

N/F LYCIAN CENTRE, LTD.
L. 3806 P. 259
13 - 3 - 5
FM LOT
MAP NO. 16-92

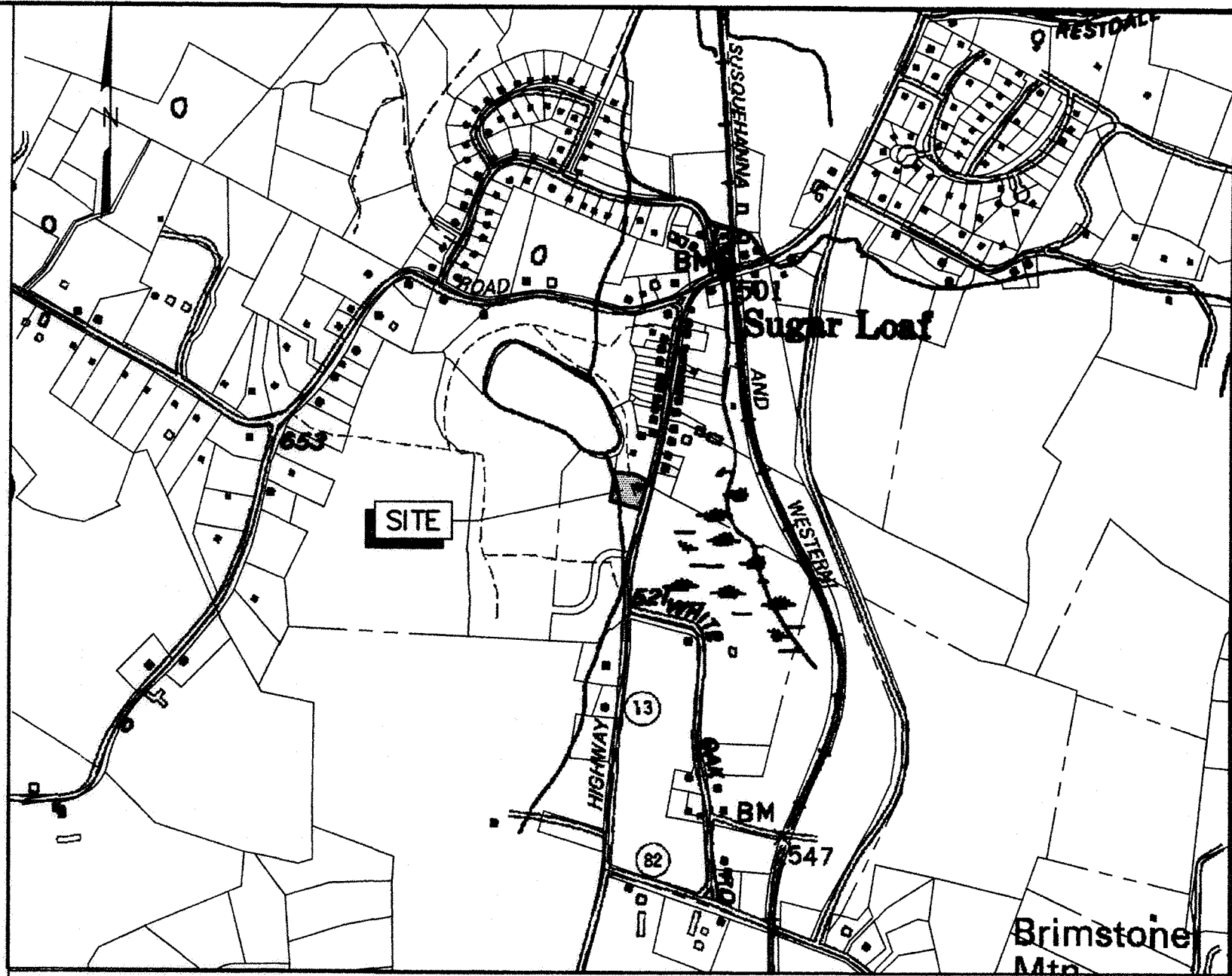
N/F WANSOR
L. 5005 P. 117
13 - 3 - 2
FM LOT
MAP NO. 9926

LEGEND

- WF5 --- EXISTING WETLAND LIMIT W/FLAG
--- SETBACK
--- PROPERTY LINE
--- EASEMENT
[] PROPOSED DWELLING
X 506.00 EXISTING SPOT ELEVATION
X 506.00 PROPOSED SPOT ELEVATION
---510--- EXISTING CONTOUR
---520--- PROPOSED CONTOUR
--- PROPOSED SWALE
--- SILT FENCE
X X EXISTING FENCE LINE
--- EXISTING SWALE
--- PROPOSED SAN. LINE
--- EXISTING STONE WALL
[] CONCRETE WALK
[] BITUMINOUS PAVEMENT
[] PUMP STATION

ABBREVIATIONS

- AC. ACRE
BF. BASEMENT FLOOR
BR. BEDROOM
BLK. BLOCK
CB. CATCH BASIN
CK. CHECK
DEPT. DEPARTMENT
DET. DETAIL
DWG. DRAWING
EX. EXISTING
FF. FINISHED FLOOR ELEVATION
FM. FILED MAP
FT. FEET
GAL. GALLON
GF. GARAGE FLOOR
GPD. GALLONS PER DAY
GPM. GALLONS PER MINUTE
HR. HOUR
INV. INVERT ELEVATION
IP. IRON PIPE
LIB. LIBER
LIC. LICENSE
LF. LINEAR FEET
LSE. LOWEST SEWERABLE ELEVATION
MAX. MAXIMUM
MH. MANHOLE
MIN. MINIMUM OR MINUTE
N/F. NOW OR FORMERLY
NTS. NOT TO SCALE
PG. PAGE
PVC. POLYVINYL CHLORIDE
PROP. PROPOSED
PS. PUMP STATION
REF. REFERENCE
REV. REVISION
ROW. RIGHT OF WAY
SF. SQUARE FOOT
SQ. SQUARE
SAN. SANITARY SEWER
STM. STORM SEWER
STD. STANDARD
TYP. TYPICAL
UP. UTILITY POLE
V. VALVE
W. WATER
W/ WITH
W/O WITHOUT



VICINITY MAP

SCALE: 1"=1,000'

PARKING ANALYSIS:

ONE-FAMILY RESIDENCE (UPPER UNIT):
2 SPACES PER RESIDENCE = 2 PARKING SPACES

RETAIL STORE (LOWER UNIT):
1 PARKING SPACE PER 150 SF
864 SF / 150 = 5.76 PARKING SPACES
= 6 PARKING SPACES

REQUIRED:
RESIDENCE 2 PARKING SPACES
RETAIL 6 PARKING SPACES
TOTAL 8 PARKING SPACES

PROVIDED: 8 PARKING SPACES (INCL. 1 H/C)

BULK REQUIREMENTS:

ZONING DISTRICT: LB/SL - RETAIL

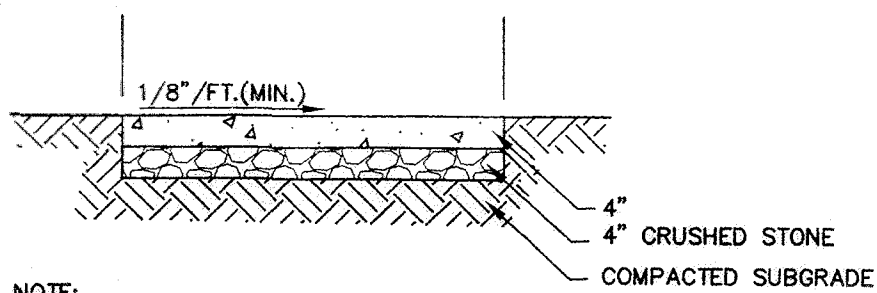
REQUIRED:
LOT AREA: 10,890 SF
LOT WIDTH: 50' MIN.
FRONT YARD: 20' MIN.
SIDE YARD: 5' MIN.

BOTH SIDE YARDS: 10' MIN.
REAR YARD: 30' MIN.
BUILDING HEIGHT: 35' MAX.
BUILDING COVERAGE: 50%

ZONING DISTRICT: LB/SL - RESIDENTIAL

REQUIRED:
LOT AREA: 21,780 SF
LOT WIDTH: 100' MIN.
FRONT YARD: 25' MIN.
SIDE YARD: 10' MIN.
BOTH SIDE YARDS: 25' MIN.
REAR YARD: 30' MIN.
BUILDING HEIGHT: 35' MAX.
BUILDING COVERAGE: 40%

PROVIDED:
LOT 1 22,557 SF 104.11'
LOT 2 26.2'
LOT 3 14.1'
LOT 4 64.1'
LOT 5 >30.0'
LOT 6 <35'
LOT 7 <40%



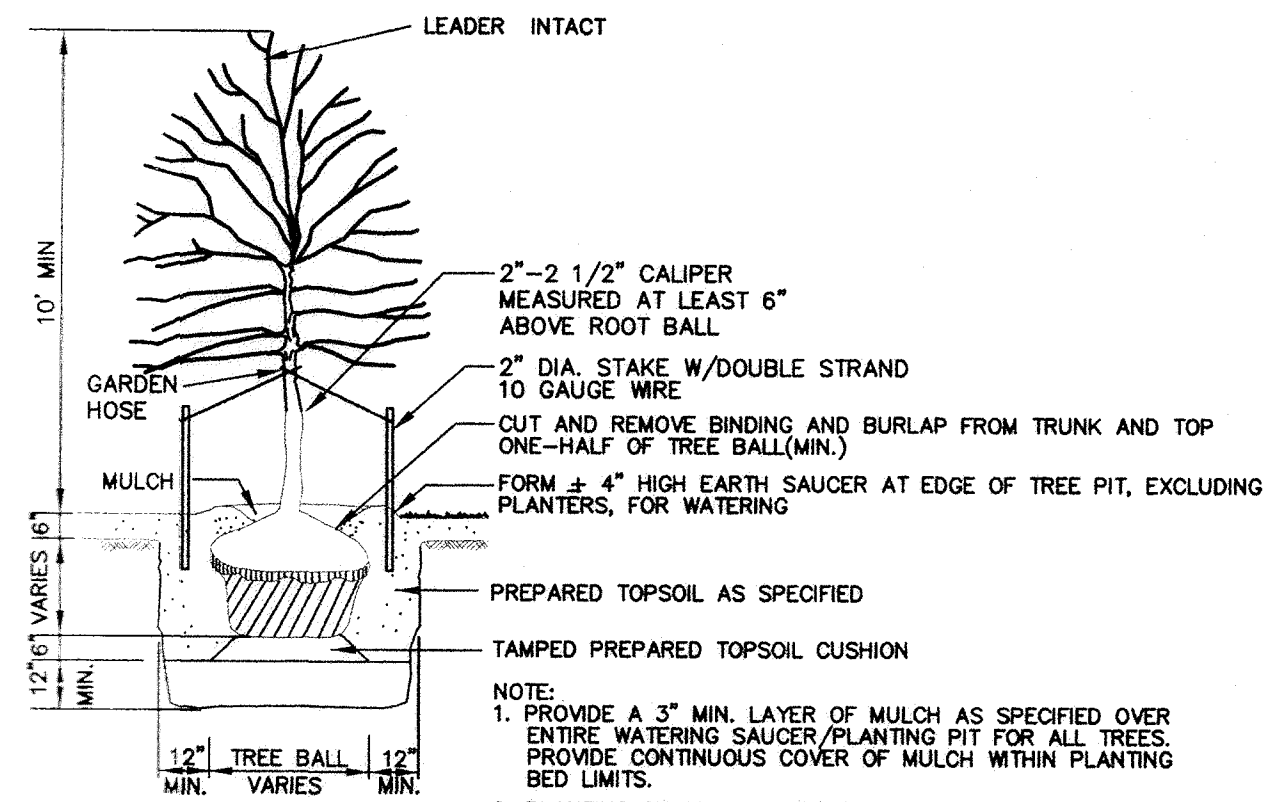
NOTE:
TOOLED CONTRACTION JOINTS @ 5'-0"
ON CENTER AND 1/2" PREMOLED
EXPANSION JOINTS @ 15'-0" ON CENTER
AND AT BUILDINGS, STEPS AND AT INTERSECTIONS.

CONCRETE WALK DETAIL

SCALE: NTS

PLANT LIST:

SHRUB LIST:	BOTANICAL NAME	COMMON NAME	NUMBER	SIZE	SYMBOL
	BERBERIS THUNBERG CRIMSON PIGMY	CRIMSON PIGMY BARBERRY	4	18-21"	PB
	SPIREA BUNALDA ANTHONY WATERER	ANTHONY WATERER SPIREA	-	2 GAL	



TREE PLANTING

SCALE: NTS

2

C-2

PLOT PLAN

SCALE: 1" = 20'

20' 0 20' 40'
SCALE: 1" = 20'

4. VARIOUS LAND USES AND SITE PLAN

NO.	DATE	REVISION	BY	CK.
D	8/09/07	REVISED PER MOODNA BASIN COMMENTS	BGC	M.S.
C	8/01/07	SUBMITTED FOR SEWER PERMIT	BGC	M.S.
B	6/06/07	REMOVED STONE WALL & SPLIT RAIL FENCE	BGC	M.S.
A	3/07/07	SUBMITTED FOR PLANNING BOARD REVIEW	BGC	M.S.

MICHAEL J. SANDOR PE
NY PROFESSIONAL ENGINEER NO. 60445

DRAWN BY: B. CHRISTIE
DEPT. CK. M. SANDOR
DEP. APPR.
COORD. CK.
P.M. APPR.
CLIENT APPR.

MJS ENGINEERING &
LAND SURVEYING, PC

261 Greenwich Ave
Goshen, NY 10924
845-291-8650
Fax 845-291-8657

SHEET TITLE:

PLOT PLAN & DETAILS

JOB NAME:

HOFERKAMP SITE PLAN

TOWN OF CHESTER, ORANGE COUNTY, NEW YORK

DATE: 3/07/07

JOB NO.

050182

SCALE:

1"=20'

REV. NO. D

DWG. NO.

C-2

SHEET 2 OF 4