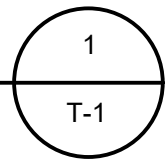


REFERENCE: ORANGE COUNTY GIS (GEOGRAPHICAL INFORMATION SYSTEMS)

VICINITY MAP

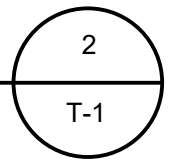
SCALE: 1" = 1,000'



REFERENCE: GOOGLE EARTH (IMAGERY DATE 9/18/2019)

AERIAL MAP

SCALE: NTS



# SITE PLAN FOR TRADE TRANS CORPORATION 173 BLACK MEADOW ROAD SECTION 6 BLOCK 1 LOT 106 TOWN OF CHESTER ORANGE COUNTY, N.Y.

## PROJECT INFORMATION

OWNER OF RECORD	KIPS BAY HOLDINGS OF WARWICK, LLC.
ZONING	IP (INDUSTRIAL PARK DISTRICT)
TAX ID	SECTION 06
	BLOCK 01
	LOT 106
TOTAL LOT AREA	418,612 S.F. / 9.61± ACRES

THIS PLAN CONTAINS 9 SHEETS. THIS SHEET SHALL NOT BE CONSIDERED VALID UNLESS ACCOMPANIED BY THE REMAINING SHEETS.

UNAUTHORIZED ALTERATION OR ADDITIONS TO A PLAN BEARING THE SEAL OF A LICENSED ENGINEER OR LAND SURVEYOR IS A VIOLATION OF SECTION 7209 SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

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## DRAWING LIST

T-1	TITLE SHEET
S-1	EXISTING CONDITIONS
S-2	SITE PLAN
S-3	GRADING & UTILITIES PLAN
S-4	STORMWATER DETAILS
S-5	LIGHTING & LANDSCAPING PLAN
S-6	EROSION & SEDIMENTATION CONTROL PLAN
S-7	EROSION & SEDIMENTATION CONTROL PLAN DETAILS
S-8	CONSTRUCTION DETAILS

REVISIONS					
DWN BY	REV	DESCRIPTION		DATE	APPROVED
DO	0	FOR APPROVAL		08/10/22	

*John D. Fuller*

JOHN D. FULLER  
REG. NO. 077703

TOWN OF CHESTER  
PLANNING BOARD APPROVAL

JOHN D. FULLER, P.E., P.C. 4 SOUTH STREET  
PORT JERVIS, NY 12771  
(845) 856-1536

SITE PLAN FOR  
TRADE TRANS CORPORATION  
173 BLACK MEADOW ROAD  
SECTION 6 BLOCK 1 LOT 106  
TOWN OF CHESTER, NY

DWG TITLE

TITLE SHEET

DWG NO.

T-1

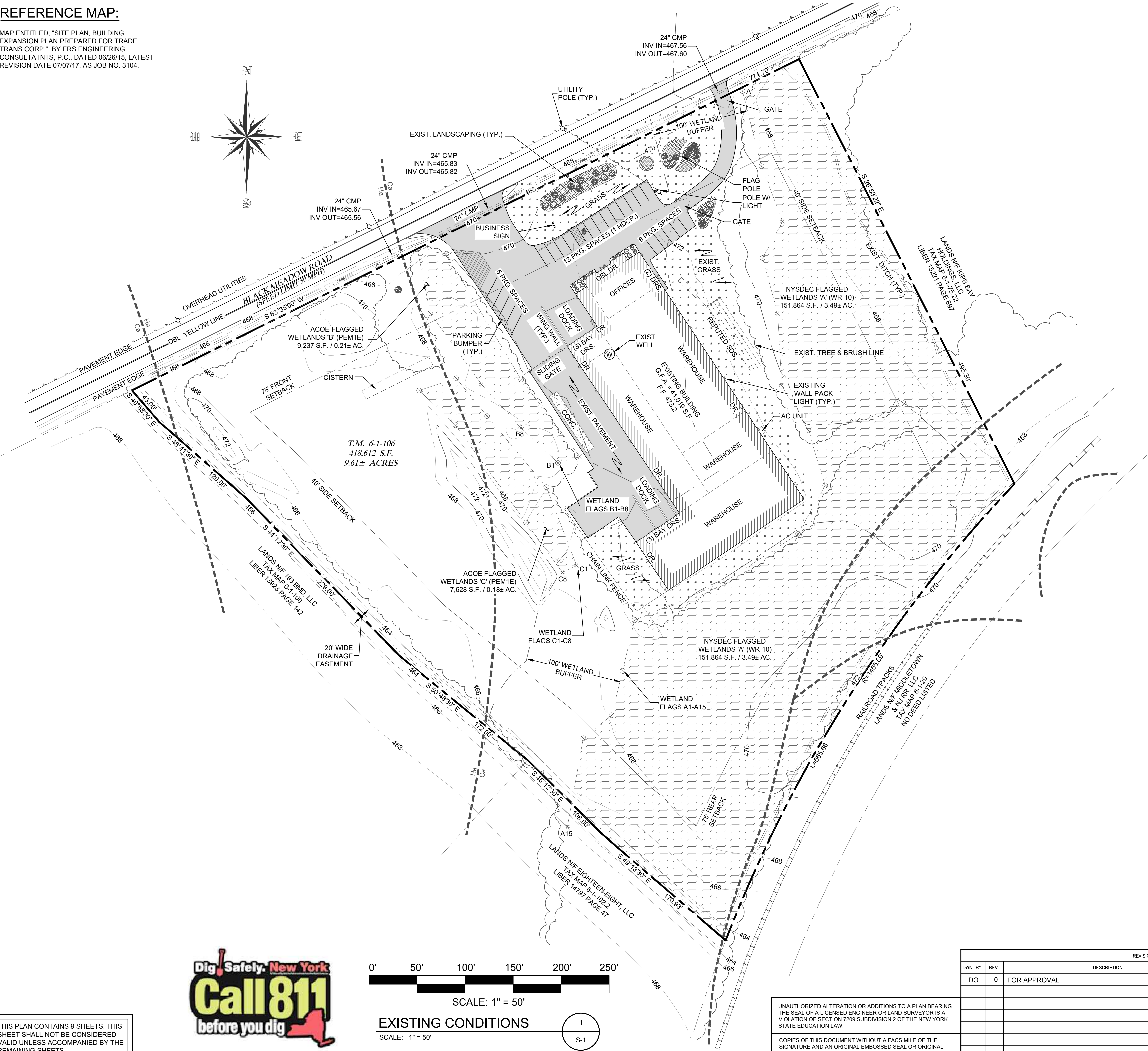
SCALE AS NOTED

JOB NO. 1713.001



REFERENCE MAP:

MAP ENTITLED, "SITE PLAN, BUILDING EXPANSION PLAN PREPARED FOR TRADE TRANS CORP.", BY ERS ENGINEERING CONSULTANTS, P.C., DATED 06/26/15, LATEST REVISION DATE 07/07/17, AS JOB NO. 3104.



LEGEND

- PROPERTY LINE
- SETBACK LINE
- EXISTING CULVERT
- EXISTING FENCE
- SIGNS
- UTILITY POLE
- OVERHEAD UTILITIES
- SOIL LINES
- EXISTING PARKING
- R.R. TRACKS
- CONTOUR LINES
- EXISTING BUILDING
- EXISTING TREES / TREE LINE
- EXISTING PAVEMENT
- EXISTING DITCH
- EXISTING LANDSCAPING
- REPUTED SDS
- FLAGGED WETLANDS
- WETLAND FLAG
- EXISTING GRASS

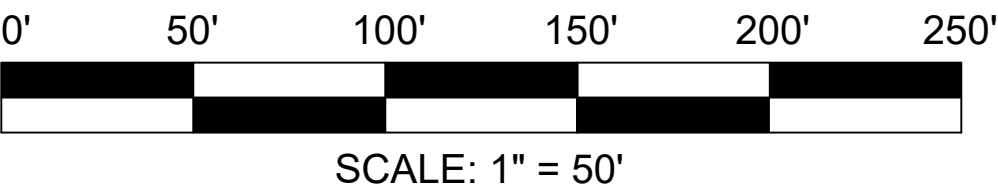
GENERAL NOTES

- OWNER OF RECORD / APPLICANT: KIPS BAY HOLDINGS OF WARWICK, LLC 173 BLACK MEADOW ROAD CHESTER, NY 10918
- TAX MAP DESIGNATION: SECTION 6 BLOCK 1 LOT 106
- PARCEL ZONED: IP (INDUSTRIAL PARK DISTRICT)
- TOTAL AREA: 418,612 S.F. / 9.61± ACRES
- EXISTING USE: WAREHOUSE / WHOLESALE
- PROPOSED USE: WAREHOUSE / WHOLESALE

BULK TABLE REQUIREMENTS:

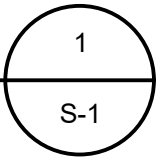
ZONED DISTRICT: IP (INDUSTRIAL PARK DISTRICT)

	MINIMUM REQUIREMENTS	EXISTING
LOT AREA:	2 ACRES	9.61 ACRES
LOT WIDTH:	200 FEET	750.4± FEET
LOT DEPTH:	200 FEET	628.3± FEET
FRONT YARD:	75 FEET	99.2± FEET
REAR YARD:	75 FEET	155.9± FEET
1 SIDE YARD:	70 FEET	202.2± FEET
BOTH SIDES:	140 FEET	431.6± FEET
	MAXIMUM PERMITTED	
BLDG. HEIGHT:	45 FEET	< 45 FEET
LOT COVERAGE:	40 %	18.7 %



EXISTING CONDITIONS

SCALE: 1" = 50'



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REVISIONS				
DWN BY	REV	DESCRIPTION	DATE	APPROVED
DO	0	FOR APPROVAL	08/10/22	

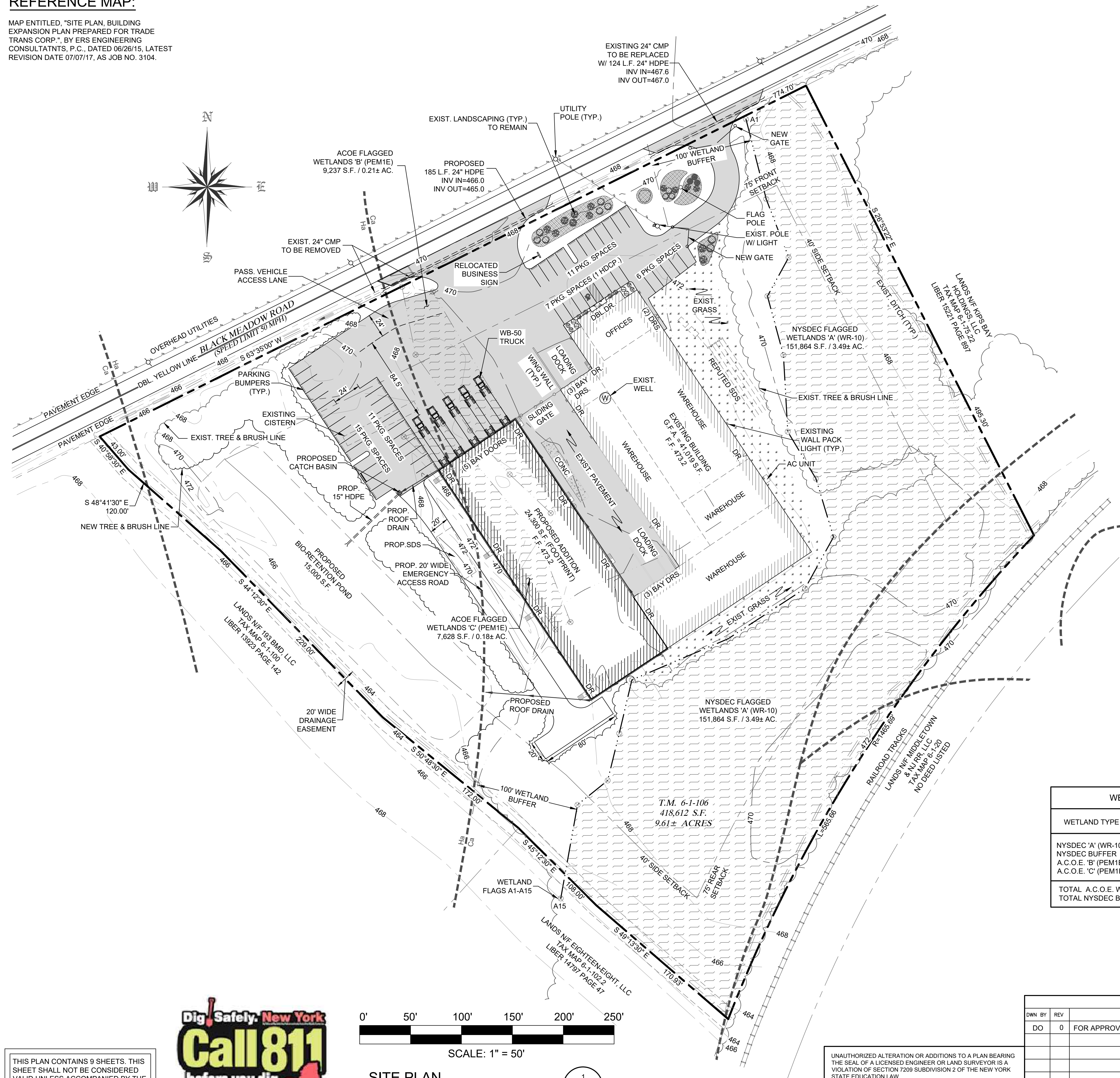
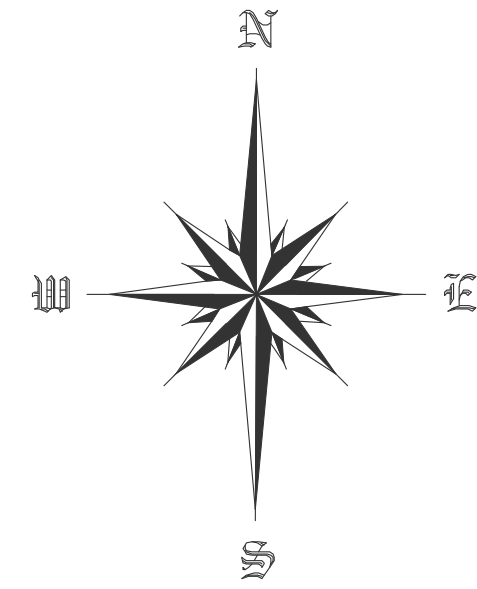
Signature of John D. Fuller

JOHN D. FULLER  
REG. NO. 077703

TOWN OF CHESTER PLANNING BOARD APPROVAL	
JOHN D. FULLER, P.E., P.C. 4 SOUTH STREET PORT JERVIS, NY 12771 (845) 856-1536	
SITE PLAN FOR TRADE TRANS CORPORATION 173 BLACK MEADOW ROAD SECTION 6 BLOCK 1 LOT 106 TOWN OF CHESTER, NY	
DWG TITLE <b>EXISTING CONDITIONS</b>	DWG NO. <b>S-1</b>
SCALE AS NOTED	JOB NO. 1713.001



MAP ENTITLED, "SITE PLAN, BUILDING  
EXPANSION PLAN PREPARED FOR TRADE  
TRANS CORP.", BY ERS ENGINEERING  
CONSULTANTS, P.C., DATED 06/26/15, LATEST  
REVISION DATE 07/07/17, AS JOB NO. 3104.



1. OWNER OF RECORD / APPLICANT:  
KIPS BAY HOLDINGS OF WARWICK, LLC  
173 BLACK MEADOW ROAD  
CHESTER, NY 10918
2. TAX MAP DESIGNATION: SECTION 6 BLOCK 1 LOT 106
3. PARCEL ZONED: IP (INDUSTRIAL PARK DISTRICT)
4. TOTAL AREA: 418,612 S.F. / 9.61± ACRES
5. EXISTING USE: WAREHOUSE / WHOLESALE
6. PROPOSED USE: WAREHOUSE / WHOLESALE

ZONED DISTRICT: IP (INDUSTRIAL PARK DISTRICT)

	MINIMUM REQUIREMENTS	PROPOSED
LOT AREA:	2 ACRES	9.61 ACRES
LOT WIDTH:	200 FEET	750.43 FEET
LOT DEPTH:	200 FEET	628.34 FEET
FRONT YARD:	75 FEET	90.24 FEET
REAR YARD:	75 FEET	155.94 FEET
1 SIDE YARD:	70 FEET	143.44 FEET
BOTH SIDES:	140 FEET	345.64 FEET
	MAXIMUM PERMITTED	
BLDG. HEIGHT:	45 FEET	< 45 FEET
LOT COVERAGE:	40 %	29.9 %

WAREHOUSE OR WHOLESALE : 1 SPACE PER 500 S.F. OF GROSS FLOOR AREA

EXISTING BLDG = 41,019 S.F.  
 PROPOSED BLDG = 24,300 S.F.  
 TOTAL = 65,319 S.F.  
 65,319/500 = 130.63  
 TOTAL REQUIRED: = 131 SPACES

EXISTING SPACES = 24\*  
TOTAL SPACES PROVIDED = 50 (INCLUDES 1 HANDICAP)


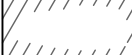











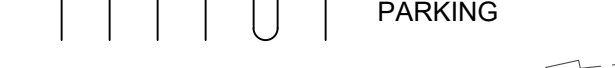
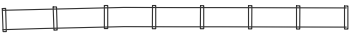
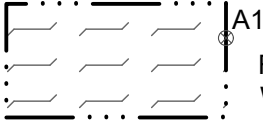


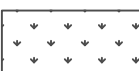
\* PARKING VARIANCE GRANTED FOR 24 SPACES ON OCTOBER 20, 2015. (SEE MAP REFERENCE)

WETLAND DISTURBANCE CHART			
WETLAND TYPE	EXISTING AREA	EXISTING DISTURBANCE	PROPOSED DISTURBANCE
NYSDEC 'A' (WR-10)	151,864 S.F.	0 S.F.	0 S.F.
NYSDEC BUFFER	82,566 S.F.	16,976 S.F.	10,228 S.F.
A.C.O.E. 'B' (PEMIE)	9,237 S.F.	0 S.F.	9,237 S.F.
A.C.O.E. 'C' (PEMIE)	7,628 S.F.	0 S.F.	7,628 S.F.
TOTAL A.C.O.E. WETLAND DISTURBANCE AREA: 12,313 S.F. / 0.28± AC.			
TOTAL NYSDEC BUFFER DISTURBANCE AREA: 16,865 S.F. / 0.39± AC.			

		REVISIONS		
DWN BY	REV	DESCRIPTION	DATE	APPROVED
DO	0	FOR APPROVAL	08/10/22	
G				
R				

*John L. Fisher*

JOHN D. FULLER
REG. NO. 077703

	PROPERTY LINE		EXISTING BUILDING
	SETBACK LINE		PROPOSED ADDITION
	EXISTING CULVERT		EXISTING TREES / TREE LINE
	SIGNS		PROPOSED PAVEMENT
	OVERHEAD UTILITIES		EXISTING DITCH
	SOIL LINES		EXISTING LANDSCAPING
	PROPOSED PARKING		REPUTED SDS
	R.R. TRACKS		FLAGGED WETLANDS
	CONTOUR LINES		WETLAND FLAG
	EXISTING GRASS		

TOWN OF CHESTER  
PLANNING BOARD APPROVAL

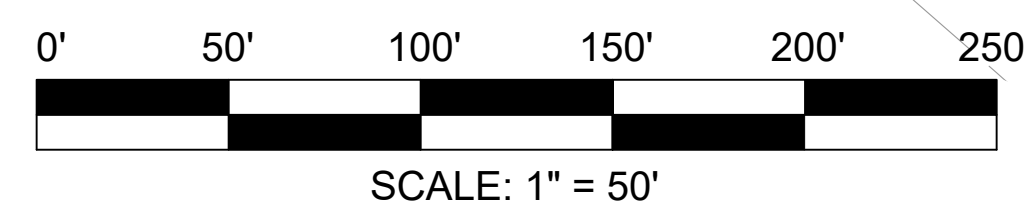
**JOHN D. FULLER, P.E., P.C.** 4 SOUTH STREET  
PORT JERVIS, NY 12771  
(845) 856-1536

SITE PLAN FOR  
TRADE TRANS CORPORATION  
173 BLACK MEADOW ROAD  
SECTION 6 BLOCK 1 LOT 106  
TOWN OF CHESTER, NY

DWG TITLE		DWG NO.
SITE PLAN		S-2
SCALE	AS NOTED	JOB NO. 1713.001




THIS PLAN CONTAINS 9 SHEETS. THIS SHEET SHALL NOT BE CONSIDERED VALID UNLESS ACCOMPANIED BY THE REMAINING SHEETS.



## SITE PLAN

SCALE: 1" = 50'



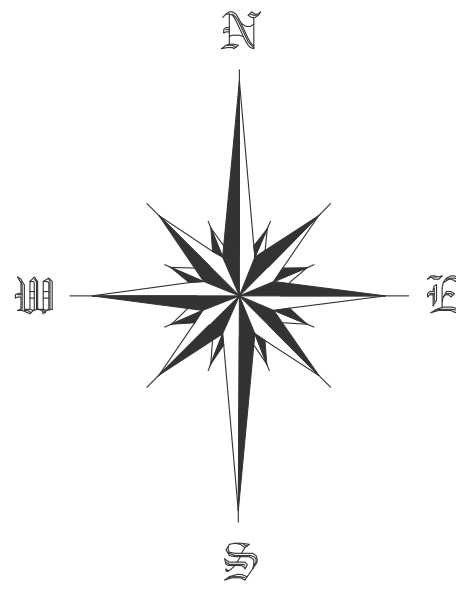
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SEPTIC CALCULATIONS

DESIGN RATE: 225 GPD W/ 45-60 MIN. PERCOLATION RATE  
5 ROWS @ 50 L.F. = 250 L.F.

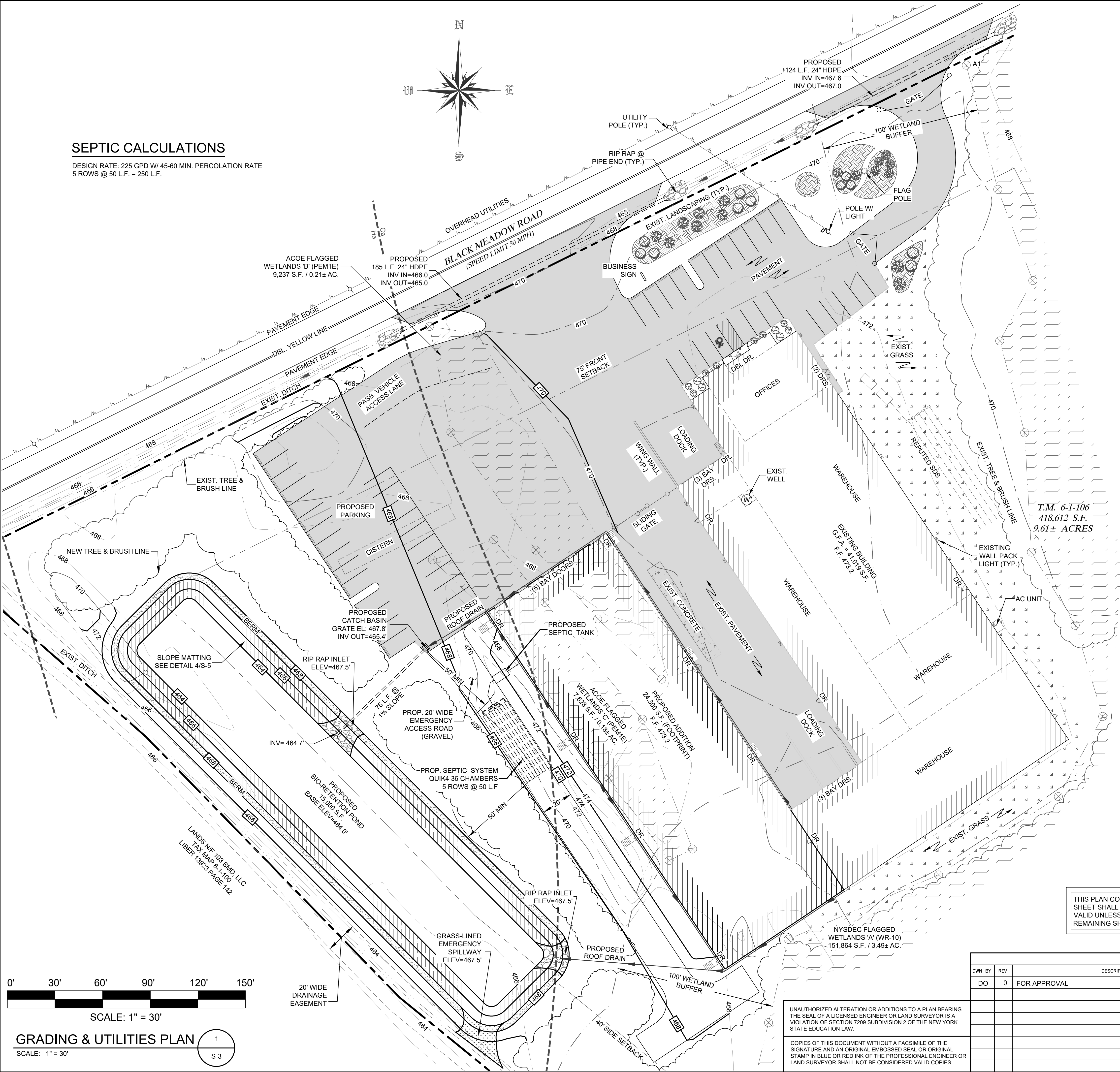


LEGEND

- PROPERTY LINE
- SETBACK LINE
- EXISTING CULVERT
- SIGNS
- UTILITY POLE
- OVERHEAD UTILITIES
- SOIL LINES
- PROPOSED PARKING
- EXISTING GRASS
- EXISTING BUILDING
- PROPOSED ADDITION
- EXISTING TREES / TREE LINE
- EXISTING PAVEMENT
- EXISTING DITCH
- EXISTING LANDSCAPING
- REPUTED SDS
- FLAGGED WETLANDS
- WETLAND FLAG
- PROPOSED GRADING

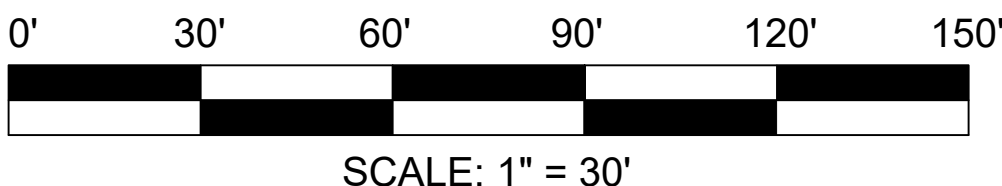
GRADING & UTILITIES NOTES

- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHY INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 1.5% MIN. ACROSS ALL PAVED SURFACES AND SLOPE ALONG ALL GUTTERS TO PREVENT PONDING. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL DISCREPANCIES AND OTHER CONDITIONS THAT MAY EFFECT PUBLIC SAFETY AS WELL AS THE PROJECT COST TO ENGINEER IMMEDIATELY IN WRITING.
- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICES CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. INTERFACE POINTS (CROSSING) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION. A MINIMUM OF 15" VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN ALL UTILITY CROSSING. ANY POTENTIAL CROSSINGS LESS THAN THE MINIMUM REQUIRED SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY IN WRITING.
- REFER TO CONSTRUCTION DETAIL PLAN FOR GRADING AND YARD DETAILS.
- IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERSEDE IN ALL CASES. NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "THE NEW YORK ONE CALL SYSTEM" (1-800-962-7962) 48 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES
- WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONDUCTED IN ACCORDANCE WITH THE TOWN OF WAWAYANDA REQUIREMENTS.
- ALL UTILITY CONNECTIONS TO BE MADE IN ACCORDANCE WITH UTILITY COMPANY REQUIREMENTS.
- ALL UTILITY SERVICES TO BE SIZED IN ACCORDANCE WITH ARCHITECTURAL PLANS (BY OTHERS).



T.M. 6-1-106  
418,612 S.F.  
9.61± ACRES

THIS PLAN CONTAINS 9 SHEETS. THIS SHEET SHALL NOT BE CONSIDERED VALID UNLESS ACCOMPANIED BY THE REMAINING SHEETS.



GRADING & UTILITIES PLAN

SCALE: 1" = 30'

1  
S-3

REVISIONS				
DWN BY	REV	DESCRIPTION	DATE	APPROVED
DO	0	FOR APPROVAL	08/10/22	

JOHN D. FULLER  
REG. NO. 077703

TOWN OF CHESTER  
PLANNING BOARD APPROVAL

JOHN D. FULLER, P.E., P.C. 4 SOUTH STREET  
PORT JERVIS, NY 12771  
(845) 856-1536

SITE PLAN FOR  
TRADE TRANS CORPORATION  
173 BLACK MEADOW ROAD  
SECTION 6 BLOCK 1 LOT 106  
TOWN OF CHESTER, NY

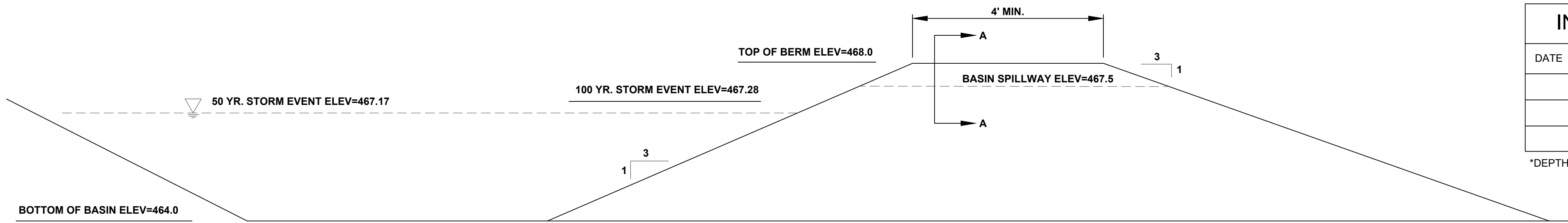
DWG TITLE  
GRADING & UTILITIES PLAN

DWG NO.  
S-3

SCALE AS NOTED

JOB NO. 1713.001



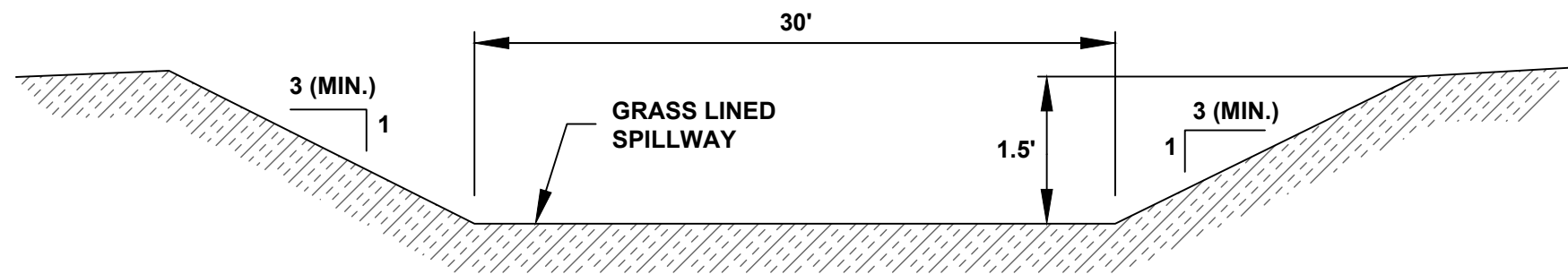


INFILTRATION TEST RESULTS				
DATE	TEST NO.	DEPTH OF HOLE (IN.)	STABILIZED RATE (MIN.)	DESIGN RATE (MIN.)
	IPT - 1	24		
	IPT - 2	24		
	IPT - 2	24		

\*DEPTH IS BELOW THE BOTTOM OF BASIN.

CONSTRUCTION NOTES:

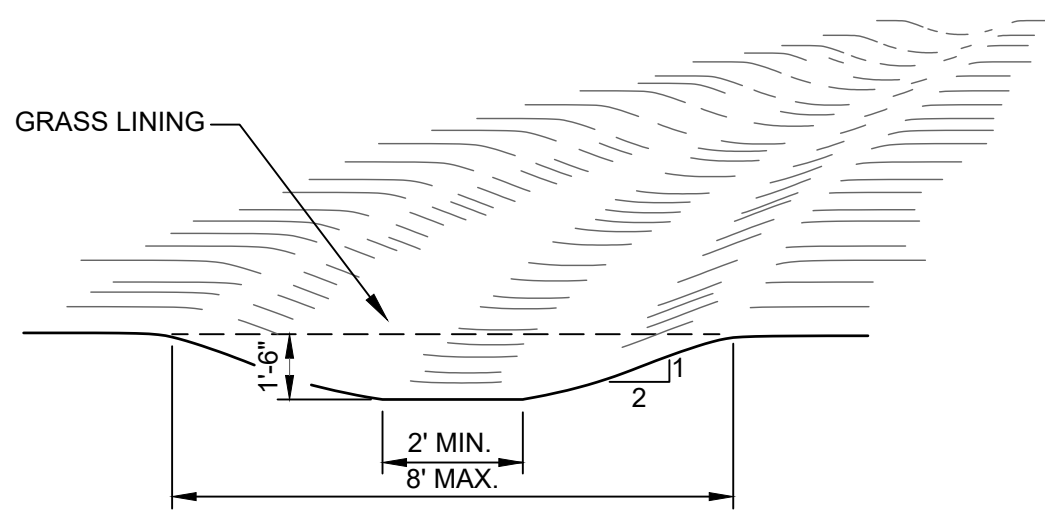
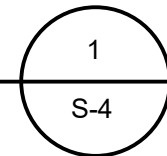
- BASIN BOTTOM SHALL BE GRADED TO A SMOOTH TEXTURE TO PROMOTE DRAINAGE.
- STRUCTURAL FILL SHALL BE PLACED IN 9" LIFTS AND COMPACTED TO NOT LESS THAN 95% OF MAX. DRY DENSITY BASED ON THE STANDARD PROCTOR (ASTM D-1557). IF COMPOSITION OF NATIVE STRUCTURAL FILL IS NOT CONDUCTIVE TO STANDARD PROCTOR TESTING AND/OR FIELD DENSITY MEASUREMENTS WITH A NUCLEAR DENSITY GAUGE DUE TO PERCENTAGE AND SIZE OF THE COARSE FRAGMENTS, AS DETERMINED BY THE ENGINEER, THEN SATISFACTORY DENSIFICATION SHALL BE DETERMINED BY THE ENGINEER BASED ON FIELD OBSERVATION OF EQUIPMENT PASSES AND CORRESPONDING DEFLECTION OF THE FILL. MOISTURE CONTENT SHALL BE WITHIN -2 OF +4 OF OPTIMUM. FILL MATERIALS FOR THE EMBANKMENT SHALL BE FREE OF ROOTS, WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES (>6") AND OTHER OBJECTIONABLE MATERIALS.
- SUITABLE CLAYS AND LOW-PERMEABILITY, PLASTIC SOILS EXCAVATED FOR POND CONSTRUCTION SHALL BE PREFERENTIALLY USED FOR CONSTRUCTION OF THE KEY TRENCH AND CORE OF THE EMBANKMENT, FOLLOWED BY BOTTOM AREAS POTENTIALLY SUBJECT TO LEAKAGE BASED ON OBSERVED SOIL/ROCK CONDITIONS. THE CLAY CORE AND KEY TRENCH SHALL BE AT LEAST 3 FEET THICK AND SHALL EXTEND AT LEAST 2 FEET INTO THE NATIVE SOILS AND UP TO 6" BELOW THE 100 YEAR STORM ELEVATION.
- IF BASIN DEWATERING IS REQUIRED DURING CONSTRUCTION AT A RATE FASTER THAN CAN BE DRAINED, WATER SHALL BE PUMPED AND DISCHARGED THROUGH THE PRINCIPAL SPILLWAY INLET. PUMPING DISCHARGE SHALL BE CONTROLLED TO PREVENT EROSION IN SPILLWAY CHANNEL, AND TO PREVENT DISCHARGE OF SEDIMENT-LADEN WATER (E.G., PUMPED FILTER BAG).
- THE ELEVATION OF THE 2 YEAR STORM EVENT (**ELEV = 489.54**) SHOULD BE MARKED ON A CLEAN-OUT STAKE LOCATED NEAR THE CENTER OF THE BASIN. SEDIMENT SHALL BE REMOVED WHEN SEDIMENT REACHES CLEAN-OUT LEVEL AND AT THE BEGINNING OF THE POST CONSTRUCTION PERIOD.



SECTION A - A  
BASIN SPILLWAY

INFILTRATION BASIN DETAIL

SCALE: NONE



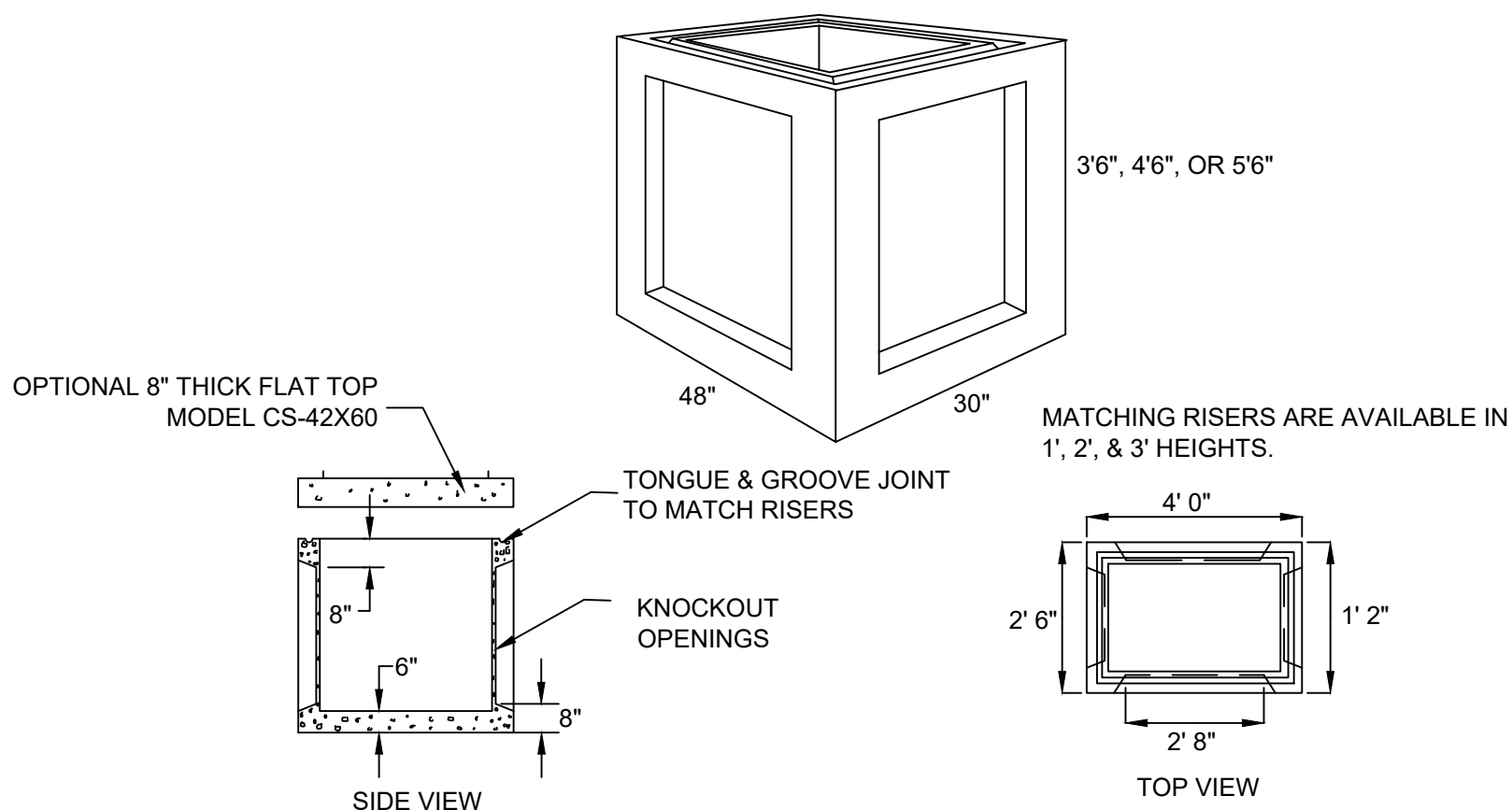
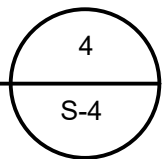
CHANNEL CROSS-SECTION

CONSTRUCTION SPECIFICATIONS:

- ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS AND OTHER OBJECTIONABLE SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE WATERWAY.
- THE WATERWAY SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN, AND BE FREE OF BANK PROJECTIONS
- ALL EARTH REMOVED AND NOT NEEDED IN CONSTRUCTION SHALL BE SPREAD OR DISPOSED OF SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE WATERWAY, OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
- FILL SHALL BE COMPACTED AS NEEDED IN CONSTRUCTION TO PREVENT UNEQUAL SETTLEMENT THAT WOULD CAUSE DAMAGE IN THE COMPLETED WATERWAY.

VEGETATED SWALE DETAIL

SCALE: N. T. S.

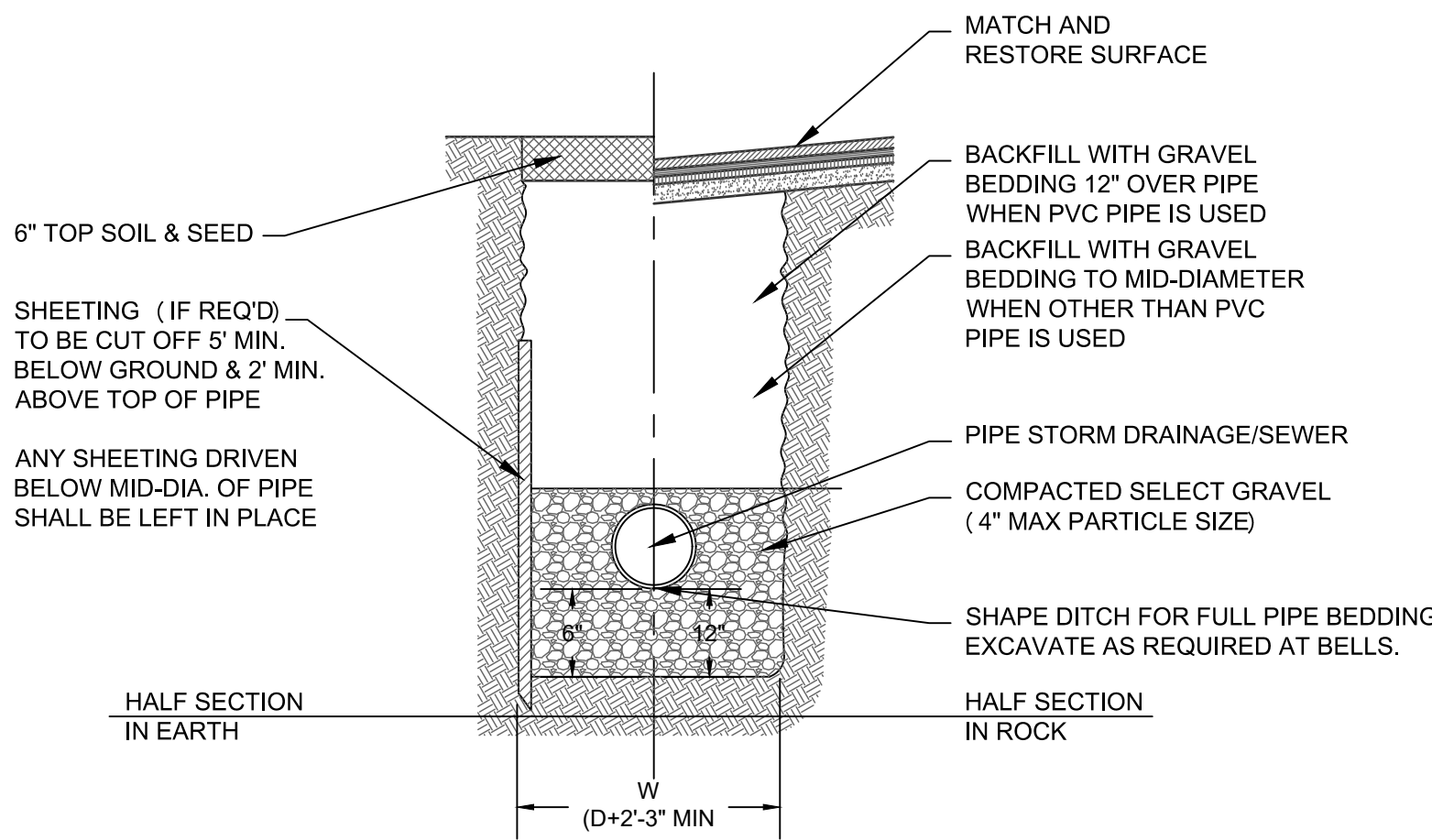
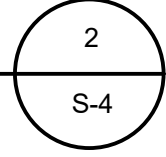


SPECIFICATIONS	PRECAST CATCH BASIN MODEL CB-30X48
Concrete Min. Strength: 4,000 psi at 28 days Reinforcement: #4 Rebar / ASTM A615 Air Entrainment: 5% Construction Joint: Butyl Rubber Sealant Weights: 3' Base = 3,400 lbs, 4' Base = 3,900 5' Base = 4,400 lbs, Risers = 1,100 lbs/ft Load Rating: H20 / ASTM C857	Woodard's Concrete Products, Inc. 629 Lybolt Road, Builville, NY 10915 (845) 361-3471 / Fax 361-1050

\*PROVIDE WOODARDS PRODUCT OR EQUAL

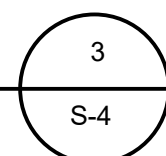
PRECAST CATCH BASIN DETAIL

SCALE: N. T. S.



SCALE: N. T. S.

TYPICAL TRENCH DETAIL



THIS PLAN CONTAINS 9 SHEETS. THIS SHEET SHALL NOT BE CONSIDERED VALID UNLESS ACCOMPANIED BY THE REMAINING SHEETS.



REVISIONS				
DWN BY	REV	DESCRIPTION	DATE	APPROVED
DO	0	FOR APPROVAL	08/10/22	

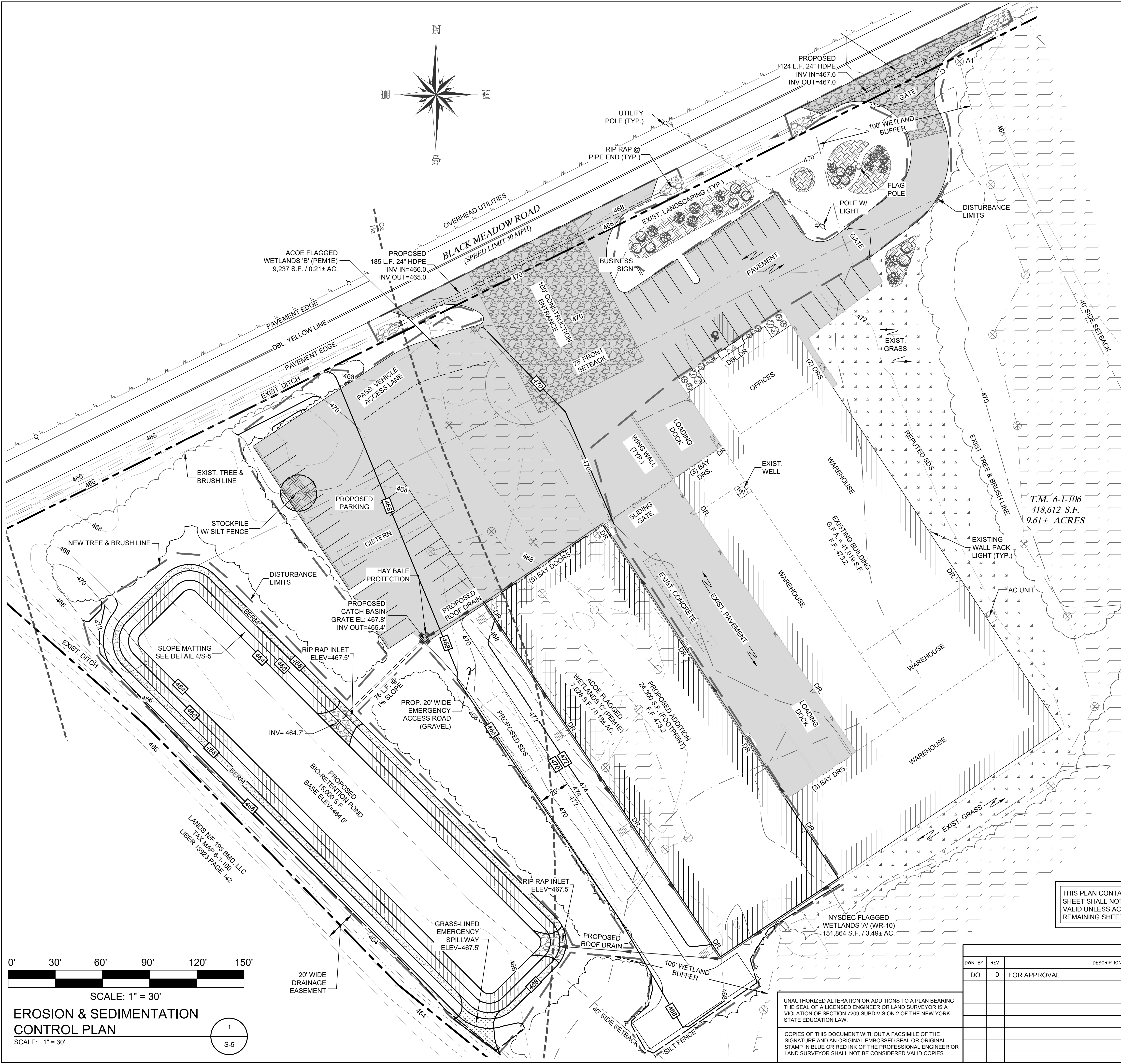
JOHN D. FULLER  
REG. NO. 077703

TOWN OF CHESTER PLANNING BOARD APPROVAL	
JOHN D. FULLER, P.E., P.C. 4 SOUTH STREET PORT JERVIS, NY 12771 (845) 856-1536	
SITE PLAN FOR TRADE TRANS CORPORATION 173 BLACK MEADOW ROAD SECTION 6 BLOCK 1 LOT 106 TOWN OF CHESTER, NY	
DWG TITLE STORMWATER DETAILS	DWG NO. S-4
SCALE AS NOTED	JOB NO. 1713.001

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LEGEND

PROPERTY LINE

SETBACK LINE

EXISTING CULVERT

SIGNS

UTILITY POLE

OVERHEAD UTILITIES

SOIL LINES

PROPOSED PARKING

CONTOUR LINES

EXISTING GRASS

SILT FENCE

LIMITS OF DISTURBANCE

EXISTING BUILDING

PROPOSED ADDITION

EXISTING TREES / TREE LINE

EXISTING PAVEMENT

EXISTING DITCH

EXISTING LANDSCAPING

REPUTED SDS

FLAGGED WETLANDS

WETLAND FLAG

PROPOSED GRADING

STOCKPILE W/ SILT FENCE

EROSION & SEDIMENTATION CONTROL NOTES

1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE IN ACCORDANCE WITH ANY AND ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
2. THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND. THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
3. SEDIMENT BARRIERS (SILT FENCE, HAY BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
4. INSTALL SILT FENCE AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILT FENCE DETAIL FOR PROPER INSTALLATION. SILT FENCE WILL REMAIN IN PLACE PER NOTE #5.
5. ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
6. NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2 TO 1).
7. IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
8. THE TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
9. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO SITE AND REGRADED ONTO OPEN AREAS.
10. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.

DISTURBANCE AREA

130,525 S.F. / 2.99± ACRES

THIS PLAN CONTAINS 9 SHEETS. THIS SHEET SHALL NOT BE CONSIDERED VALID UNLESS ACCOMPANIED BY THE REMAINING SHEETS.

0' 30' 60' 90' 120' 150'

SCALE: 1" = 30'

EROSION & SEDIMENTATION CONTROL PLAN

SCALE: 1" = 30'

1

S-5

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REVISIONS				
DWN BY	REV	DESCRIPTION	DATE	APPROVED
DO	0	FOR APPROVAL	08/10/22	

JOHN D. FULLER  
REG. NO. 077703

TOWN OF CHESTER  
PLANNING BOARD APPROVAL

JOHN D. FULLER, P.E., P.C.  
4 SOUTH STREET  
PORT JERVIS, NY 12771  
(845) 856-1536

SITE PLAN FOR  
TRADE TRANS CORPORATION  
173 BLACK MEADOW ROAD  
SECTION 6 BLOCK 1 LOT 106  
TOWN OF CHESTER, NY

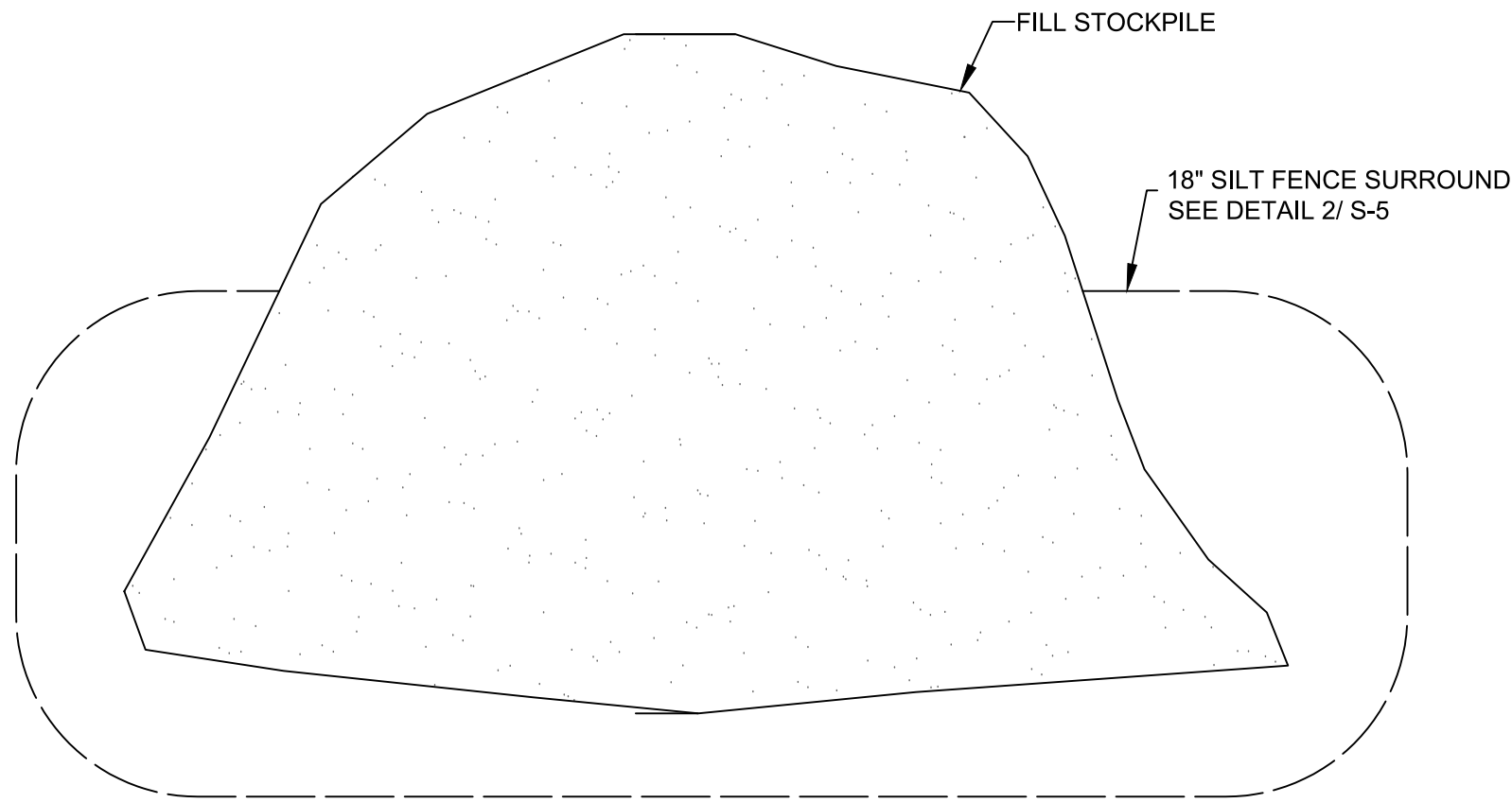
DWG TITLE  
EROSION & SEDIMENTATION CONTROL PLAN

DWG NO.  
S-5

SCALE  
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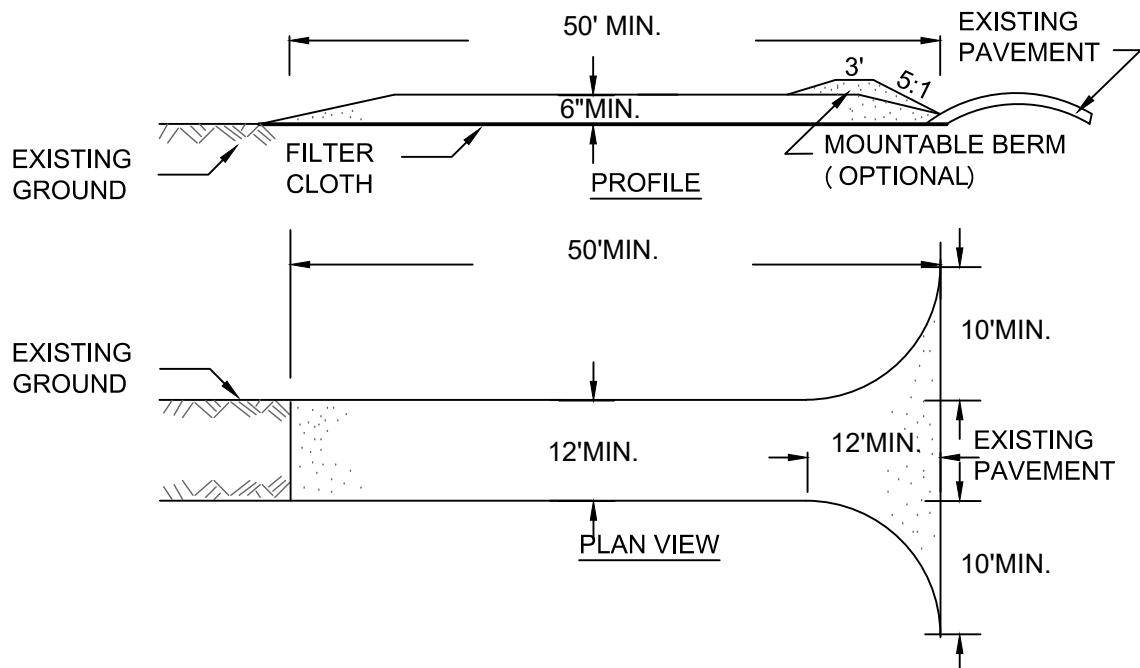


NOTE:  
STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET.  
STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.

### STOCKPILE DETAIL

SCALE: NONE

1  
S-6



### CONSTRUCTION ENTRANCE

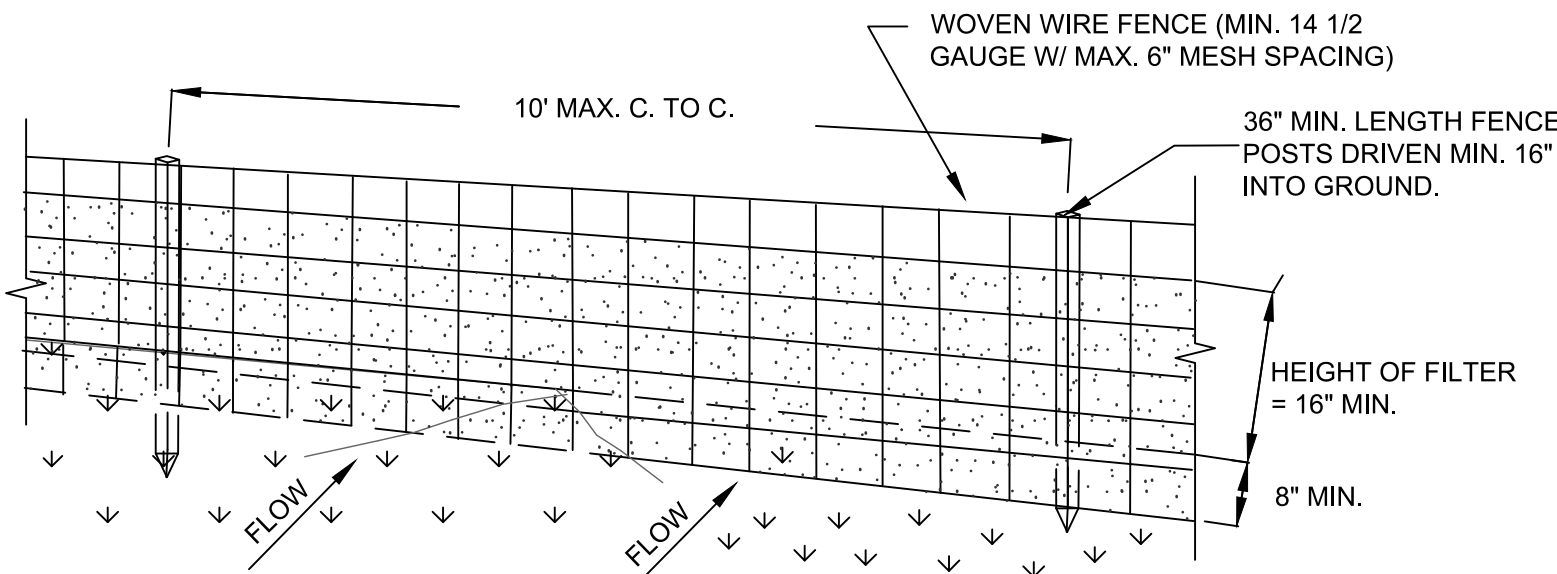
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3  
S-6

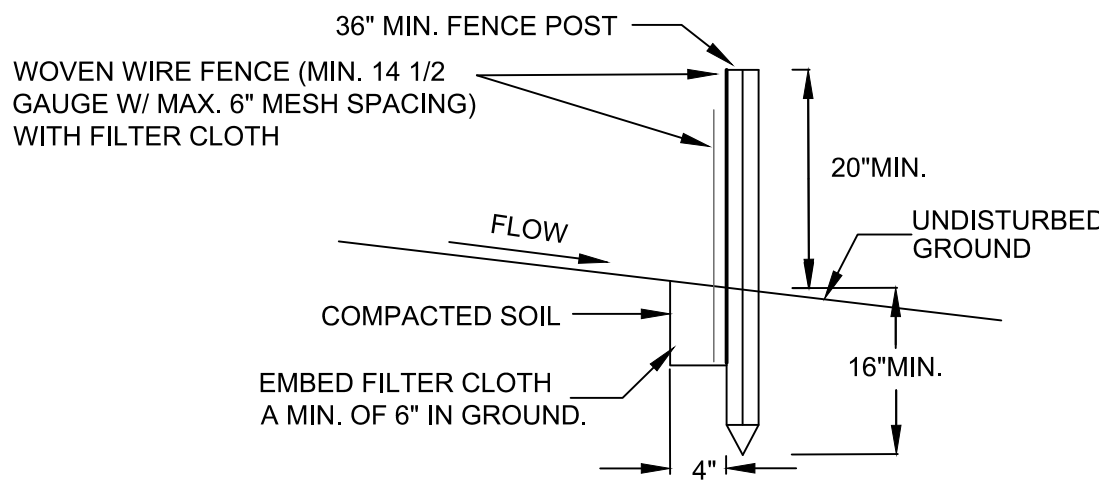
### CONSTRUCTION SPECIFICATIONS

- STONE SIZE = USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH = NOT LESS THAN FIFTY (50) FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS = NOT LESS THAN SIX (6) INCHES.
- WIDTH = TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR. TWENTY-FOUR (24) FEET IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

THIS PLAN CONTAINS 9 SHEETS. THIS SHEET SHALL NOT BE CONSIDERED VALID UNLESS ACCOMPANIED BY THE REMAINING SHEETS.



PERSPECTIVE VIEW

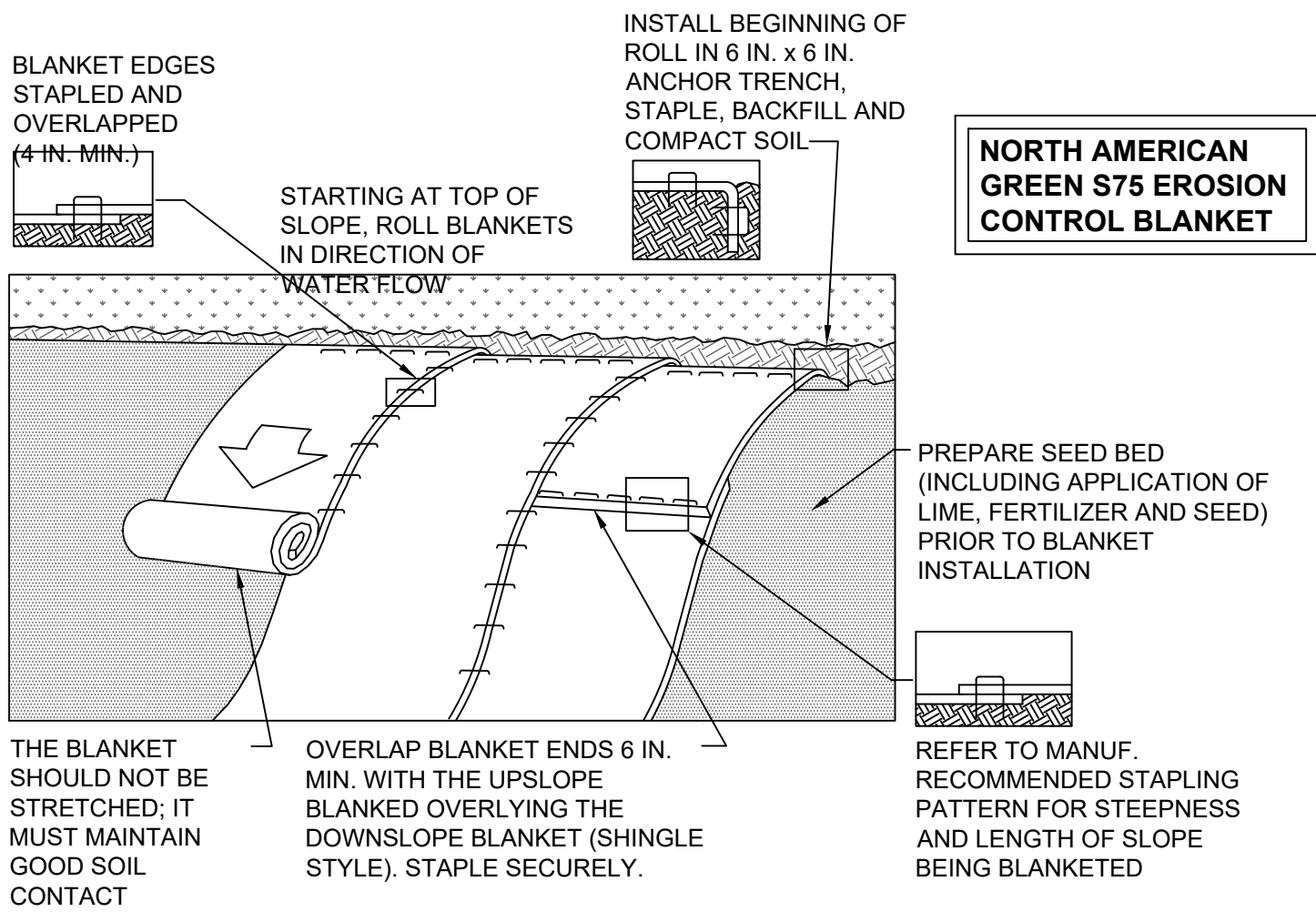


SECTION VIEW

### SILT FENCE DETAIL

SCALE: NTS

2  
S-6



### SLOPE MATTING INSTALLATION DETAIL

SCALE: NONE

4  
S-6

#### NOTES:

SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.

PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.

SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.

BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.

THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH STORMWATER EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

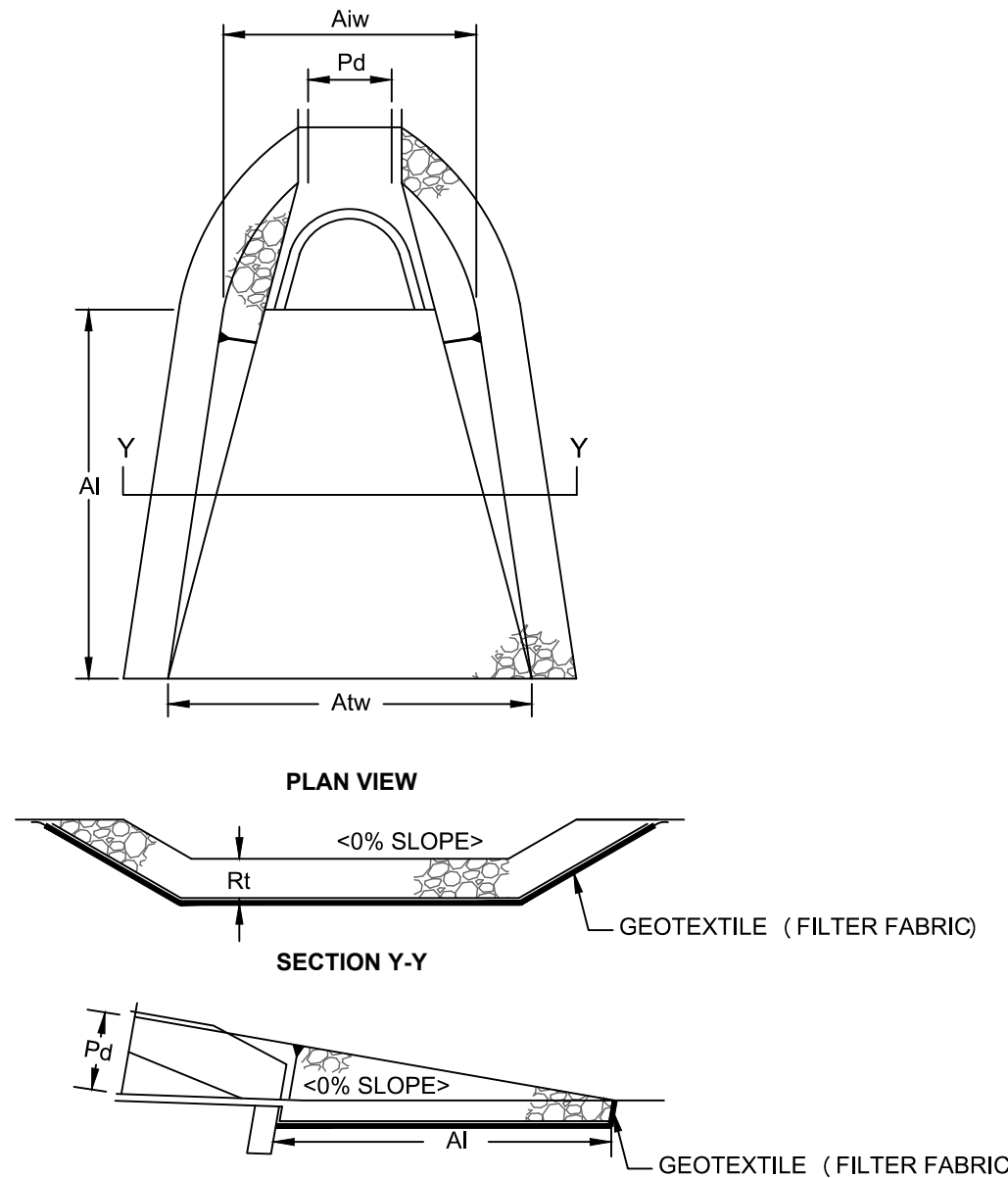


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### CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



OUTLET NO.	PIPE DIA Pd (IN)	RIPRAP		APRON		TERMINAL WIDTH Atw (FT)
		SIZE (R- )	THICK. Rt (IN)	LENGTH Al (FT)	INITIAL WIDTH Aiw (FT)	
1	15	4	6	12	3	10
-	-	-	-	-	-	-
-	-	-	-	-	-	-

### RIP RAP APRON AT PIPE OUTLET

SCALE: N. T. S.

5  
S-6

## CONSTRUCTION SEQUENCE

### STAGE 1 (SITE PREPARATION)

- SCHEDULE ON-SITE PRE-CONSTRUCTION MEETING WITH ENGINEER, CONTRACTOR, LANDOWNER, AND TOWNSHIP AT LEAST ONE WEEK PRIOR TO THE START OF CONSTRUCTION.
- INSTALL CONSTRUCTION ENTRANCE AND PERIMETER SILT FENCE.
- CONSTRUCT SEDIMENT INFILTRATION BASINS AS SHOWN ON THE PLAN. EROSION CONTROLS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE NEW SITE DISTURBANCE BEGINS.
- CLEAR AND GRUB SITE. STRIP TOPSOIL AND STOCKPILE AS SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLAN AND STABILIZE IN ACCORDANCE WITH THE SEEDING AND MULCHING SPECIFICATIONS.
- INITIATE EARTH MOVING ACTIVITIES FOR SITE DEVELOPMENT. UNSUITABLE MATERIAL IS TO BE REMOVED FROM THE PROJECT SITE. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL EROSION AND SEDIMENTATION CONTROL MEASURE AT ANY OFF-SITE SPOIL AREAS. PLACE AND COMPACT MATERIAL IN AREAS OF FILL TO OBTAIN NECESSARY GRADES.
- ROUGH GRADE SITE, STABILIZE AND SEED EXCESS STOCKPILE MATERIAL AS SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLAN SHEET. INSTALL SILT FENCE AROUND THE STOCKPILE IMMEDIATELY AFTER THE SOIL IS STOCKPILED.
- THE SITE GRADING ACTIVITIES SHALL BE INITIATED AND PROCEED IN SUCH A MANNER AS TO DIRECT ALL STORM WATER FROM DISTURBED AREAS TO THE SEDIMENT CONTROL STRUCTURES.
- STABILIZE ALL GRASS AREAS IN ACCORDANCE WITH THE SEEDING AND MULCHING SPECIFICATIONS.

### STAGE 2 (CONSTRUCTION)

- INITIATE CONSTRUCTION OF BUILDING FOUNDATION AND SUPER STRUCTURE.
- INSTALL WASTEWATER AND WATER SUPPLY SYSTEMS INCLUDING PIPING AND TRENCHING AS SHOWN ON THE SITE PLAN.
- ROUGH GRADE SITE, WORKING GRADE TOWARDS "ROUGH" FINAL GRADE ELEVATIONS OF PARKING LOT.
- PLACE AND COMPACT SUBBASE IN AREAS TO BE PAVED AND PLACE THE GRAVEL / ITEM #4 COURSE AS SOON AS IT IS PRACTICAL.
- CLEAN OUT & RESEED AND RE-STABILIZE INFILTRATION BASINS WHERE NECESSARY.
- RESEED, RE-MULCH AND RE-STABILIZE WHERE NECESSARY.
- REMOVE SILT FENCING ONLY AFTER ENTIRE SITE HAS BEEN STABILIZED, VEGETATED AREAS SHALL BE CONSIDERED PERMANENTLY STABILIZED WHEN A UNIFORM 70% VEGETATIVE COVER OF EROSION RESISTANT PERENNIAL SPECIFIED HAS BEEN ACHIEVED, OR THE DISTURBED AREA IS COVERED WITH AN ACCEPTABLE BMP WHICH PERMANENTLY MINIMIZE ACCELERATED EROSION AND SEDIMENTATION. UNTIL SUCH TIME AS THIS STANDARD IS ACHIEVED, INTERIM STABILIZATION MEASURES AND TEMPORARY EROSION AND SEDIMENT CONTROL BMPs THAT ARE USED TO TREAT PROJECT RUNOFF MAY NOT BE REMOVED. DURING PERIODS OF DROUGHT, IRRIGATION SHOULD BE UTILIZED UNTIL STABILIZATION HAS OCCURRED.

## SEEDING AND MULCHING SPECIFICATIONS

#### TEMPORARY STABILIZATION:

	TYPE	RATE
SEED	ANNUAL RYE GRASS	1 LB/1,000 SQ FT
MULCH	HAY	3.0 TONS/ACRE
LIME	AGRICULTURAL GRADE LIMESTONE	1.0 TONS/ACRE
FERTILIZER	10-20-10	50 LBS./ACRE

#### PERMANENT STABILIZATION:

	TYPE	RATE
SEED	PERENNIAL RYE GRASS (20%) RED TOP (50%) ORCHARD GRASS (30%)	0.45 LBS/1,000 SQ FT 0.35 LBS/1,000 SQ FT 1.4 LBS/1,000 SQ FT
MULCH	HAY	3.0 TONS/ACRE
LIME	AGRICULTURAL GRADE LIMESTONE	6.0 TONS/ACRE
FERTILIZER	10-20-10	1,000 LBS./ACRE

TOWN OF CHESTER  
PLANNING BOARD APPROVAL

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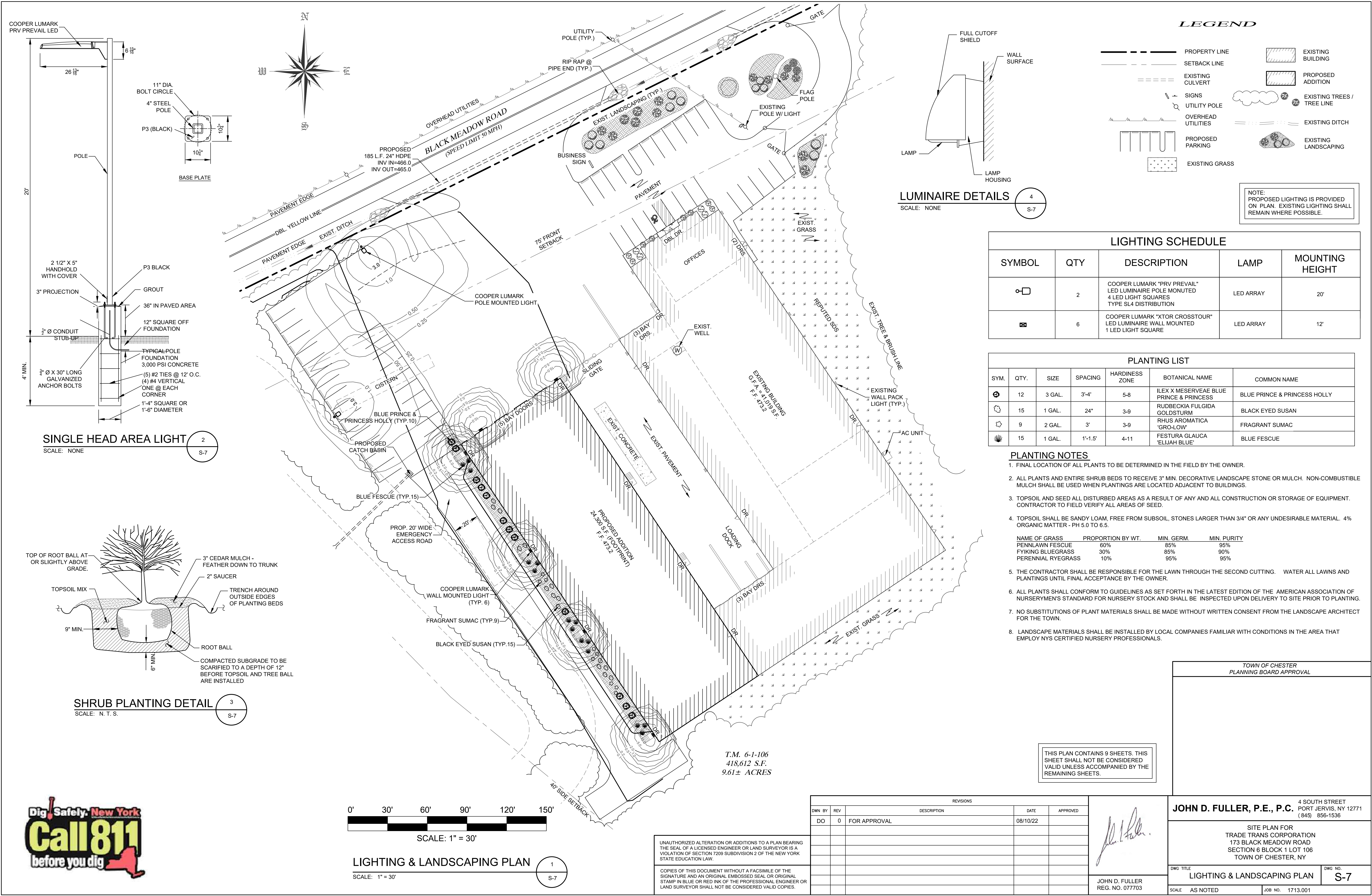
SITE PLAN FOR  
TRADE TRANS CORPORATION  
173 BLACK MEADOW ROAD  
SECTION 6 BLOCK 1 LOT 106  
TOWN OF CHESTER, NY

DWG TITLE EROSION & SEDIMENTATION  
CONTROL PLAN DETAILS

DWG NO.  
S-6

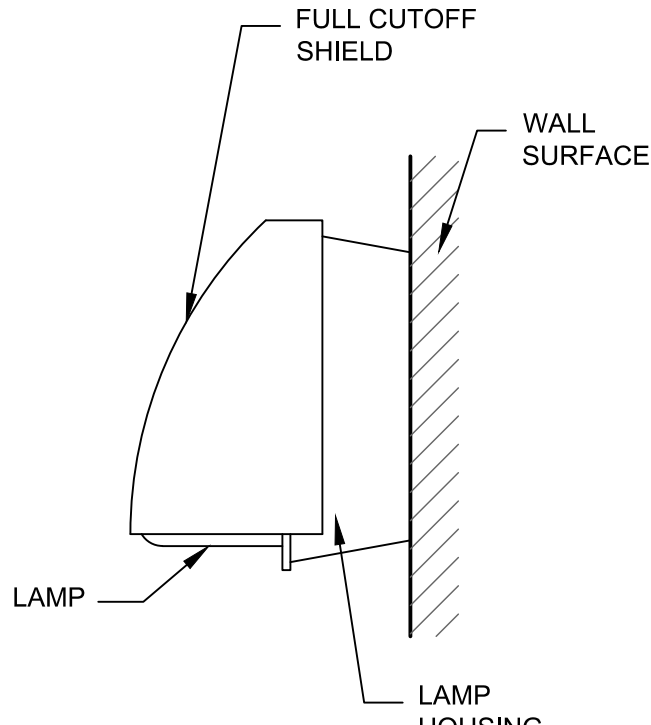
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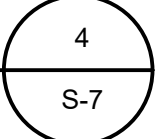
LEGEND

- PROPERTY LINE
- SETBACK LINE
- EXISTING CULVERT
- SIGNS
- UTILITY POLE
- OVERHEAD UTILITIES
- PROPOSED PARKING
- EXISTING GRASS
- EXISTING BUILDING
- PROPOSED ADDITION
- EXISTING TREES / TREE LINE
- EXISTING DITCH
- EXISTING LANDSCAPING



LUMINAIRE DETAILS

SCALE: NONE



NOTE: PROPOSED LIGHTING IS PROVIDED ON PLAN. EXISTING LIGHTING SHALL REMAIN WHERE POSSIBLE.

LIGHTING SCHEDULE

SYMBOL	QTY	DESCRIPTION	LAMP	MOUNTING HEIGHT
	2	COOPER LUMARK "PRV PREVAIL" LED LUMINAIRE POLE MONUTED 4 LED LIGHT SQUARES TYPE SL4 DISTRIBUTION	LED ARRAY	20'
	6	COOPER LUMARK "XTOR CROSSTOUR" LED LUMINAIRE WALL MOUNTED 1 LED LIGHT SQUARE	LED ARRAY	12'

PLANTING LIST

SYM.	QTY.	SIZE	SPACING	HARDINESS ZONE	BOTANICAL NAME	COMMON NAME
	12	3 GAL.	3'-4'	5-8	ILEX X MESERVEAE BLUE PRINCE & PRINCESS	BLUE PRINCE & PRINCESS HOLLY
	15	1 GAL.	24"	3-9	RUDBECKIA FULGIDA GOLDSTURM	BLACK EYED SUSAN
	9	2 GAL.	3'	3-9	RHUS AROMATICA 'GRO-LOW'	FRAGRANT SUMAC
	15	1 GAL.	1'-1.5'	4-11	FESTURA GLAUCA 'ELIJAH BLUE'	BLUE FESCUE

PLANTING NOTES

- FINAL LOCATION OF ALL PLANTS TO BE DETERMINED IN THE FIELD BY THE OWNER.
- ALL PLANTS AND ENTIRE SHRUB BEDS TO RECEIVE 3" MIN. DECORATIVE LANDSCAPE STONE OR MULCH. NON-COMBUSTIBLE MULCH SHALL BE USED WHEN PLANTINGS ARE LOCATED ADJACENT TO BUILDINGS.
- TOPSOIL AND SEED ALL DISTURBED AREAS AS A RESULT OF ANY AND ALL CONSTRUCTION OR STORAGE OF EQUIPMENT. CONTRACTOR TO FIELD VERIFY ALL AREAS OF SEED.
- TOPSOIL SHALL BE SANDY LOAM, FREE FROM SUBSOIL, STONES LARGER THAN 3/4" OR ANY UNDESIRABLE MATERIAL. 4% ORGANIC MATTER - PH 5.0 TO 6.5.

NAME OF GRASS	PROPORTION BY WT.	MIN. GERM.	MIN. PURITY
PENNLAWN FESCUE	60%	85%	95%
FYIKING BLUEGRASS	30%	85%	90%
PERENNIAL RYEGRASS	10%	95%	95%
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAWN THROUGH THE SECOND CUTTING. WATER ALL LAWNS AND PLANTINGS UNTIL FINAL ACCEPTANCE BY THE OWNER.
- ALL PLANTS SHALL CONFORM TO GUIDELINES AS SET FORTH IN THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARD FOR NURSERY STOCK AND SHALL BE INSPECTED UPON DELIVERY TO SITE PRIOR TO PLANTING.
- NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN CONSENT FROM THE LANDSCAPE ARCHITECT FOR THE TOWN.
- LANDSCAPE MATERIALS SHALL BE INSTALLED BY LOCAL COMPANIES FAMILIAR WITH CONDITIONS IN THE AREA THAT EMPLOY NYS CERTIFIED NURSERY PROFESSIONALS.

TOWN OF CHESTER  
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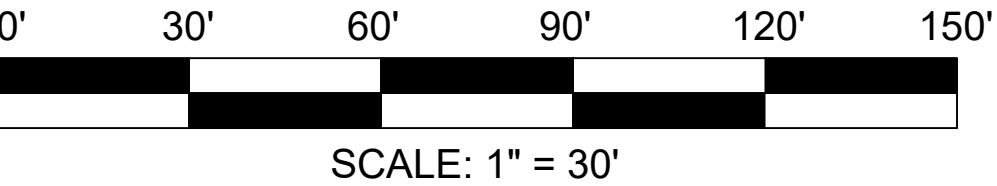
DWG TITLE  
LIGHTING & LANDSCAPING PLAN

DWG NO.  
S-7

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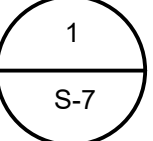
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T.M. 6-1-106  
418,612 S.F.  
9.61± ACRES



LIGHTING & LANDSCAPING PLAN

SCALE: 1" = 30'



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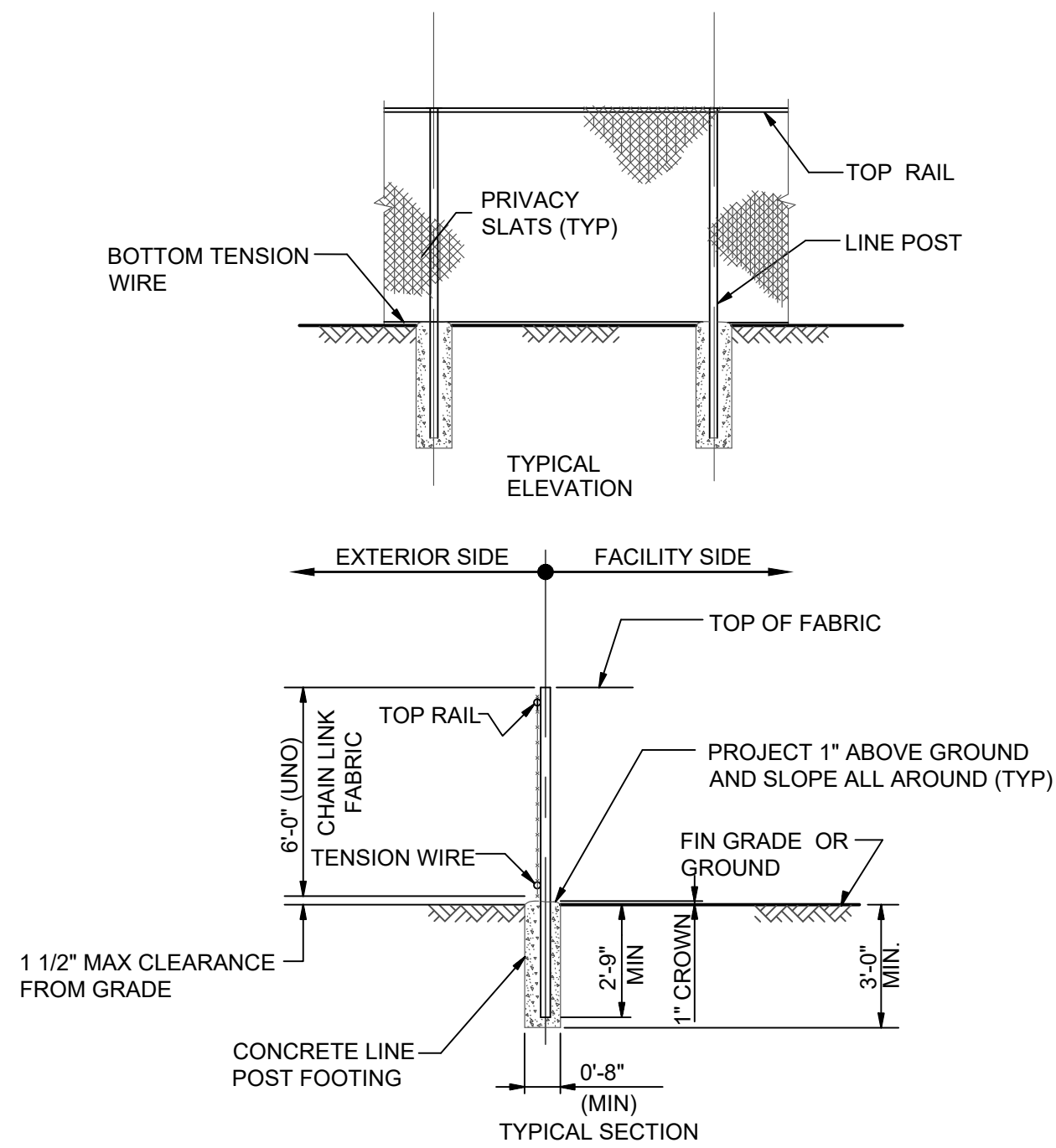
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JOHN D. FULLER  
REG. NO. 077703







TYPICAL CHAIN LINK FENCE DETAIL

SCALE: N. T. S.

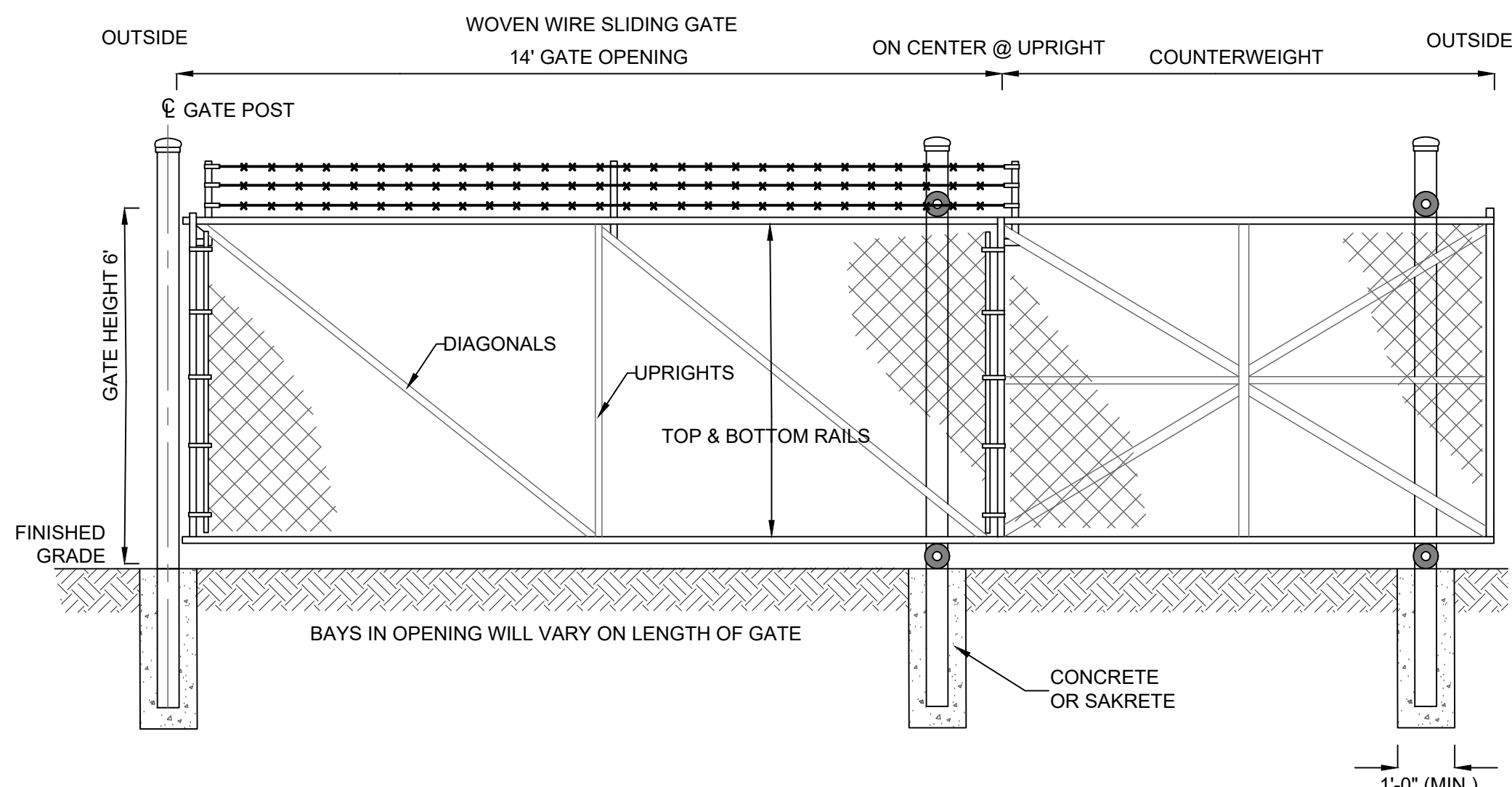
1

S-8

TYPICAL WOVEN WIRE FENCING NOTES

(INSTALL FENCING PER ASTM F-567)

1. LINE POST: 2-3/8"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
2. TOP RAIL & BRACE RAIL: 1 1/4"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
3. FABRIC: 11 GA. CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392 CLASS 1.
4. TIE WIRE: MINIMUM 11 GA GALVANIZED STEEL INSTALL A SINGLE WRAP TIE WIRE AT POSTS AND RAILS AT MAX. 24" INTERVALS. INSTALL HOG RINGS ON TENSION WIRE AT 24" INTERVALS.
5. TENSION WIRE: 7 GA. GALVANIZED STEEL.
6. HEIGHT = 4' VERTICAL.
7. LINE POSTS ARE 5' O.C. NOMINAL AND NOT TO EXCEED 10'.
8. ALL WORK SHALL CONFORM WITH THE PROJECT SPECIFICATIONS.

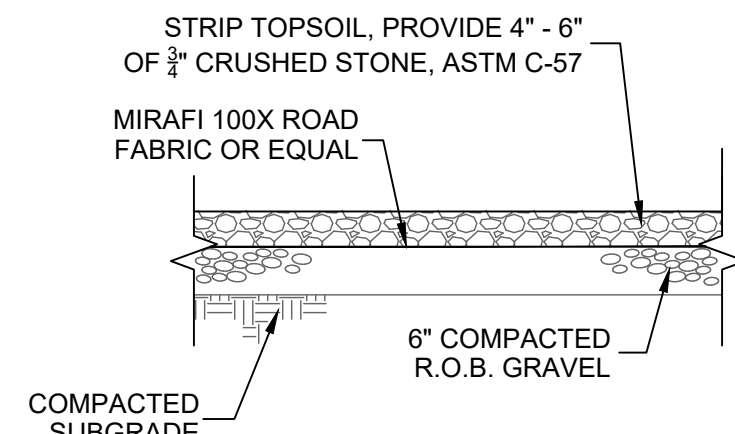


CHAIN LINK SLIDING GATE DETAIL

SCALE: NONE

2

S-8



GRAVEL PARKING DETAIL

SCALE: N. T. S.

3

S-8

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TOWN OF CHESTER PLANNING BOARD APPROVAL	
JOHN D. FULLER, P.E., P.C. 4 SOUTH STREET PORT JERVIS, NY 12771 (845) 856-1536	
SITE PLAN FOR TRADE TRANS CORPORATION 173 BLACK MEADOW ROAD SECTION 6 BLOCK 1 LOT 106 TOWN OF CHESTER, NY	
DWG TITLE CONSTRUCTION DETAILS	DWG NO. S-8
SCALE AS NOTED	JOB NO. 1713.001