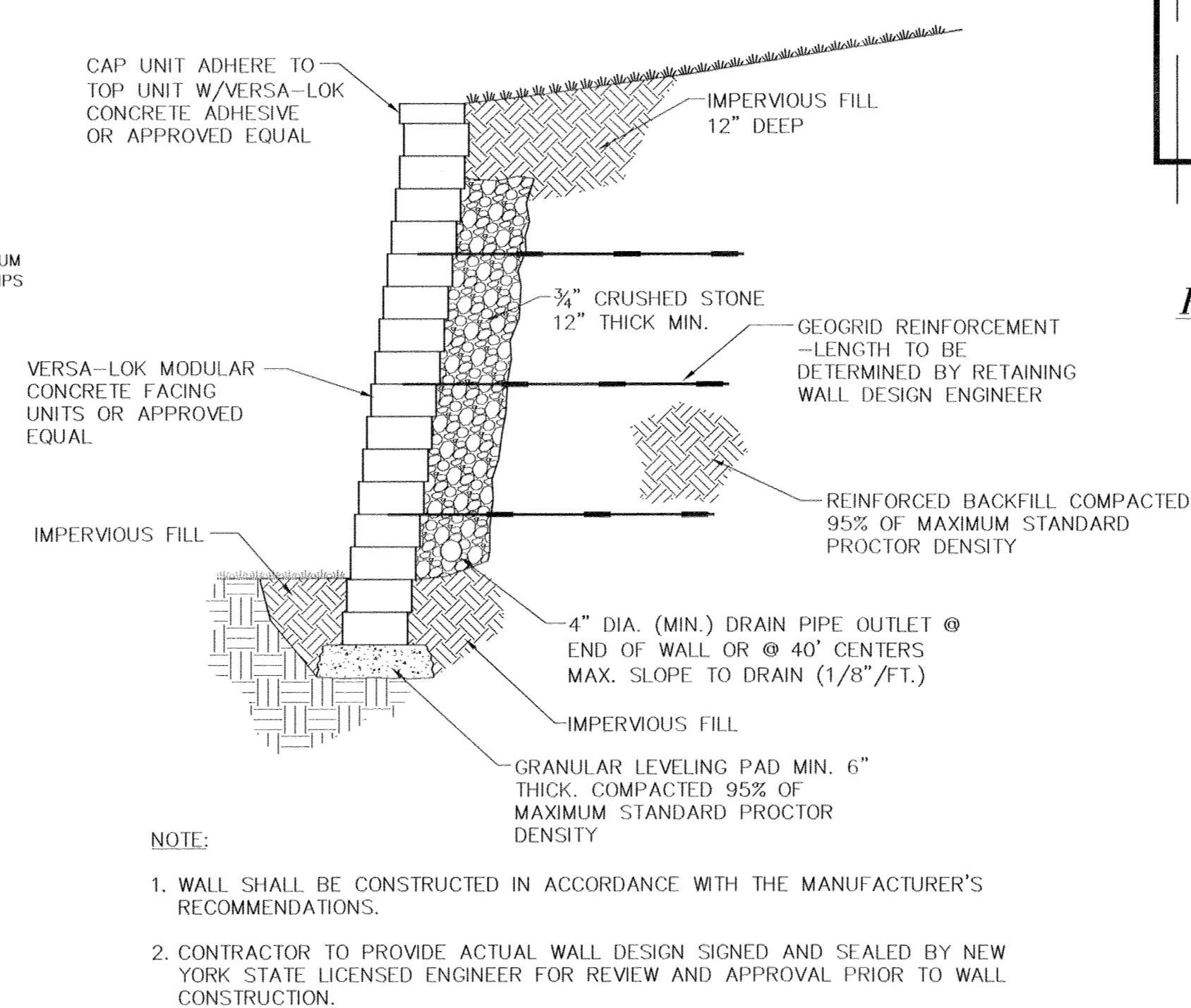
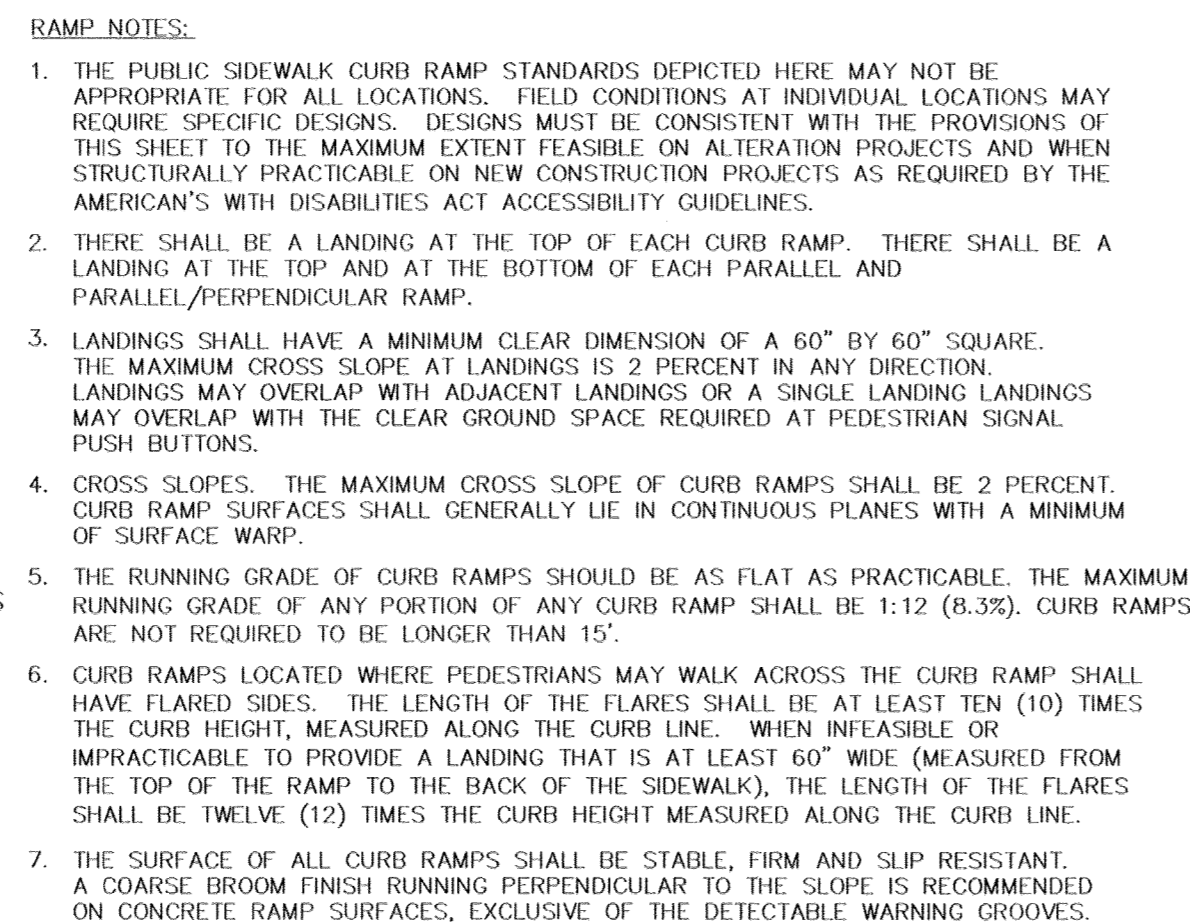
POMEGRANATE
SOLUTIONS, LLC

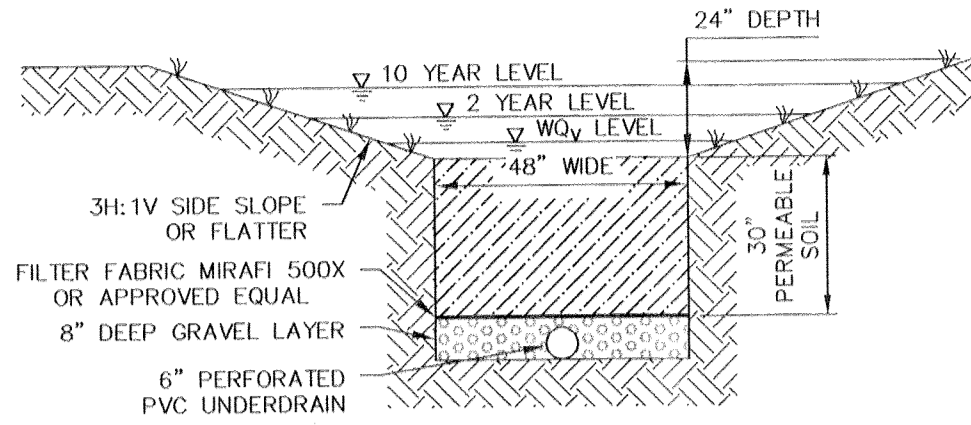
TOWN OF CHESTER
ORANGE COUNTY, NEW YORK

Drawn By: CMF Checked By: JQ Scale: 1" = 50' Tax Map No.: 17- 1-83, 84, 85, 86 Sheet No.: 11 OF 13

Date: FEBRUARY 26, 2020
Revisions:
JULY 21, 2020
OCTOBER 21, 2020
FEBRUARY 17, 2021
MARCH 23, 2021
APRIL 21, 2021
MAY 19, 2021

CAD File: 170117-TURNING DIAGRAMS
Layout: TRUCK
Drawing No.: 11 OF 13





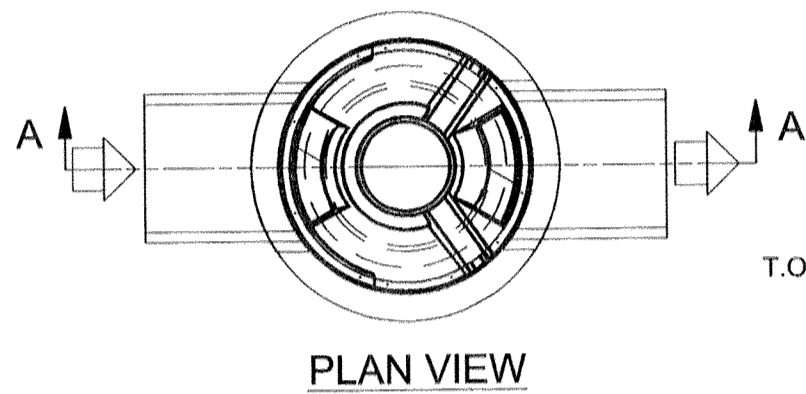
SECTION

DRY SWALE DETAIL

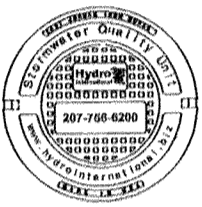
NOT TO SCALE

DRY SWALE SOIL NOTES

DRY SWALE SOILS SHALL MEET THE SPECIFICATIONS SET FORTH BY THE NYSDOT ITEM #208.01030022 (BIO-RETENTION AND DRY SWALE SOIL)



PLAN VIEW



HYDRO FRAME AND COVER (INCLUDED)
GRADE RINGS BY OTHERS AS REQUIRED

PRODUCT SPECIFICATION:

1. HYDRODYNAMIC SEPARATORS SHALL BE HIL FIRST DEFENSE UNIT (4 FT DIA) OR APPROVED EQUAL.
2. PEAK HYDRAULIC FLOW: 18.0 cfs
3. MIN SEDIMENT STORAGE CAPACITY: 0.7 cu. yd.
4. OIL STORAGE CAPACITY: 191 gal.
5. MAXIMUM INLET/OUTLET PIPE DIAMETERS: 24 in.
6. THE TREATMENT SYSTEM SHALL USE AN INDUCED VORTEX TO SEPARATE POLLUTANTS FROM STORMWATER RUNOFF.

GENERAL NOTES:

1. The diameter of the inlet and outlet pipes may be no more than 24".
2. Inlet/outlet pipe angle can vary to align with drainage network (refer to project plans)
3. Peak flow rate and minimum height limited by available cover and pipe diameter.
4. Larger sediment storage capacity may be provided with a deeper sump depth.

HYDRODYNAMIC SEPERATOR DETAIL

NOT TO SCALE

T.O.S ELEV.: 8.07 ft (MINIMUM)

NOTE: ADDITIONAL HEIGHT MAYBE REQUIRED DEPENDING ON PIPE SIZE

PIPE ELEV.: 4.97 ft (MINIMUM)

PREASSEMBLY REFERENCE: 3.47 ft

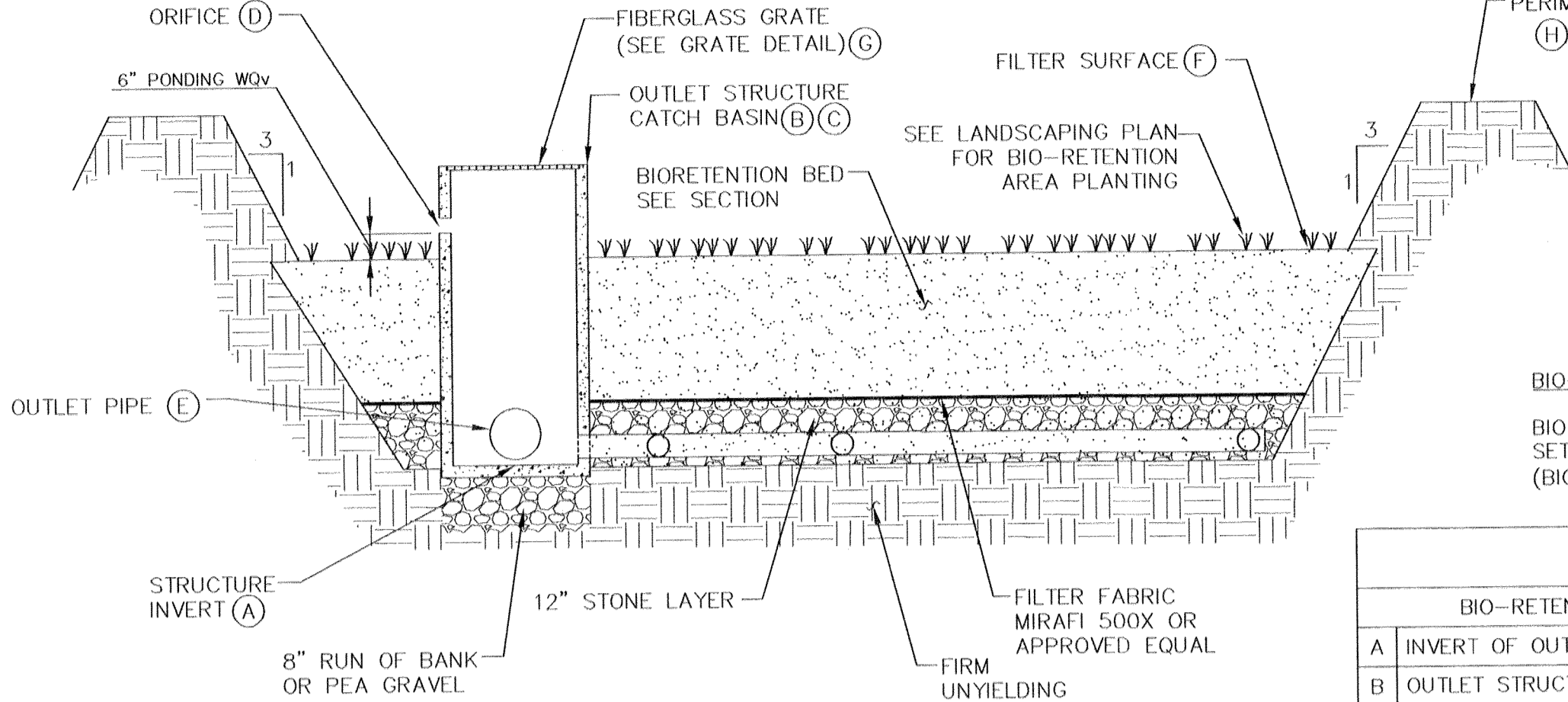
BOTTOM OF INTERNALS: 2.25 ft

SUMP ELEV.: .00 ft

SECTION A-A

NOTE:

BIO-RETENTION FACILITY SHALL NOT BE CONSTRUCTED UNTIL SUCH TIME AS THE SITE IS STABILIZED.



SECTION

BIO-RETENTION AREA DETAIL

NOT TO SCALE

BIORETENTION AREA MAINTENANCE REQUIREMENTS:

INSPECTION SHALL BE MADE WEEKLY BY A LICENSED PROFESSIONAL AND AFTER EVERY 1/2" RAINFALL EVENT BY THE OWNER OR CONTRACTOR DURING CONSTRUCTION. DURING THE FIRST GROWING SEASON INSPECTIONS SHALL BE CONDUCTED MONTHLY AND BI ANNUALLY THEREAFTER. THE FOLLOWING TASKS SHALL BE PERFORMED AS NEEDED:

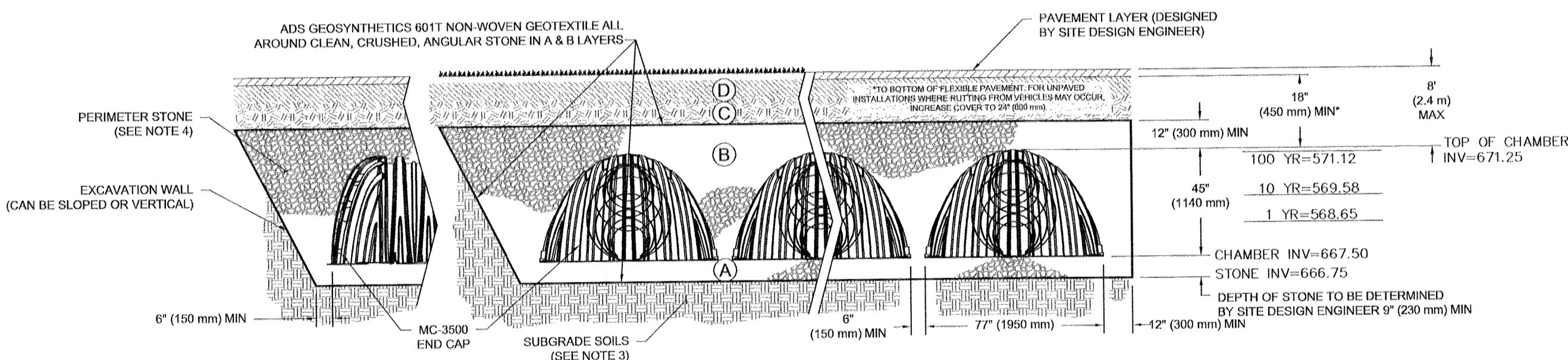
1. REMOVAL OF ACCUMULATED SEDIMENT AND CLEANING AND/OR RESTORATION OF THE FILTER BED AREAS WHENEVER ACCUMULATED SEDIMENT REACHES A DEPTH OF 1 INCH.
2. RESTORATION OF ANY DISTURBED PLANT MATERIAL AND ANY ERODED EMBANKMENTS. REPLACEMENT OF PROPOSED PLANTS SHALL OCCUR IF MORE THEN 50% OF THE COVERAGE OF THE FACILITY IS NOT ACHIEVED.
3. REMOVAL OF ACCUMULATED DEBRIS WITHIN THE FILTER BED AREAS AND AT ALL INLET AND OUTFALL STRUCTURES.
4. ANNUAL MOWING (EARLY WINTER) OF THE BASINS. TRIMMING AND PRUNING OF BUSHES. REMOVAL OF ANY FALLEN TREES OR LIMBS.
5. WHEN THE FILTERING CAPACITY OF THE FILTER DIMINISHES SUBSTANTIALLY (I.E., WHEN WATER PONDS ON THE SURFACE OF THE FILTER BED FOR MORE THAN 48 HOURS), THE TOP FEW INCHES OF DISCOLORED MATERIAL SHALL BE REMOVED AND SHALL BE REPLACED WITH FRESH MATERIAL. THE REMOVED SEDIMENTS SHALL BE DISPOSED IN AN ACCEPTABLE MANNER (I.E., LANDFILL).
6. REFER TO LANDSCAPING PLANS FOR PLANTING REQUIREMENTS. IF FOR ANY REASON A CONFLICT OF PLANT MATERIAL OR PLANT MAINTENANCE SHOULD OCCUR, THE LANDSCAPE PLANS ARE TO TAKE PRECEDENCE.
7. COMPACTION SHALL BE AVOIDED AT ALL TIMES OF CONSTRUCTION OF MAINTENANCE OF THE BIORETENTION AREAS IN ORDER TO MAINTAIN THE NATURAL INFILTRATION CHARACTERISTICS OF THE UNDERLYING SOILS.

ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 85% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M145 ¹ A-1, A-2, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43 ¹ 3, 4

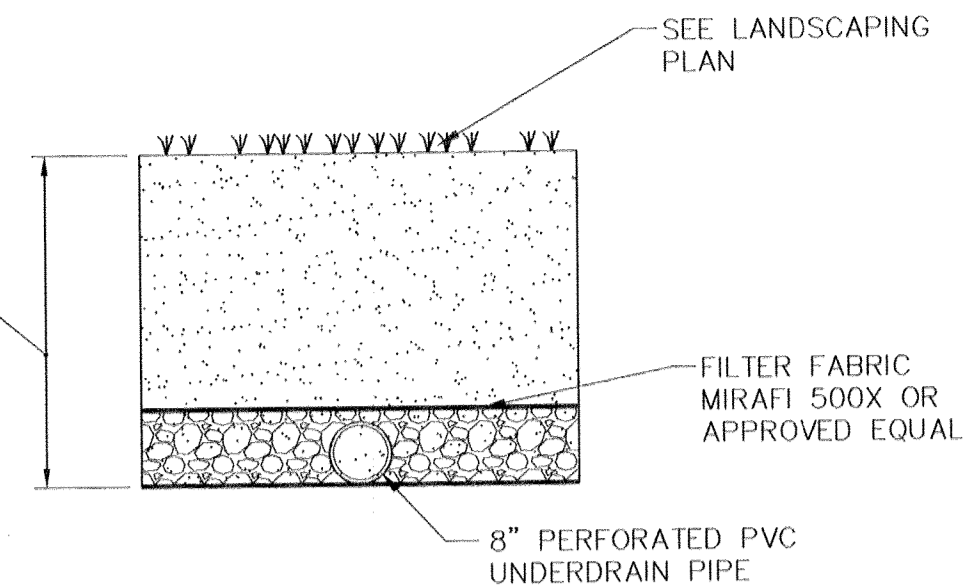
PLEASE NOTE:

1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) MAX LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
4. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



NOTES:

1. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16a, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 45x76 DESIGNATION SS.
2. MC-3500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
4. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
5. REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 500 LBS/IN.
 - AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.



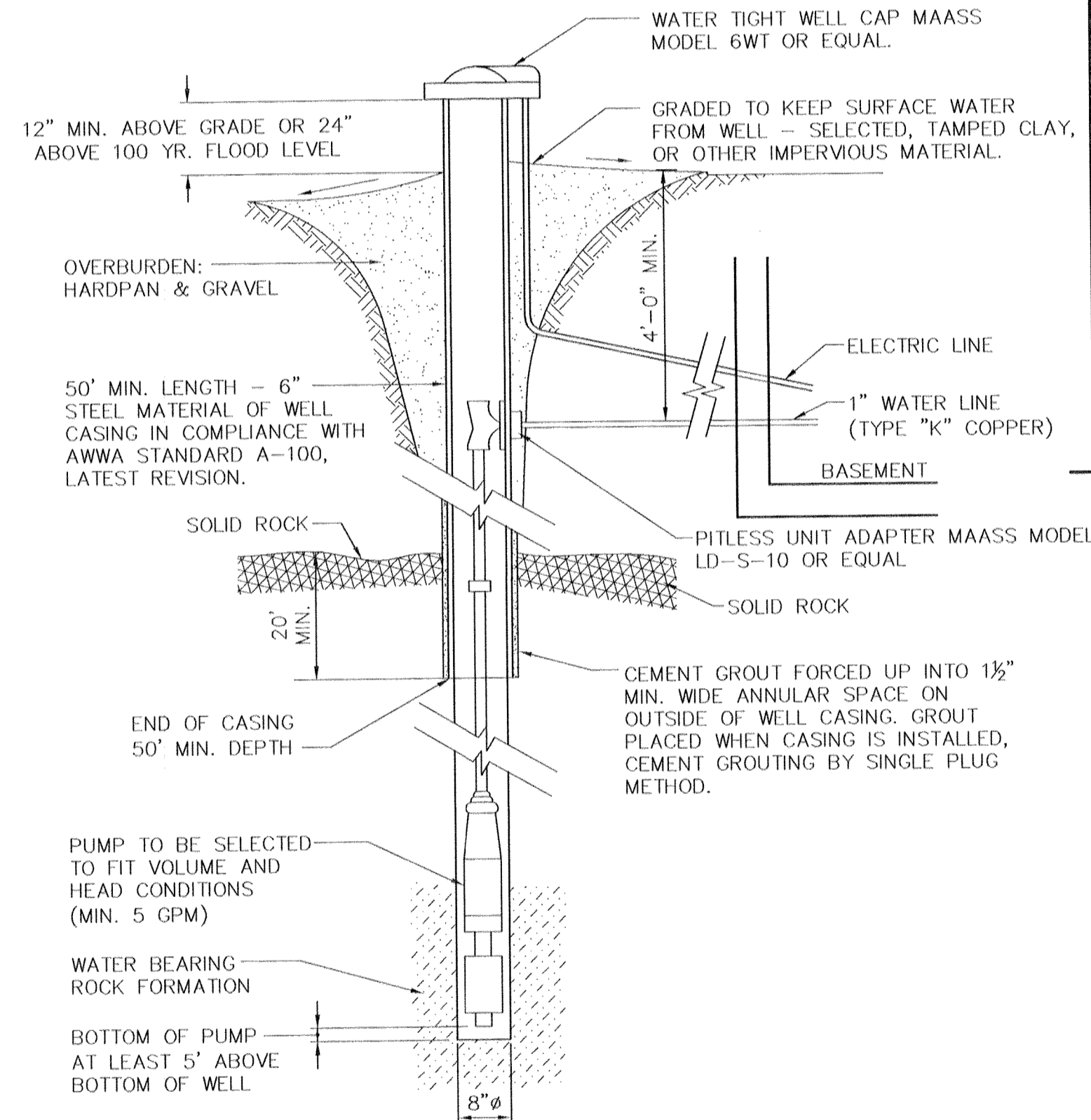
BIORETENTION SECTION

BIO-RETENTION SOIL NOTES:

BIO-RETENTION SOILS SHALL MEET THE SPECIFICATIONS SET FORTH BY THE NYSDOT ITEM #208.01030022 (BIO-RETENTION AND DRY SWALE SOIL)

BIO-RETENTION AREA DATA

BIO-RETENTION AREA OUTLET STRUCTURE	BIO AREA A-1	BIO AREA A-2	BIO AREA B-1	BIO AREA B-2
A INVERT OF OUTLET STRUCTURE	552.60'	553.25'	550.33'	561.50'
B OUTLET STRUCTURE DIMENSIONS (OUTSIDE)	36"x36"	36"x36"	36"x36"	36"x36"
C TOP OF STRUCTURE ELEVATION	557.75	557.75	556.25	574.50
D ORIFICE: SIZE/INVERT ELEVATION	18" x 8" @ 556.50'	9" DIA. @ 556.50'	9" DIA. @ 555.25'	9" DIA. @ 573.50'
E CULVERT: DIAMETER/INVERT ELEVATION	24" HDPE @ 552.60'	15" RCP @ 553.25'	18" HDPE @ 550.33'	15" HDPE @ 561.50'
F FILTER SURFACE ELEVATION	556.00'	556.00'	554.75'	573.00'
G FIBERGLASS GRATE DIMENSION	24"x24"	24"x24"	24"x24"	24"x24"
H TOP OF PERIMETER BERM	558.00'	558.00'	556.75'	575.00'
I 1-YEAR SURFACE ELEVATION	556.77'	556.74'	555.60'	574.49'
J 10-YEAR SURFACE ELEVATION	557.17'	557.29'	556.15'	574.75'
K 100-YEAR SURFACE ELEVATION	557.76'	557.81'	556.36'	574.98'



TYPICAL WELL DETAIL

NOT TO SCALE

- NOTES:
1. MINIMUM 5 GPM WELL YIELD.
 2. ANTICIPATED DEPTH OF WELL APPROXIMATELY 300'±.
 3. THE MINIMUM DIAMETER OF THE WELL DRILL HOLES SHALL BE 6" IN DIAMETER.

COPYRIGHT 2020, LANC & TULLY, P.C.

LANC & TULLY ENGINEERING AND SURVEYING, P.C.		P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700	
CONSTRUCTION DETAILS 2 PREPARED FOR			
POMEGRANATE SOLUTIONS, LLC TOWN OF CHESTER ORANGE COUNTY, NEW YORK			
Date: FEBRUARY 26, 2020	Revisions: JULY 21, 2020 OCTOBER 21, 2020 FEBRUARY 17, 2021 MARCH 23, 2021 APRIL 21, 2021 MAY 19, 2021	CAD File: 170117-DETAILS.DWG	Layout: DETAILS
Drawn By: CMF	Checked By: JQ	Scale: N.T.S.	Tax Map No.: 17-1-83, 84, 85, 86
Drawing No.: B - 17 - 0117 - 01		Sheet No.: 13 OF 13	

COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

