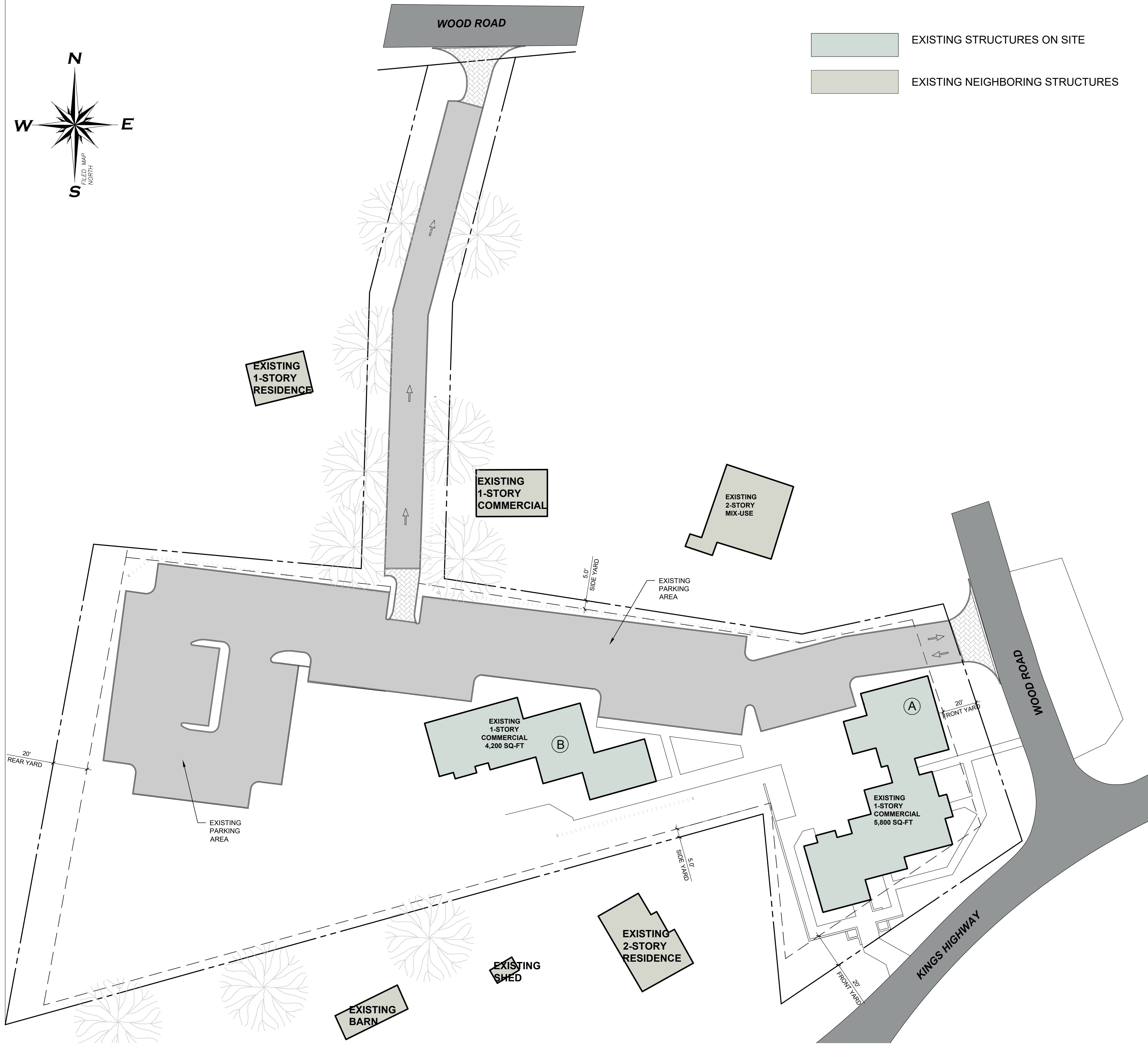




Vicinity Map

1" = 1000'



- PLAN NOTES:
1. VICINITY MAP TAKEN FROM ORANGE COUNTY GIS MAPS FOR THE TOWN OF MONROE.

PARCEL INFORMATION

TOTAL TRACT AREA:
2.5755 ACRES

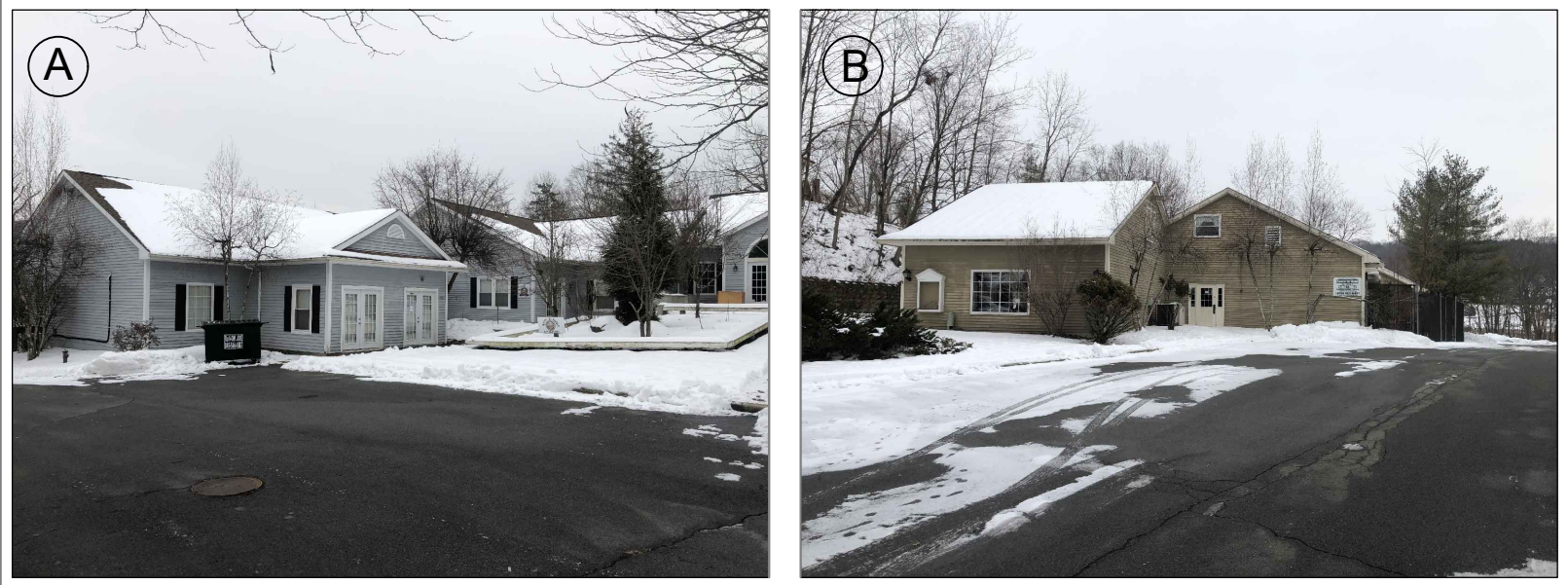
RECORD OWNER:
SUGAR LOAF SQUARE INC.
101 Westmoreland Ave White Plains
NY 10606

TAX MAP NUMBER:
30-1-18

ZONING TABLE

LOT,BLOCK,SECTION.: 18-1-30		
ZONE: LB/SL		
EXISTING USE: BUSINESS		
BULK REQUIREMENT		
ITEM	REQUIRED	EXISTING
Min. Lot Area	10,890 sq-ft	112,189
Min. Lot Width	50-ft	255-ft
Min. Front Yard	20-ft	20-ft
Min. Side Yard	5-ft	5-ft
Side Yard Total	10-ft	65-ft
Min. Rear Yard	30-ft	30-ft
Max Lot Coverage	50 %	
Max Building Height	35-ft	

EXISTING SITE STRUCTURES



REVISION
PB-Submission

DATE
3-22-22

BY



DAVID NIEMOTKO ARCHITECTS, P.C.
167 STAGE ROAD
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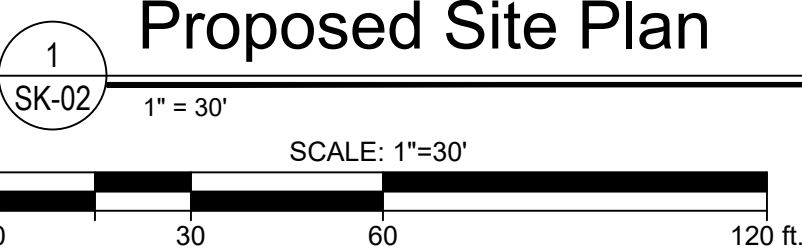
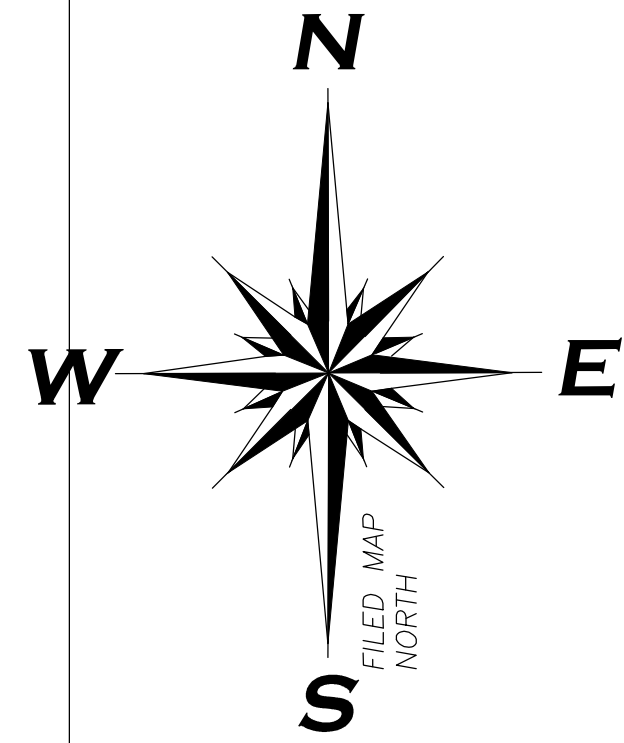
NOTE
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SHEET TITLE: EXISTING SITE PLAN
PROJECT: SUGAR LOAF SQUARE
62 WOOD ROAD
CHESTER NEW YORK, 10918
CLIENT: SUGAR LOAF SQUARE INC
101 WESTMORELAND AVE
WHITE PLAINES NEW YORK 10606

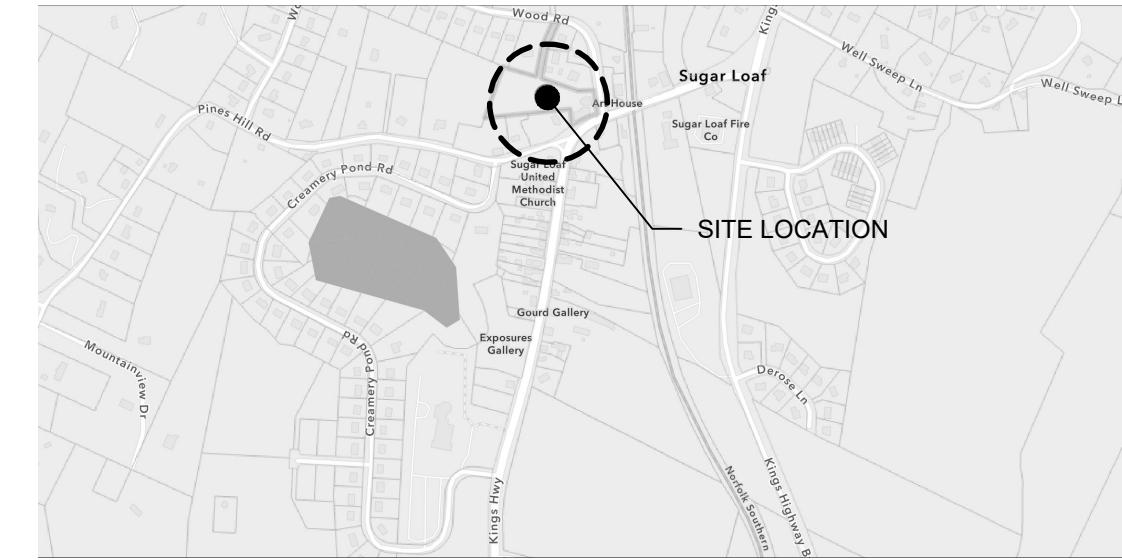
SCALE:
DRWN:
CAD #
JOB # JOB
PLOT DATE: 2-3-2022

SHEET No.

SK-1



- PROPOSED RESIDENTIAL DWELLINGS
- EXISTING NEIGHBORING STRUCTURES



Vicinity Map

1" = 1000'

NORTH

- PLAN NOTES:
- VICINITY MAP TAKEN FROM ORANGE COUNTY GIS MAPS FOR THE TOWN OF MONROE.

PARCEL INFORMATION

TOTAL TRACT AREA:
2.5755 ACRES

RECORD OWNER:
SUGAR LOAF SQUARE INC.
101 Westmoreland Ave White Plains
NY 10606

TAX MAP NUMBER:
30-1-18

ZONING TABLE

LOT,BLOCK,SECTION,: 18-1-30			
ZONE: LS/SL			
PROPOSED USE: MULTIPLE RESIDENTIAL AND TOWNHOUSES			
BULK REQUIREMENT			
ITEM	REQUIRED	EXISTING	PROPOSED
Min. Lot Area	10 acres	112,189	112,189
Min. Lot Width	300-ft	50-ft	50-ft
Min. Front Yard	NA	20-ft	20-ft
Min. Side Yard	NA	5-ft	5-ft
Side Yard Total	NA	65'-ft	65'-ft
Min. Rear Yard	NA	30-ft	30-ft
Max Lot Coverage	NA		
Max Building Height	NA		

ZONING TABLE

PARKING REQUIREMENT	
APARTMENTS/ TOWNHOUSE	REQUIRED
EFFICIENCY UNITS	1
1-Bedroom Units	1.5
2-Bedroom Units	1.75
3≥-Bedroom Units	2

MINIMUM HABITABLE DWELLING SPACE		
APARTMENTS/ TOWNHOUSE	REQUIRED	PROPOSED
EFFICIENCY UNITS	400	400
1-Bedroom Units	600	600
2-Bedroom Units	800	800

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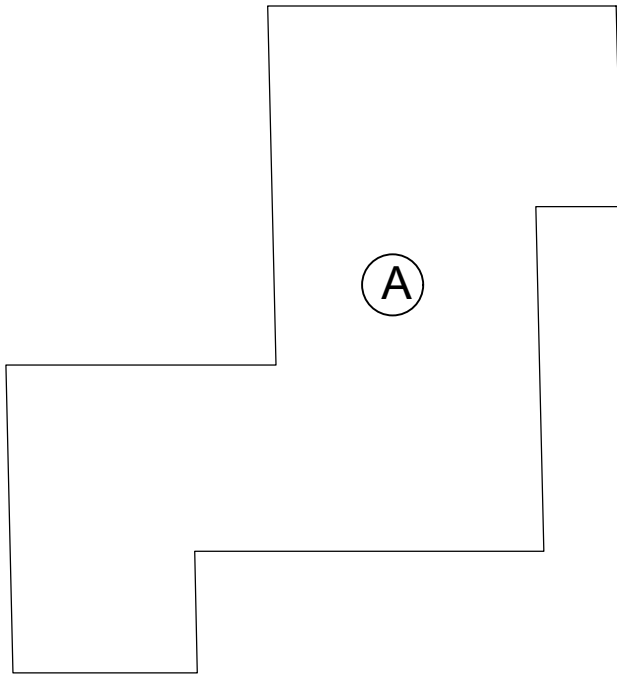
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SHEET TITLE: PROPOSED SITE PLAN
PROJECT: SUGAR LOAF SQUARE
62 WOOD ROAD
CHESTER NEW YORK, 10918
CLIENT: SUGAR LOAF SQUARE INC
101 WESTMORELAND AVE
WHITE PLAINES NEW YORK 10606

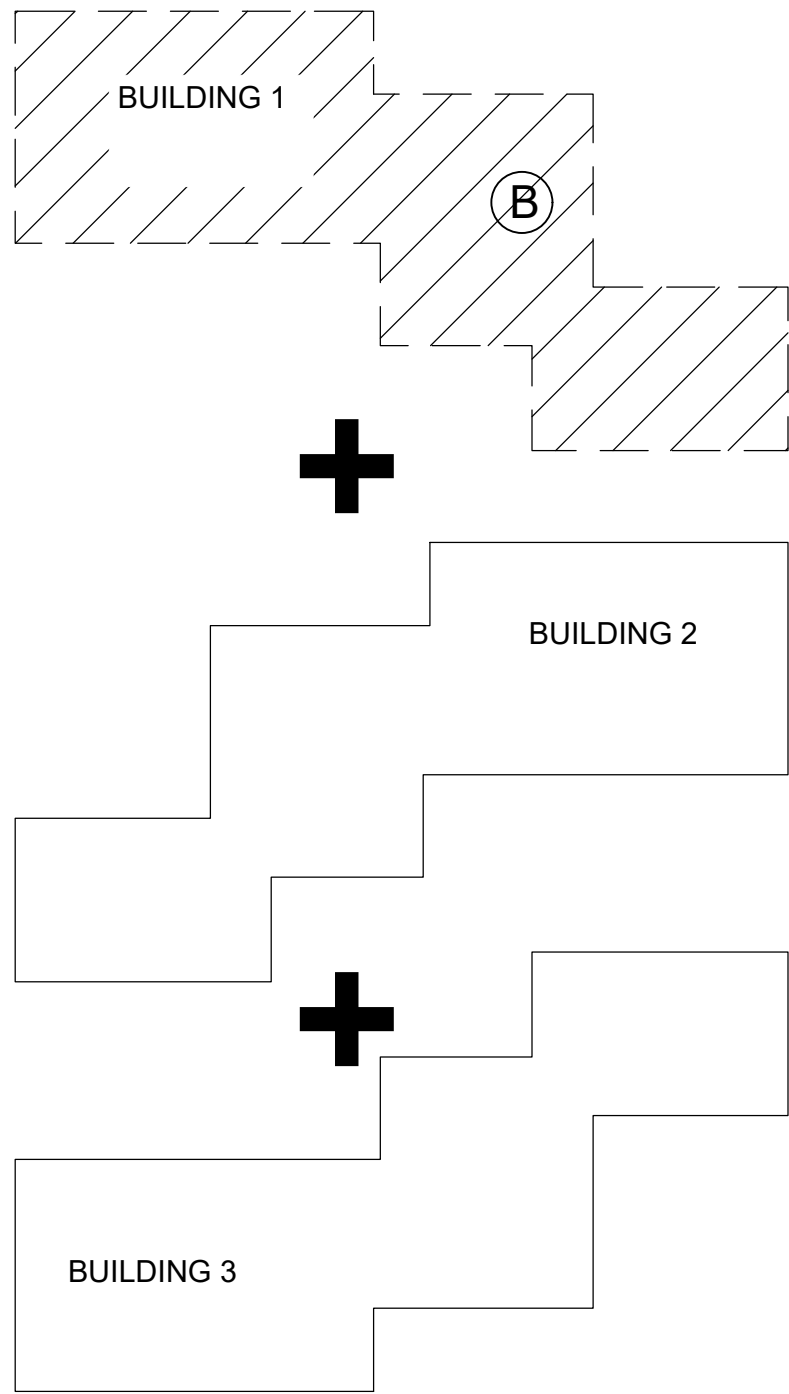
SCALE:
DRWN:
CAD #
JOB # JOB
PLOT DATE: 2/3/2022

SHEET No.

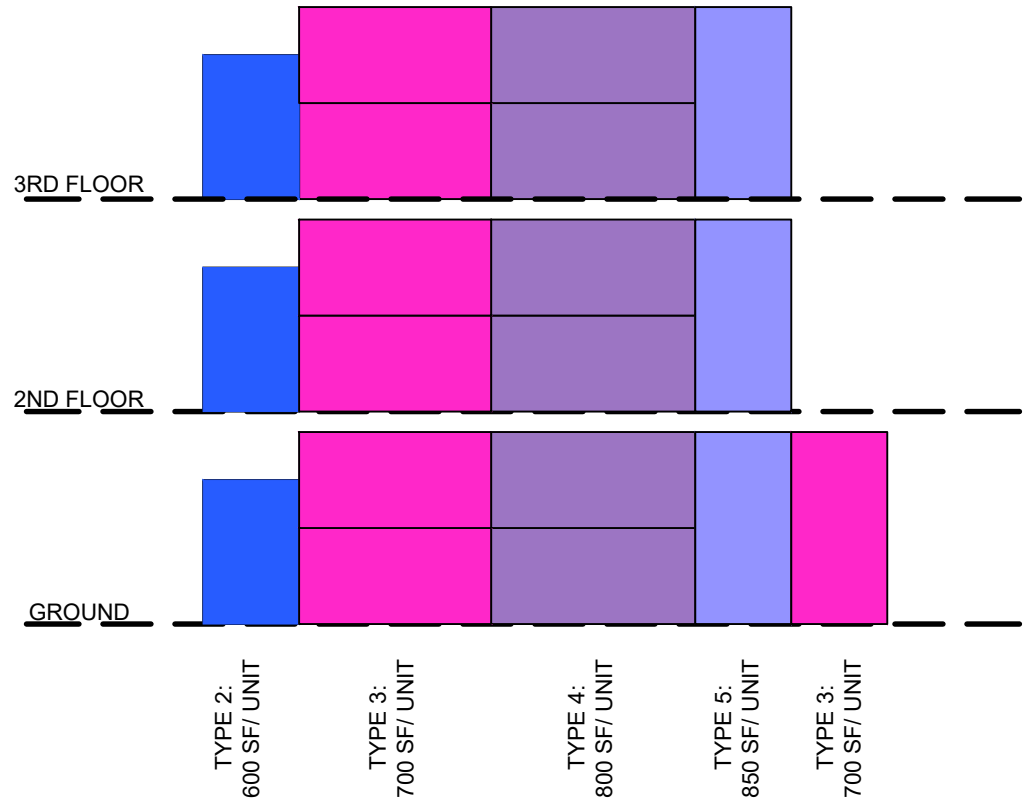
SK-2



Proposed Building Diagram Site 1

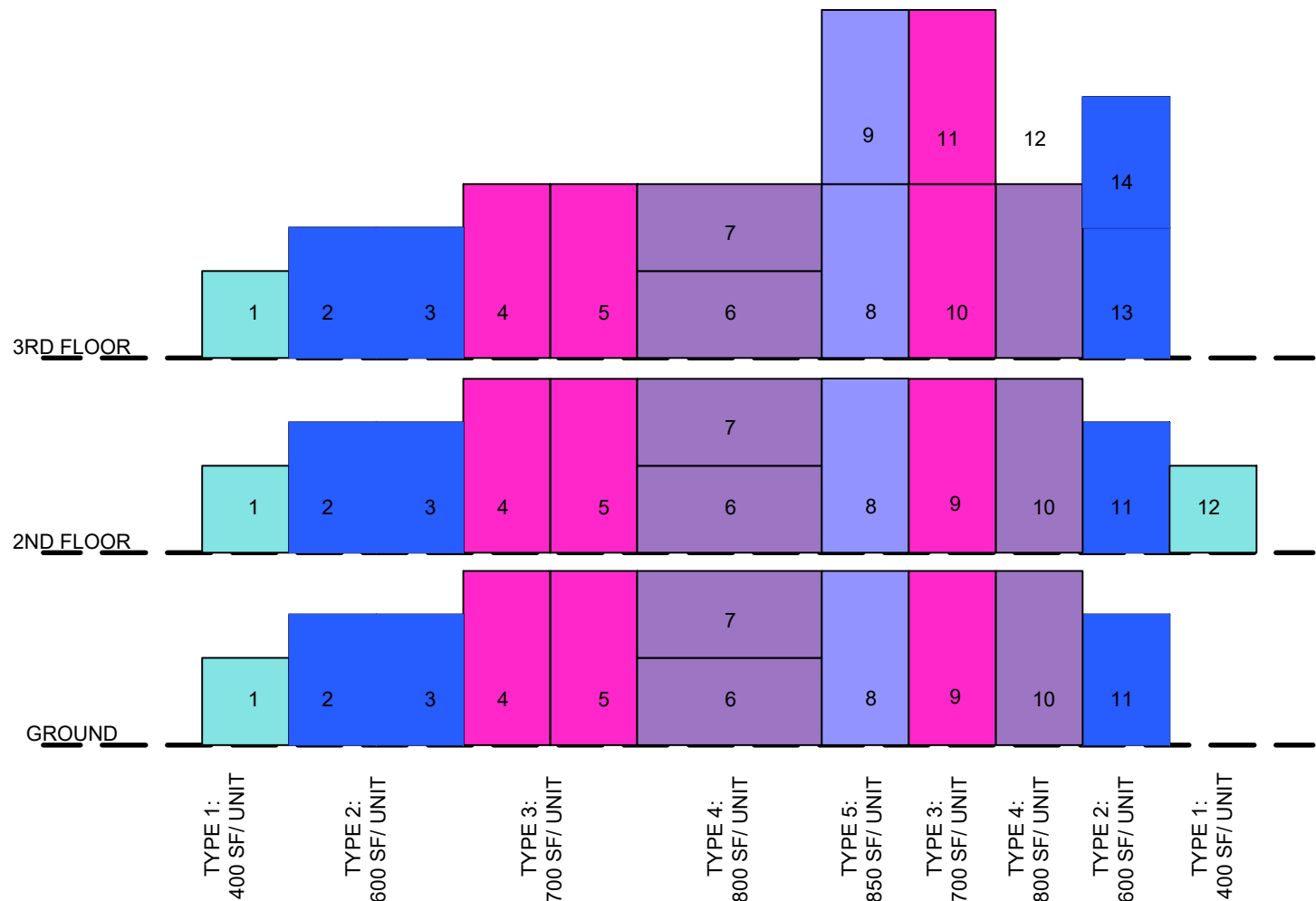


Proposed Building Footprint Diagram Site B



Dwelling Type Vs. Story Diagram

USING THE EXISTING BUILDING FOOTPRINTS AT THE LOCATION OF EACH EXISTING BUILDING, WE EXTRAPOLATED A PROPOSED FOOTPRINT OUTLINE FOR THE NEW DEVELOPMENT. THE AREA AT EACH FOOTPRINT OUTLINED IS DRIVEN BY THE TOTAL SQUARE FOOTAGE OF ALL THE DWELLING UNITS AT EACH BUILDING SITE. THE TOTAL DWELLING SQUARE FOOTAGE IS BASE ON THE NUMBER OF STREET PARKING PROVIDED.



Dwelling Type Vs. Story Diagram

DWELLING UNITS COUNT/ PARKING COUNT (BUILDING A)

UNIT COUNT BUILDING A						
	TYPE 1	TYPE 2	TYPE 3	TYPE 4	TYPE 5	TOTAL
FLOOR	STUDIO	1-BED	1-BED W/ DEN	2-BED W/ 1-BATH	2-BED W/ 2-BATH	
GROUND	0	1	3	2	1	7
SECOND	0	1	2	2	1	6
THIRD	0	1	2	2	1	6
TOTAL UNITS	0	3	7	6	3	19
PARKING TOTAL /UNIT COUNT	0	5	11	11	5	31
PARKING TOTAL /VISTOR	0	1	2	2	1	5
PARKING TOTAL REQUIRED					36	

DWELLING ARE PER TOTAL UNIT COUNT						
FLOOR	STUDIO	1-BED	1-BED W/ DEN	2-BED W/ 1-BATH	2-BED W/ 2-BATH	TOTAL
TOTAL= U.C	NA	6	3	4	6	19
FLOOR AREA PER UNIT TYPE	NA	1800	4900	4800	2550	14050

DWELLING UNITS COUNT/ PARKING COUNT (BUILDING B)

UNIT COUNT BUILDING B						
	TYPE 1	TYPE 2	TYPE 3	TYPE 4	TYPE 5	TOTAL
FLOOR	STUDIO	1-BED	1-BED W/ DEN	2-BED W/ 1-BATH	2-BED W/ 2-BATH	
GROUND	1	3	3	3	1	11
SECOND	2	3	3	3	1	11
THIRD	1	4	4	3	2	15
TOTAL UNITS	4	10	10	9	4	37
PARKING TOTAL /UNIT COUNT	4	15	15	16	7	57
PARKING TOTAL /VISTOR	1	3	3	2	1	9
PARKING TOTAL REQUIRED					85	

DWELLING ARE PER TOTAL UNIT COUNT						
UNIT TYPE	STUDIO	1-BED	1-BED W/ DEN	2-BED W/ 1-BATH	2-BED W/ 2-BATH	TOTAL
TOTAL UC.	4	10	10	9	4	37
FLOOR AREA PER UNIT TYPE	1600	6000	7000	7200	3400	25200

REVISION

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NO



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SHEET TITLE: DWELLING & PARK COMPUTATION

PROJECT: SUGAR LOAF SQUARE
62 WOOD ROAD
CHESTER NEW YORK, 10918

CLIENT: SUGAR LOAF SQUARE INC
101 WESTMORELAND AVE
WHITE PLAINES NEW YORK 10606

SCALE:

DRWN:

CAD #

JOB #

PLOT DATE:

2/3/2022

SHEET No.

SK-3