

- LEGEND:**
- FEDERAL WETLAND FLAG LOCATION ▲
- WETLAND AREAS:**
- WETLAND AREA 'A-1' = 1.00± ACRES
WETLAND AREA 'A-2' = 2.14± ACRES
WETLAND AREA 'A-3' = 0.47± ACRES
WETLAND AREA 'A-4' = 0.64± ACRES
WETLAND AREA 'A-5' = 2.84± ACRES
- WETLAND AREA TOTAL = 7.09± ACRES
WETLAND DISTURBANCE = 715 SQ.FT.

- NOTES:**
- TAX MAP DESIGNATION: TOWN OF CHESTER SECTION 5 BLOCK 1 LOT 26.3
 - WATER SUPPLY: PRIVATE WELL
 - SEWAGE DISPOSAL: PRIVATE SUBSURFACE
 - FEDERAL WETLANDS FLAGGED BY ROBERT G. TORGENSEN, L.A. CPESC, AND FIELD LOCATED ON OCTOBER 2, 2006 BY JAMES A. DILLIN, PLS.
 - LANDS TO BE GRATUITOUSLY CONVEYED TO THE TOWN OF CHESTER FOR HIGHWAY PURPOSES.
 - FLOOD ZONE A BOUNDARY AS SHOWN ON FLOOD INSURANCE RATE MAP FOR THE TOWN OF CHESTER, NEW YORK, ORANGE COUNTY, COMMUNITY-PANEL NUMBER 360870 0005 B DATED JUNE 4, 1996.
 - EXISTING DWELLING AND BARN TO BE REMOVED PRIOR TO A BUILDING PERMIT FOR LOT #2. SHED/STORAGE BUILDINGS TO BE REMOVED PRIOR TO A CERTIFICATE OF OCCUPANCY FOR LOT #2.
 - EXISTING APARTMENT WITHIN THE GARAGE MUST BE ELIMINATED WITHIN 6 MONTHS OF FILING MAP. THE EXISTING DWELLING AS NOTED ON MAP MUST BE REMOVED WITHIN 6 MONTHS OF FILING MAP.
 - WELL HOUSE TO BE REMOVED

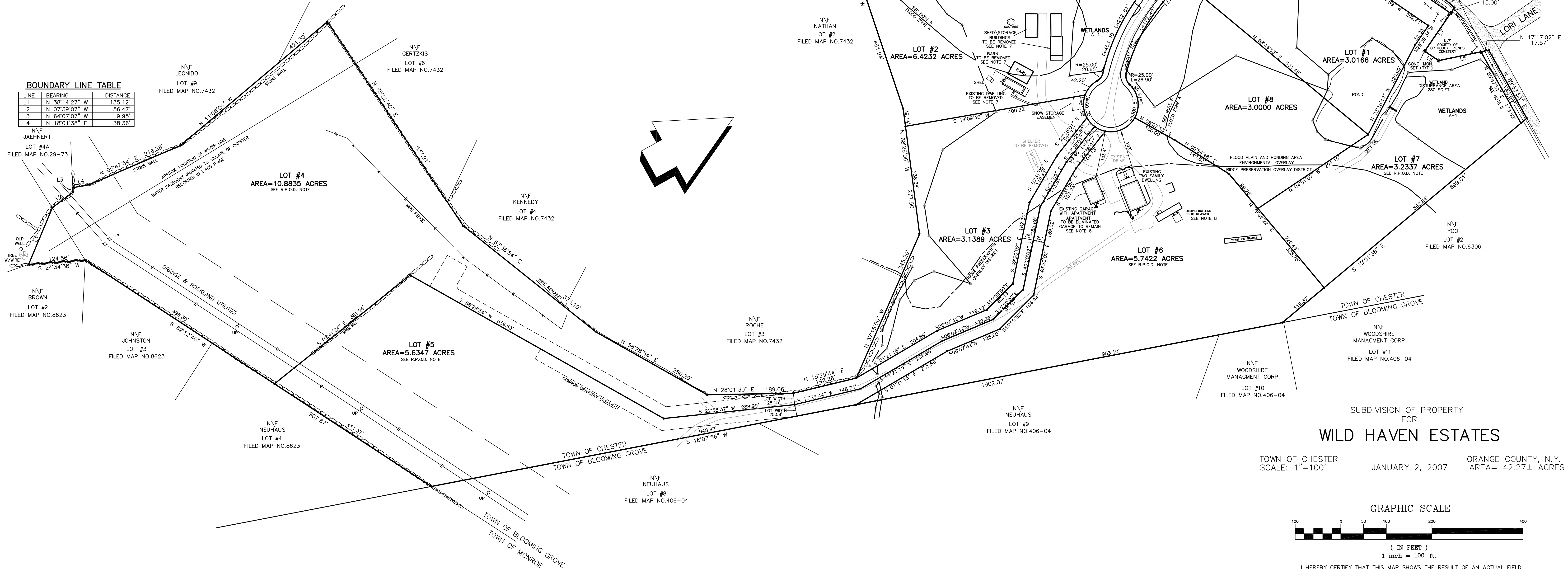
- OVERLAY DISTRICTS:**
- FLOOD PLAINS AND PONDING AREA ENVIRONMENTAL OVERLAY
RIDGE PRESERVATION OVERLAY DISTRICT
- R.P.O.D. NOTE:**
LOTS 4, 5, 6 AND 7 ARE LOCATED WITHIN THE RIDGE PRESERVATION OVERLAY DISTRICT (R.P.O.D.), TOWN OF CHESTER ZONING LAW SECTION 98-26. LOT 4 AND 5 ARE NOT VISIBLE AT ANY TIME OF THE YEAR FROM POINTS ALONG ANY ROADWAY. LOT 6 HAS A EXISTING DWELLING THAT WILL NOT REQUIRE A APPLICATION FOR R.P.O.D. LOT 7 WILL REQUIRE A APPLICATION FOR AN APPROVAL FOR A DWELLING WITHIN THE OVERLAY DISTRICT.
- OWNER & APPLICANT:**
- RICHARD K. WILSON
408 BULL MILL ROAD
CHESTER, NY 10918

ZONE: AR-.3 AGRICULTURAL RESIDENTIAL

	REQUIRED	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6	LOT 7	LOT 8
MINIMUM LOT AREA.....	3 ACRES	3.01 ACS.	6.42± ACS.	3.13± ACS.	10.88± ACS.	5.63± ACS.	5.74± ACS.	3.23± ACS.	3.00 ± ACS.
MINIMUM LOT WIDTH.....	250 FT.	300 FT.	603'± FT.	254 FT.	N/A	N/A	250.01 FT.	286'± FT.	328.5'± FT.
MINIMUM FRONT YARD.....	100 FT.	100 FT.	127 FT.	* 215.3 FT.	N/A	N/A	103 FT.	402 FT.	134.1 FT.
MINIMUM SIDE YARD.....	40 FT.	205 FT.	105.9 FT.	55.7 FT.	184.7 FT.	106.6 FT.	101.26 FT.	60.9 FT.	43.4 FT.
MINIMUM BOTH SIDE YARD.....	100 FT.	N/A	337.1 FT.	164.4 FT.	468.4 FT.	267.1 FT.	217.65 FT.	143.7 FT.	211.0 FT.
MINIMUM REAR YARD.....	100 FT.	159 FT.	309.8 FT.	159.4 FT.	181.8 FT.	202.9 FT.	302.3 FT.	103.4 FT.	188.5 FT.
MAXIMUM LOT COVERAGE.....	10 %	2% ±	2% ±	2% ±	2% ±	2% ±	2% ±	2% ±	2% ±
MAXIMUM BUILDING HEIGHT.....	35 FT.	< 35'	< 35'	< 35'	< 35'	< 35'	< 35'	< 35'	< 35'

* MINIMUM FRONT YARD SET BY PLANNING BOARD.

- DRAWING INDEX**
- SUBDIVISION PLAN (TOTAL PARCEL)
 - SITE PLAN LOTS 1, 2, 3, 6, 7, & 8
 - SITE PLAN COMMON DRIVES LOTS 4 & 5
 - SITE PLAN LOTS 4 & 5
 - PROFILE PROPOSED ROAD
 - TEST RESULTS, NOTES & SPECIFICATIONS
 - SDS DETAILS
 - EROSION CONTROL PLAN



REVISIONS

2/7/07	REVISED
5/3/07	REVISED
9/5/07	REVISED
5/20/08	REVISED
8/18/08	PER COMMENTS
9/16/08	PER COMMENTS
11/18/08	PER COMMENTS
12/15/08	PER COMMENTS
12/30/08	PER COMMENTS
01/20/09	PER COMMENTS
02/16/09	PER COMMENTS
05/05/09	PER COMMENTS
06/01/09	REVISED LOTS



SUBDIVISION OF PROPERTY
FOR
WILD HAVEN ESTATES

TOWN OF CHESTER
SCALE: 1"=50'

MAY 20, 2007

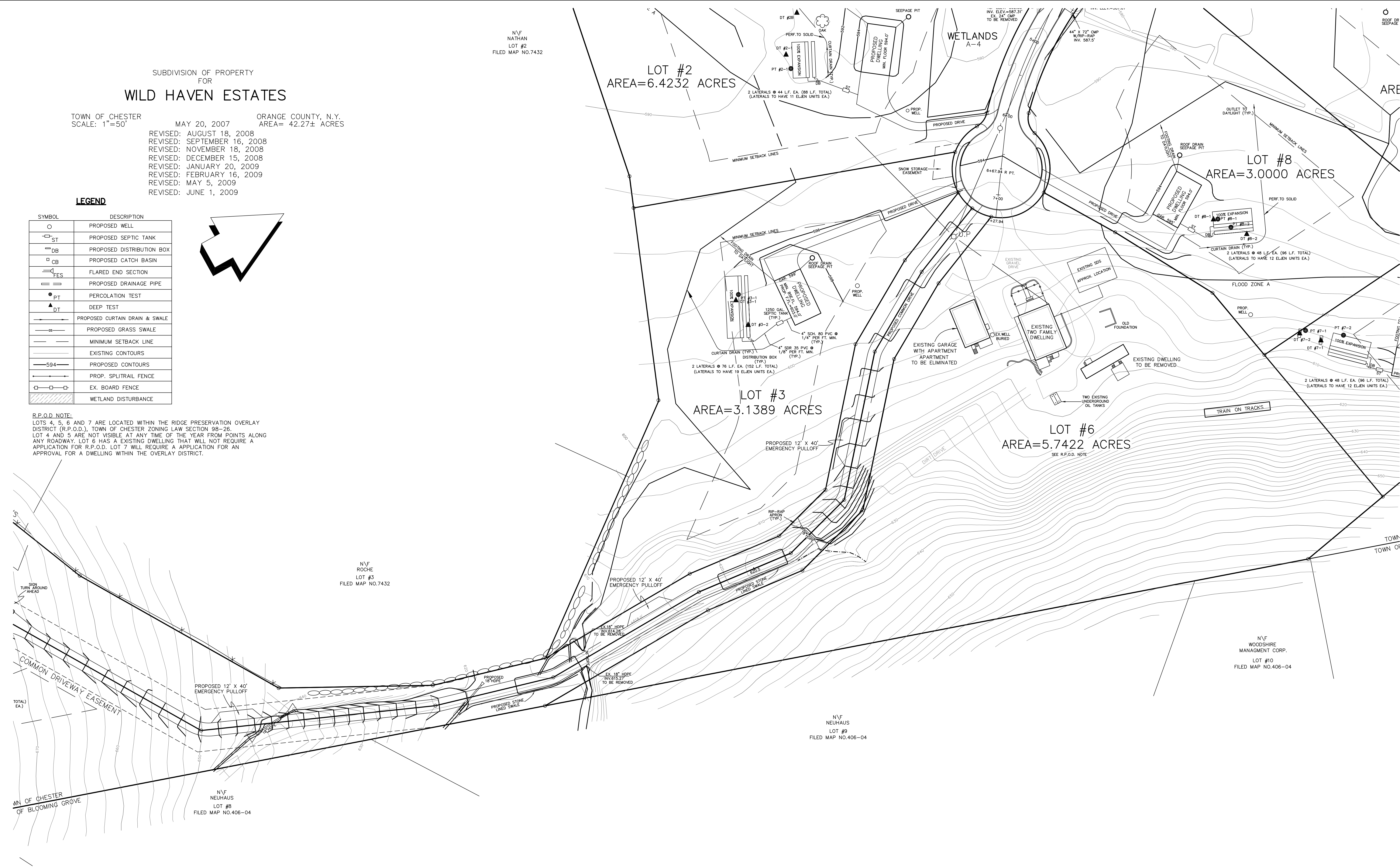
ORANGE COUNTY, N.Y.
AREA= 42.27± ACRES

REVISED: AUGUST 18, 2008
REVISED: SEPTEMBER 16, 2008
REVISED: NOVEMBER 18, 2008
REVISED: DECEMBER 15, 2008
REVISED: JANUARY 20, 2009
REVISED: FEBRUARY 16, 2009
REVISED: MAY 5, 2009
REVISED: JUNE 1, 2009

LEGEND

SYMBOL	DESCRIPTION
O	PROPOSED WELL
ST	PROPOSED SEPTIC TANK
DB	PROPOSED DISTRIBUTION BOX
CB	PROPOSED CATCH BASIN
FES	FLARED END SECTION
==	PROPOSED DRAINAGE PIPE
PT	PERCOLATION TEST
DT	DEEP TEST
→	PROPOSED CURTAIN DRAIN & SWALE
---	PROPOSED GRASS SWALE
---	MINIMUM SETBACK LINE
---	EXISTING CONTOURS
594	PROPOSED CONTOURS
→	PROP. SPLITRAIL FENCE
□	EX. BOARD FENCE
WETLAND DISTURBANCE	

R.P.O.D. NOTE:
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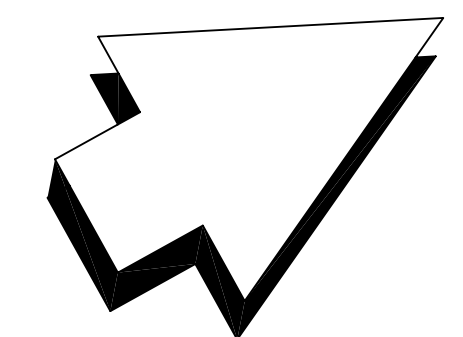
SUBDIVISION OF PROPERTY
FOR
WILD HAVEN ESTATES

TOWN OF CHESTER
SCALE: 1"=50'

MAY 20, 2008

ORANGE COUNTY, N.Y.
AREA= 42.27± ACRES

REVISED: AUGUST 18, 2008
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REVISED: JANUARY 20, 2009
REVISED: FEBRUARY 16, 2009
REVISED: MAY 5, 2009
REVISED: JUNE 1, 2009



LOT #4
AREA=10.8835 ACRES
SEE R.P.O.D. NOTE

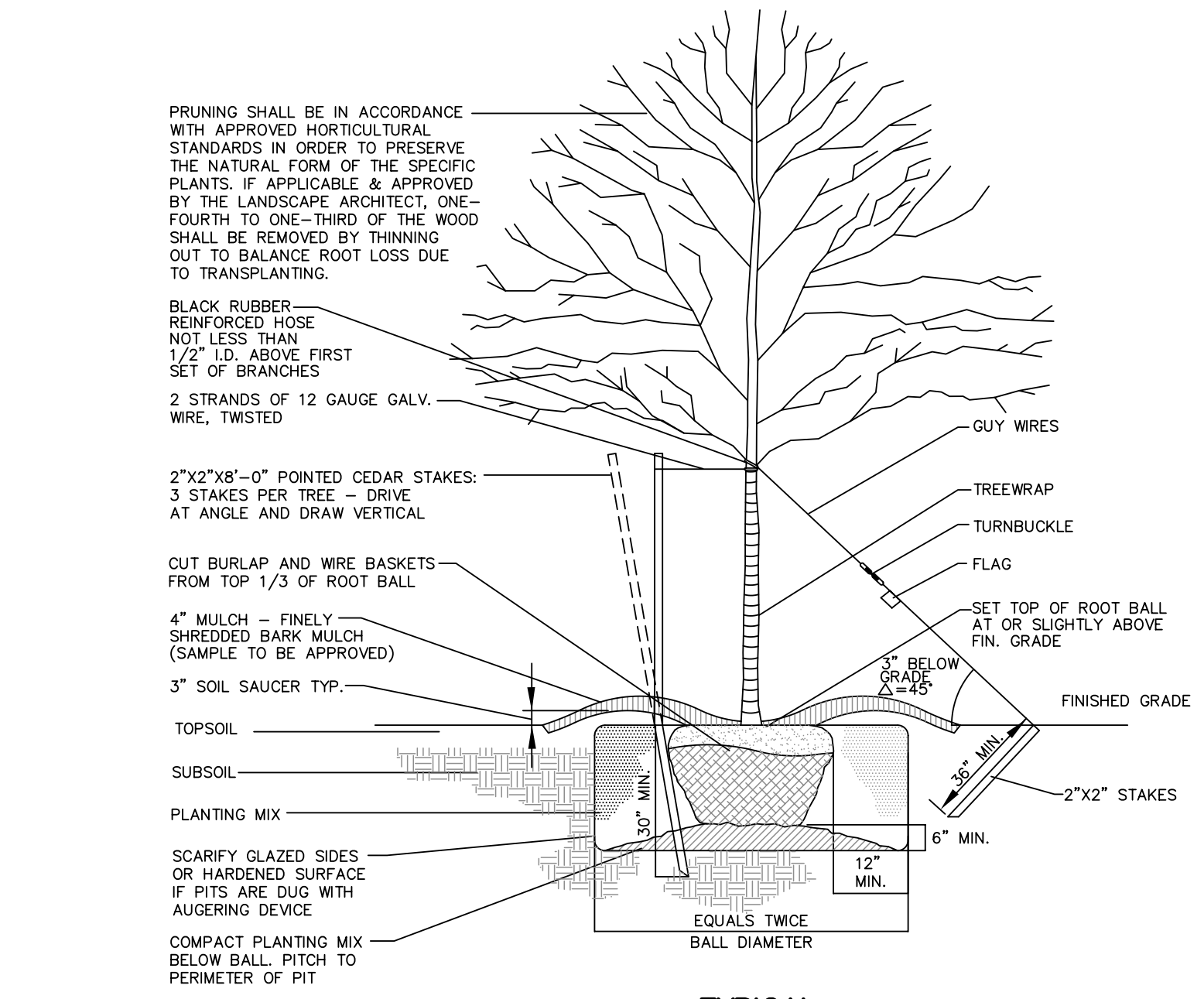
LOT #5
AREA=5.6347 ACRES
SEE R.P.O.D. NOTE

LEGEND

SYMBOL	DESCRIPTION
○	PROPOSED WELL
□ ST	PROPOSED SEPTIC TANK
□ DB	PROPOSED DISTRIBUTION BOX
□ CB	PROPOSED CATCH BASIN
— FES	FLARED END SECTION
—	PROPOSED DRAINAGE PIPE
● PT	PERCOLATION TEST
▲ DT	DEEP TEST
—	PROPOSED CURTAIN DRAIN & SWALE
— S	PROPOSED GRASS SWALE
—	MINIMUM SETBACK LINE
— 594	EXISTING CONTOURS
—	PROPOSED CONTOURS
—	PROP. SPLITRAIL FENCE
□ □ □	EX. BOARD FENCE
▨	WETLAND DISTURBANCE
— S	SILT FENCE
— DL	DISTURBANCE LINE

R.P.O.D. NOTE:
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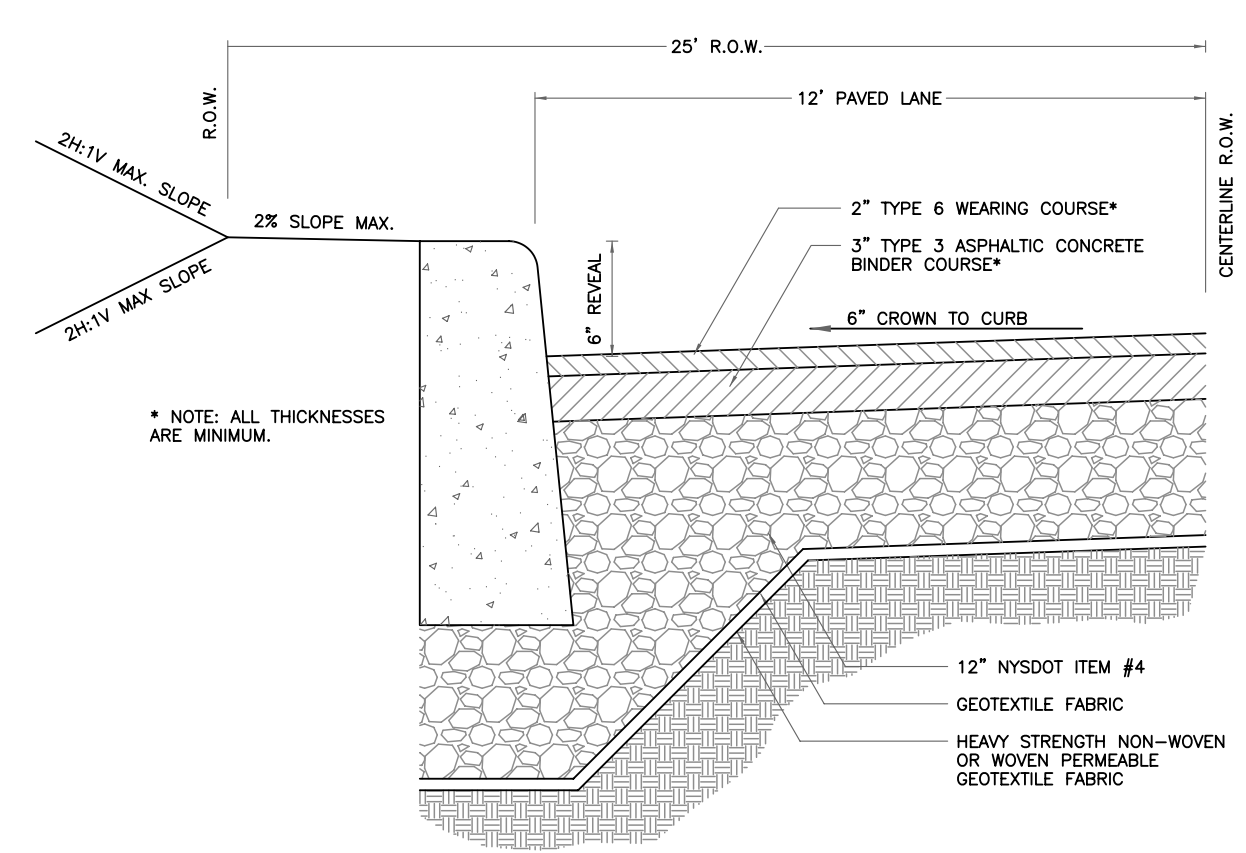
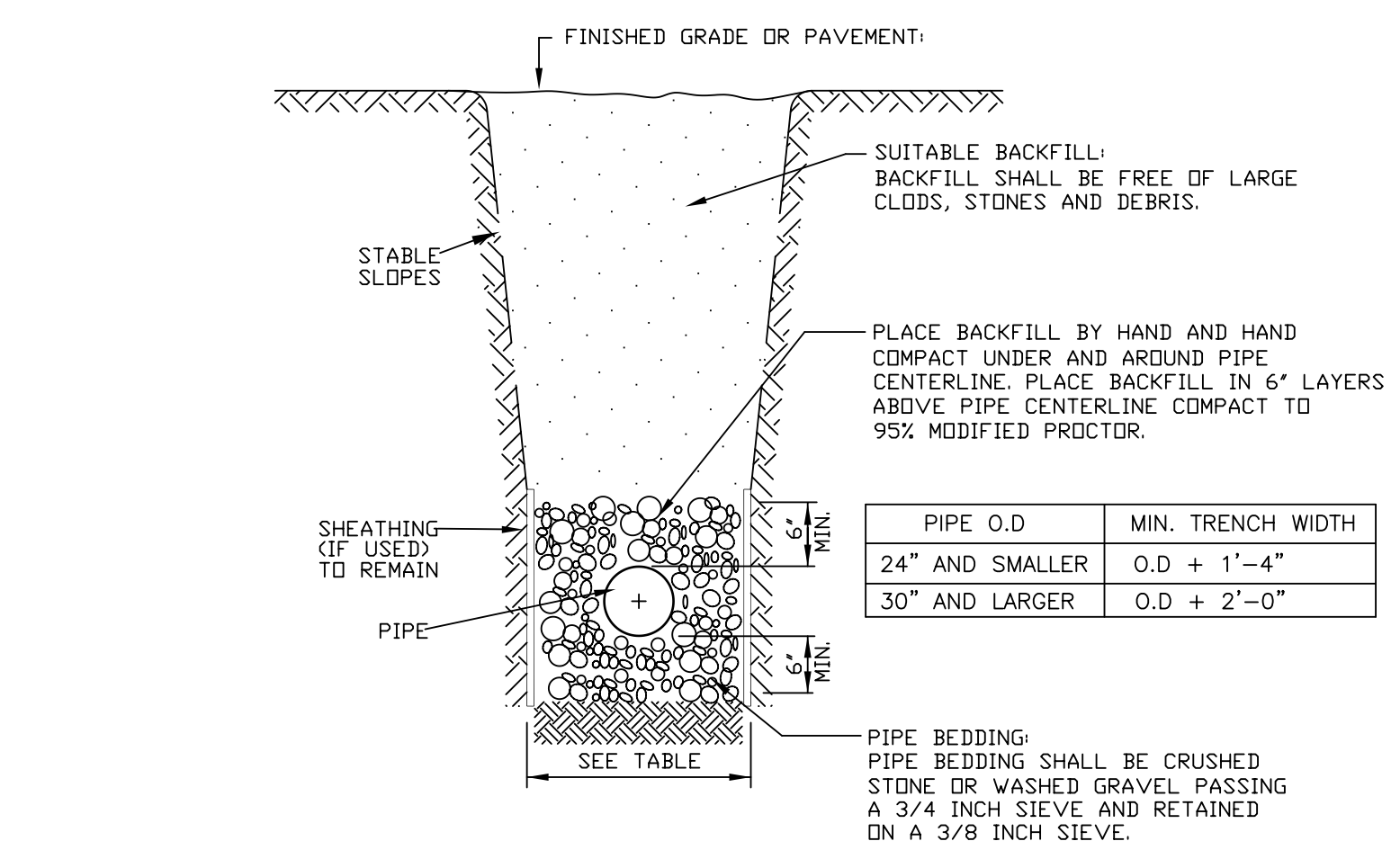
NOTE: "THIS PLAN SET CONTAINS 8 SHEETS AND WILL BE CONSIDERED INCOMPLETE AND INVALID WITHOUT ALL SHEETS"



TYPICAL TREE PLANTING DETAIL

- NOTES:
- 1. PROVIDE STREET TREES 40' ON CENTER ALONG ROADWAY. SPECIES TO BE NATIVE HARDWOOD.
 - 2. SPECIES OF TREE IS TO BE APPROVED BY THE TOWN PLANNING BOARD.

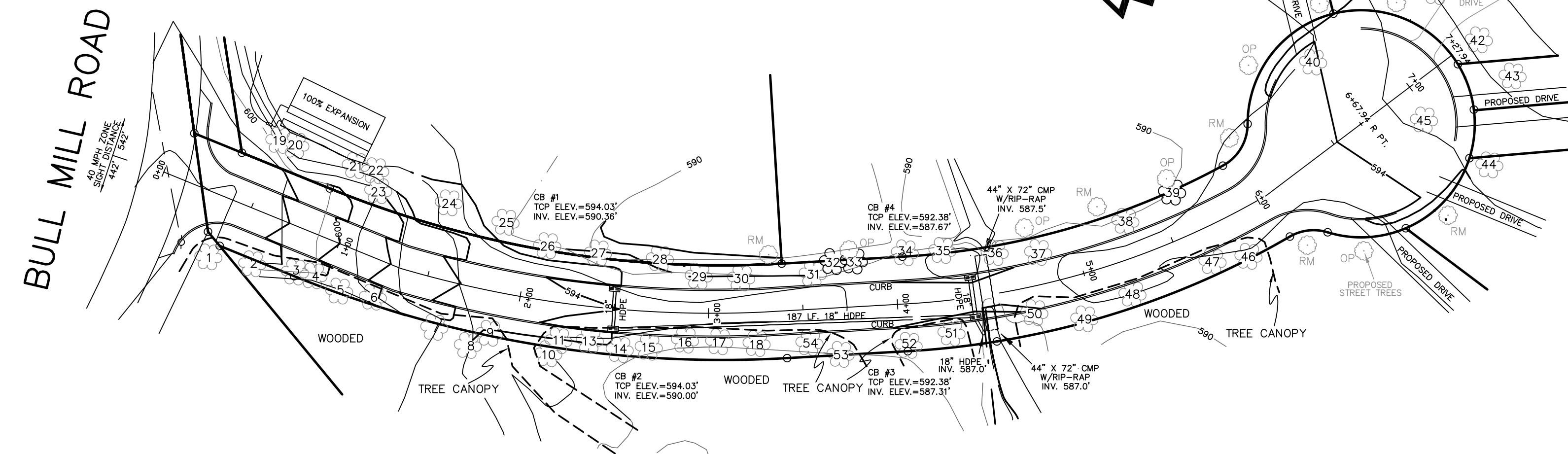
STORM DRAIN PIPE BEDDING



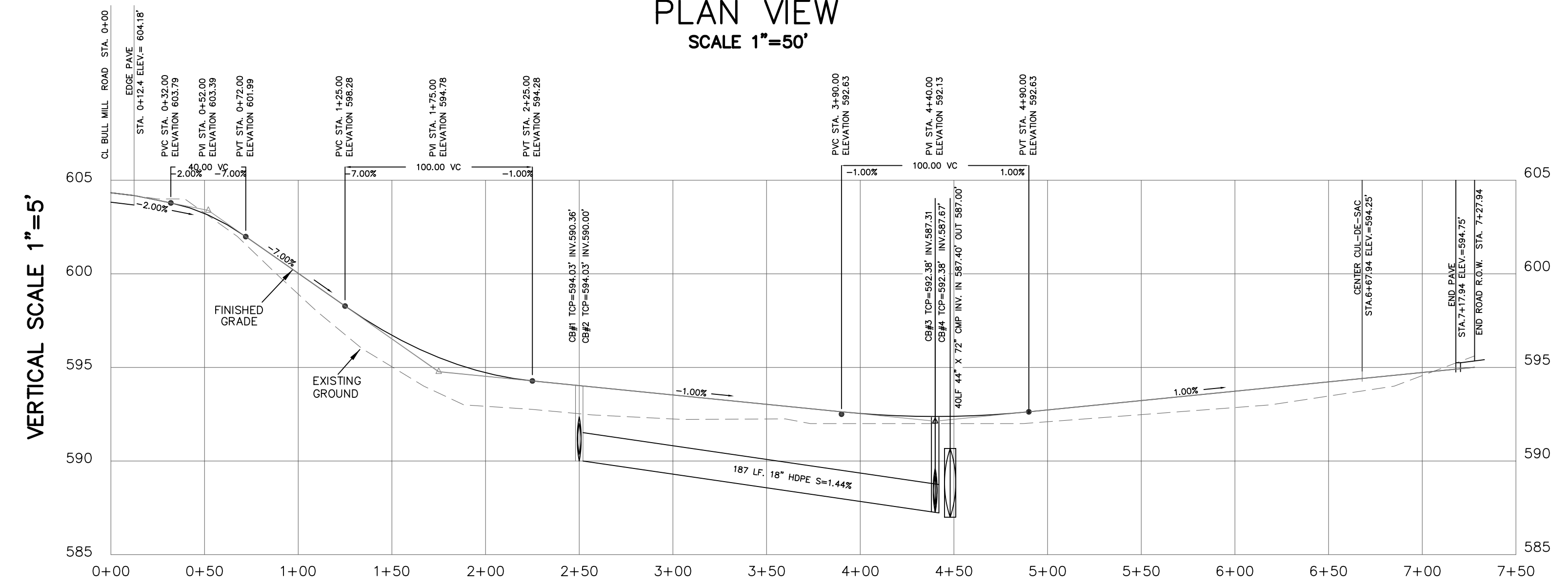
TYPICAL ROAD HALF SECTION

STREET TREE LIST:

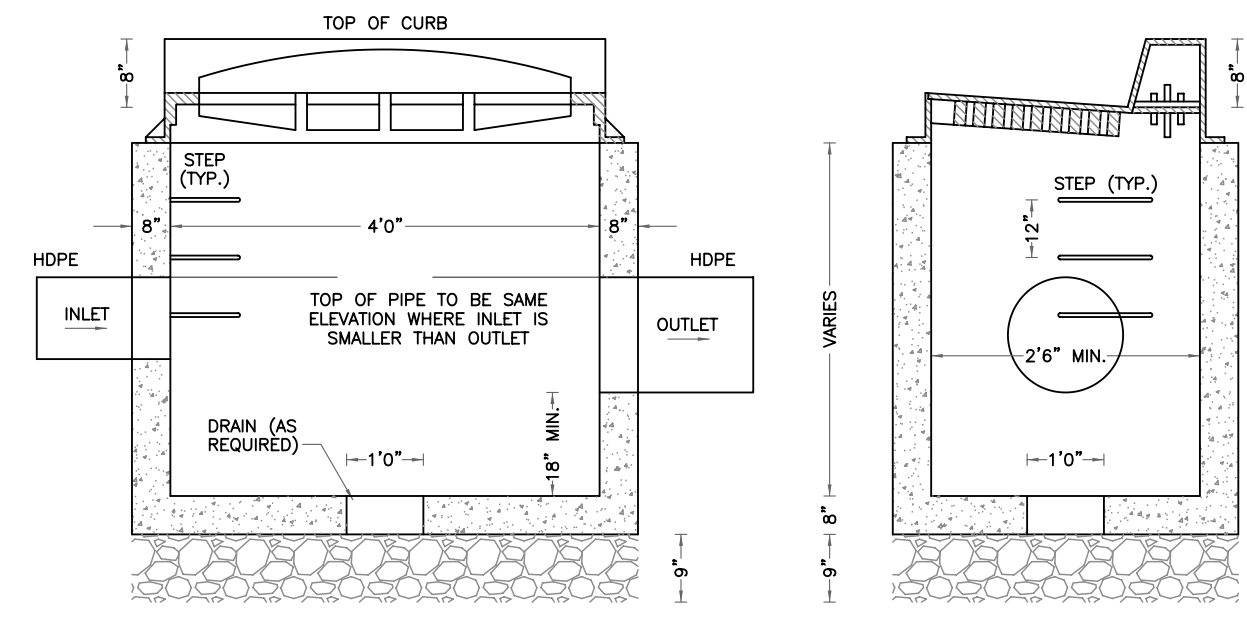
BOTANICAL NAME	COMMON NAME	NUMBER REQUIRED	CALIBER	SYMBOL
CALLERYANA	CLEVELAND SELECT ORNAMENTAL PEAR	11	2 1/2-3 CAL. B&B	OP
RUBRUM	RED SUNSET MAPLE	10	2 1/2-3 CAL. B&B	RM



PLAN VIEW SCALE 1"=50'

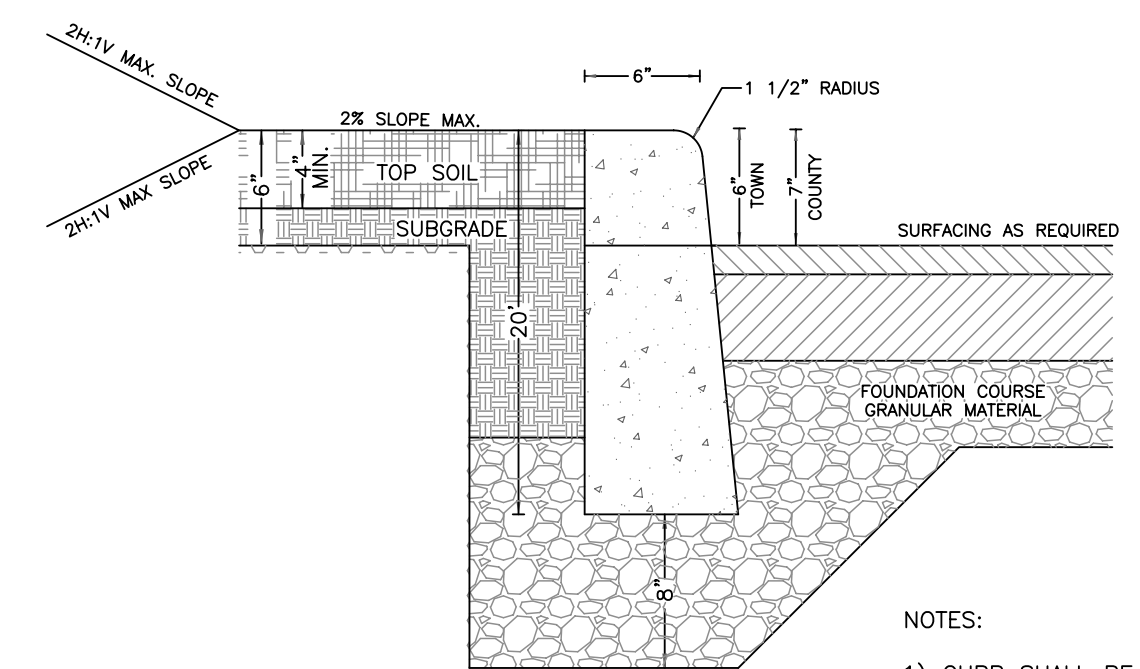


ROADWAY PROFILE HORIZONTAL SCALE 1"=50'



PRECAST CONCRETE CURB INLET DETAIL

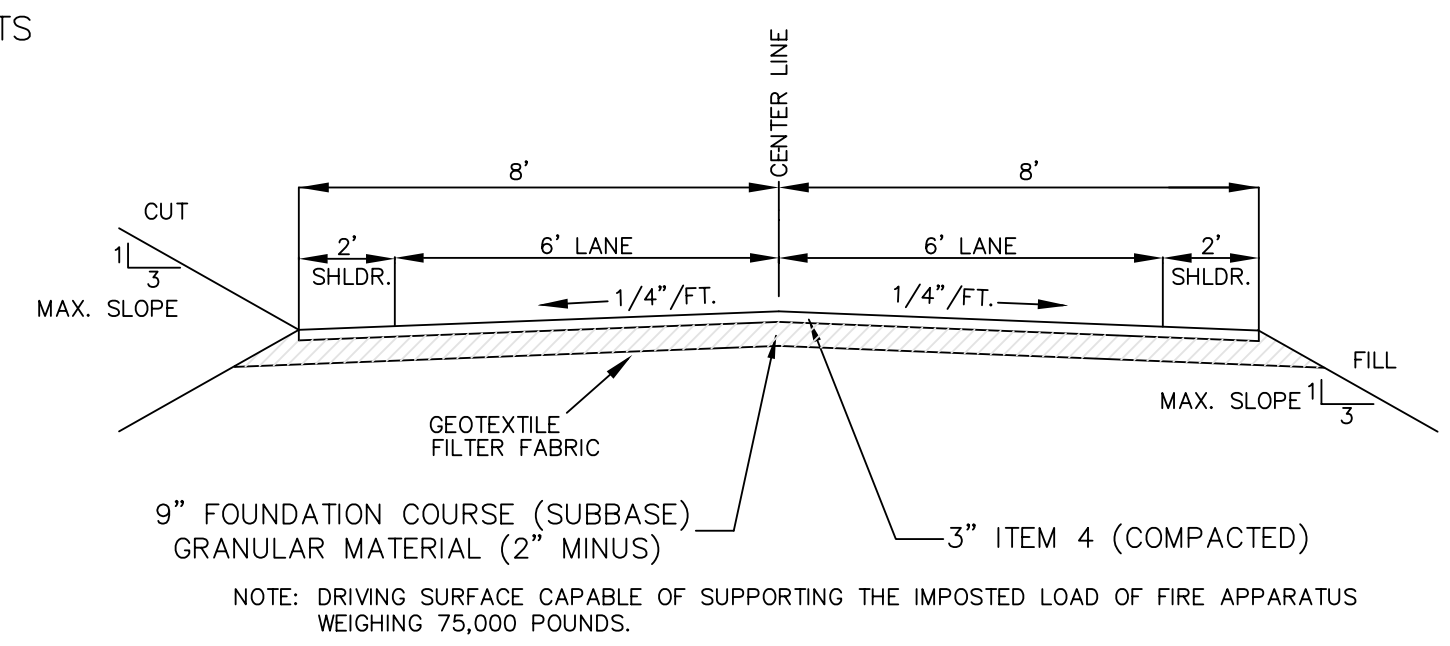
CONCRETE CURB DETAIL



CONCRETE CURB DETAIL

- NOTES:
- 1) CURB SHALL BE CAST IN PLACE. EXPANSION JOINTS OF 3/16" CELLULOSE OR SIMILAR MATERIAL SHALL BE PLACED AT TEN (10) FOOT INTERVALS. CONCRETE TO BE 12-3 MIX DESIGN, AIR ENTRAINED WITH DUREX OR EQUAL.
 - 2) CONCRETE TO TEST 4,000 PSI AT 28 DAYS.

- NOTES:
- 1) HEAVY DUTY CURB TYPE CATCH BASIN FRAME AND GRATE TO BE CAMPBELL FOUNDARY NO. 2541 & 2548 AS REQUIRED.
 - 2) PRECAST CONCRETE TO BE 4,000 PSI AT 28 DAYS WITH 6"x6"x6" W.W. MESH REINFORCEMENT.
 - 3) ALL PIPES SHALL BE PARGED ON THE INTERIOR AND EXTERIOR PRIOR TO ANY BACKFILLING OF THE STRUCTURE.



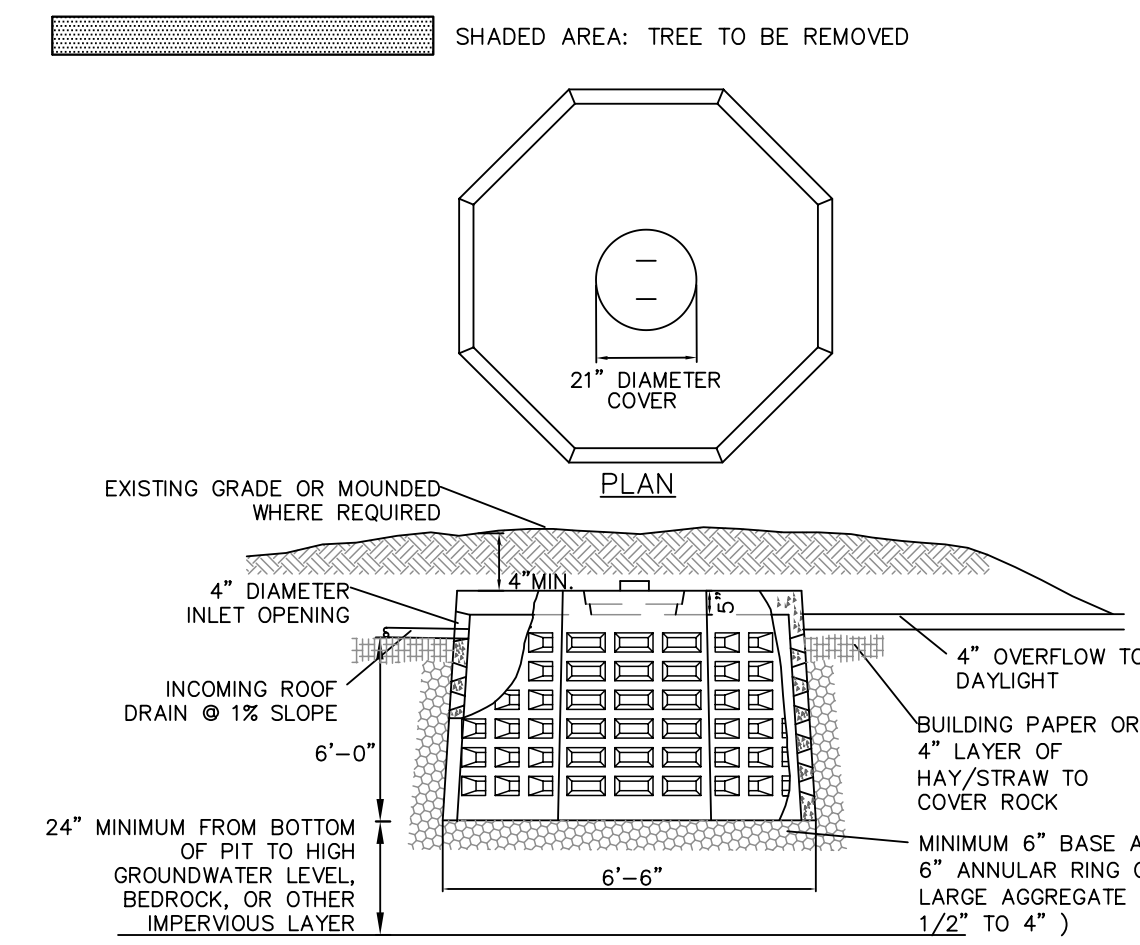
LOT #4 & LOT #5 PROPOSED COMMON DRIVEWAY CROSS-SECTION

SOIL EROSION & SEDIMENT CONTROL NOTES:

- 1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS, AND SHALL BE IN PLACE PRIOR TO ANY SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- 2. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH SALT HAY OR THE EQUIVALENT AND BOUND.
- 3. PERMANENT VEGETATION IS TO BE ESTABLISHED ON EXPOSED AREAS WITHIN TEN (10) DAYS AFTER THE FINAL GRADING. MULCH IS TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED.
- 4. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 2 TONS PER ACRE.
- 5. PERMANENT SEEDING AND STABILIZATION TO BE IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT VEGETATIVE COVER.
- 6. THE SITE SHALL, AT ALL TIMES, BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUN OFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- 7. ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS.
- 8. A CRUSHED STONE, VEHICLE STABILIZED CONSTRUCTION ENTRANCE WILL BE INSTALLED AS SHOWN ON THE PLANS.
- 9. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.

EXISTING TREE LEGEND

No.	SIZE	TYPE
1	8"	CHERRY
2	6"	ELM
3	6"	CEDAR
4	4"	CEDAR
5	6"	MAPLE
6	40"	TREE
7	16"	TREE
8	12"	TREE
9	12"	TREE
10	12"	CHERRY
11	8"	ELM
13		TREE
14	10"	MAPLE
15	8"	ELM
16	10"	ELM
17	10"	MAPLE
18	8"	MAPLE
19	18"	TREE
20	24"	TWIN
21	22"	TREE
22	24"	ASH (TWIN)
23	24"	QUAD
24	12"	ASH
25	18"	MAPLE (TRIPLE)
26	10"	ELM
27		MAPLE (CLUSTER)
28	10"	MAPLE
29	8"	MAPLE
30	6"	MAPLE
31	18"	MAPLE (CLUSTER)
32	10"	MAPLE
33	4"	MAPLE (TWIN)
34	3"	CEDAR
35	4"	CEDAR
36	4"	CEDAR
37	10"	MAPLE
38	12"	ASH
39	18"	TREE
40	48"	TREE
41	36"	PINE
42	40"	PINE
43	48"	PINE (TWIN)
44	12"	BLACK WALNUT
45	8"MAPLE/18"	CEDAR
46	12"	ELM
47	10"	MAPLE
48	12"	MAPLE
49	12"	MAPLE
50	10"	MAPLE
51	12"	MAPLE (TWIN)
52	10"	MAPLE
53	10"	MAPLE (CLUSTER)
54	8"	MAPLE



SEEPAGE PIT DETAIL

SEEPAGE PIT CALCULATIONS

Q = CIA:
9 x 6.7 x 0.05AC = 3 CFS = 18 CFM
18 CFM x 10 MIN. = 180 CF
STORAGE:
3.14 x 10.56 x 6' = 199 CF

WILD HAVEN ESTATES

TOWN OF CHESTER ORANGE COUNTY,N.Y.
SCALE: 1"=50'
MAY 20, 2008
REVISED: AUGUST 18, 2008
REVISED: SEPTEMBER 16, 2008
REVISED: NOVEMBER 18, 2008
REVISED: DECEMBER 15, 2008
REVISED: DECEMBER 30, 2008
REVISED: FEBRUARY 16, 2009
REVISED: MAY 5, 2009

JOHN J. DRAGAN, P.E.
N.Y.S. License No. 42601
WASHINGTONVILLE, N.Y. 10992
JAMES A. DILLIN, PLS
PROFESSIONAL LAND SURVEYOR
GOSHEN, NEW YORK

PERCOLATION TESTS

NOTE: THE DEPTH OF ALL PERCOLATION TESTS WHERE 24 INCHES.

DATE: OCTOBER 5, 2007 OCTOBER 6, 2007										DATE: OCTOBER 5, 2007 OCTOBER 6, 2007									
LOT# -TEST HOLE#	RUN#	START TIME	STOP TIME	STABILIZED RATE OF PERCOLATION	LOT# -TEST HOLE#	RUN#	START TIME	STOP TIME	STABILIZED RATE OF PERCOLATION	LOT# -TEST HOLE#	RUN#	START TIME	STOP TIME	STABILIZED RATE OF PERCOLATION					
DATE: JANUARY 31, 2008																			
1-1	1	00:00'00"	00:07'15"		4-1	1	00:00'00"	00:04'15"		8-1	1	00:00'00"	00:05'15"						
	2	00:00'00"	00:07'38"			2	00:00'00"	00:04'45"			2	00:00'00"	00:05'37"						
	3	00:00'00"	00:08'02"			3	00:00'00"	00:05'47"			3	00:00'00"	00:06'03"	0'00"					
				4		00:00'00"	00:04'57"	0'00"											
1-2	1	00:00'00"	00:09'02"		4-2	1	00:00'00"	00:04'50"		8-2	1	00:00'00"	00:04'40"						
	2	00:00'00"	00:10'18"			2	00:00'00"	00:07'35"			2	00:00'00"	00:05'17"						
	3	00:00'00"	00:11'16"			3	00:00'00"	00:07'45"			3	00:00'00"	00:05'44"						
DATE: OCTOBER 5, 2007 OCTOBER 6, 2007					5-1	1	00:00'00"	00:15'10"											
2-1	1	00:00'00"	00:03'30"		2	00:00'00"	00:19'08"												
	2	00:00'00"	00:03'36"		3	00:00'00"	00:20'08"												
	3	00:00'00"	00:04'36"		5-2	1	00:00'00"	00:17'20"											
	4	00:00'00"	00:04'50"			2	00:00'00"	00:18'53"											
2-2	1	00:00'00"	00:04'10"			3	00:00'00"	00:19'50"											
	2	00:00'00"	00:04'50"		7-1	1	00:00'00"	00:02'30"											
	3	00:00'00"	00:05'16"			2	00:00'00"	00:02'37"											
3-1	1	00:00'00"	00:05'45"			3	00:00'00"	00:02'42"											
	2	00:00'00"	00:06'13"		7-2	1	00:00'00"	00:06'32"											
	3	00:00'00"	00:06'28"			2	00:00'00"	00:07'14"											
3-2	1	00:00'00"	00:30'11"			3	00:00'00"	00:07'31"											
	2	00:00'00"	00:31'15"																
	3	00:00'00"	00:32'28"																

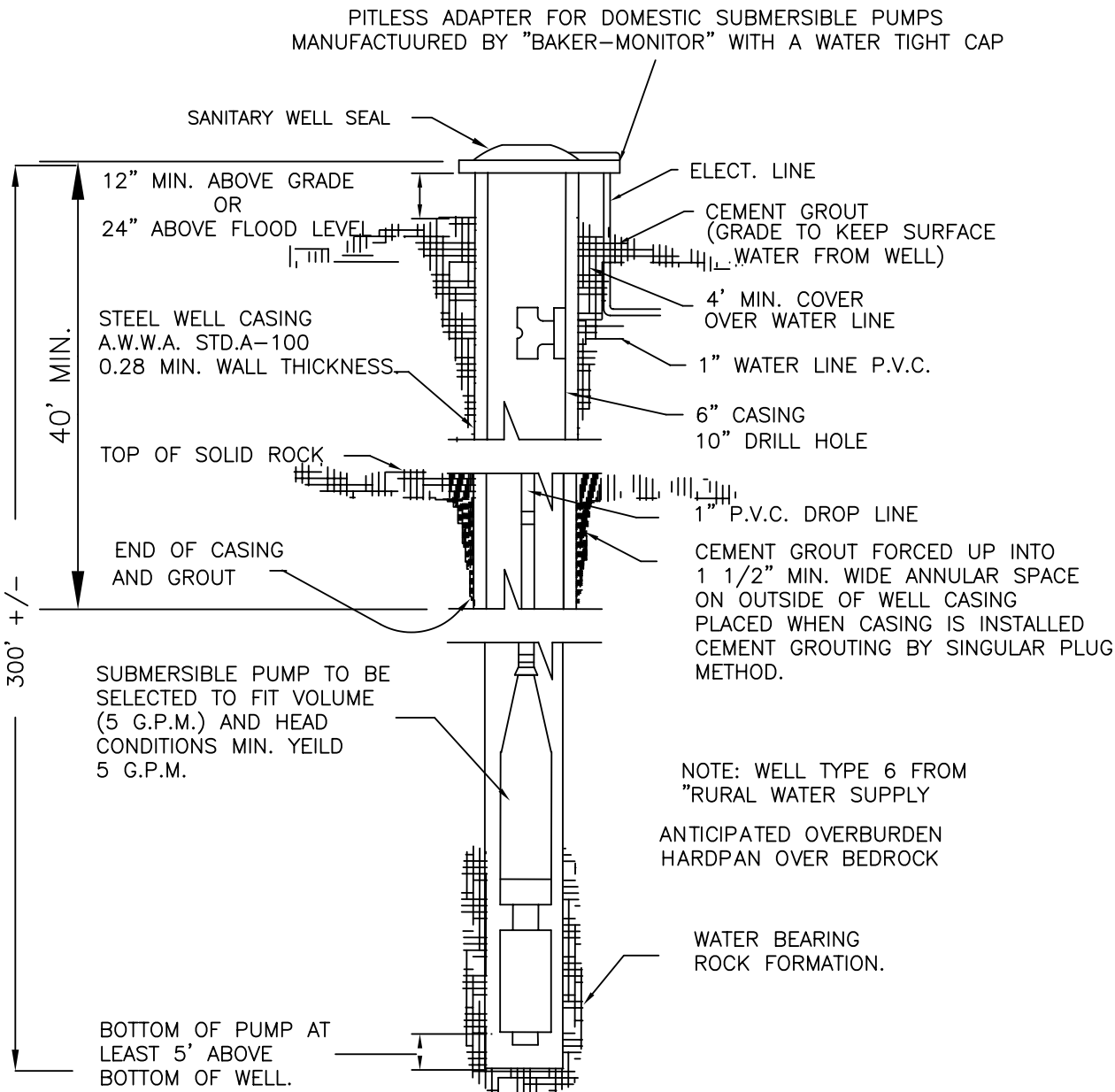
SEPTIC SYSTEM INVERTS

LOT #	FINISHED 1st. FLOOR	HOUSE INVERT	SEPTIC INLET	SEPTIC OUTLET	SIPHON TANK INLET	SIPHON TANK OUTLET	PUMP TANK INLET	DIST. BOX INLET	INVERT 1st. LINES	INVERT LAST LINES
1										
2										
3										
4										
5										
6										
7										
8										
9										
10										

DESIGN TABLE

LOT	DESIGN PERC RATE MINUTES	BEDROOMS	REQUIRED SEPTIC TANK	APPLICATION RATE	REQUIRED ABSORPTION TRENCH	SUPPLIED ABSORPTION TRENCH
1	16-20 MIN.	4	1250 GAL.	0.45 GAL/DAY/SQ.FT.	106 LF.	112 LF.
2	8-10 MIN.	4	1250 GAL.	0.45 GAL/DAY/SQ.FT.	83 LF.	88 LF.
3	31-45 MIN.	4	1250 GAL.	0.45 GAL/DAY/SQ.FT.	149 LF.	152 LF.
4	11-15 MIN.	4	1250 GAL.	0.50 GAL/DAY/SQ.FT.	93 LF.	96 LF.
5	21-30 MIN.	4	1250 GAL.	0.50 GAL/DAY/SQ.FT.	124 LF.	128 LF.
6		4	1250 GAL.	0.80 GAL/DAY/SQ.FT.		
7	11-15 MIN.	4	1250 GAL.	0.70 GAL/DAY/SQ.FT.	93 LF.	96 LF.
8	11-15 MIN.	4	1250 GAL.	0.70 GAL/DAY/SQ.FT.	93 LF.	96 LF.

NUMBER OF BEDROOMS = 4 (ALL LOTS)
DESIGN RATE PER BEDROOM = 130 GALLONS (ALL LOTS) PER DAY
DESIGN FLOW = 4 X 130 = 520 GAL. PER DAY (ALL LOTS)



TYPICAL
WELL DETAIL

N.T.S.

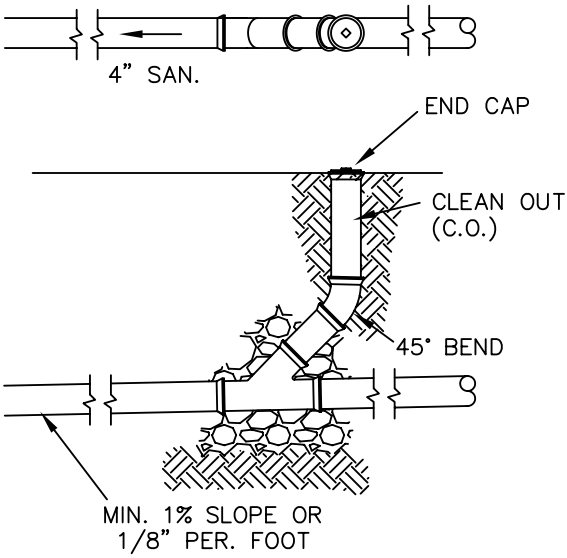
SOILS LOG

DATE: 10-30-07 LOTS 4 & 5
DATE: 11-09-07

LOT #	HOLE #	SOIL DESCRIPTION	LOT #	HOLE #	SOIL DESCRIPTION
1	TP 1	0"-6" TOPSOIL 6"-5" GRAVELLY LOAM W/STONES GROUND WATER OBSERVED @ 54"			
	TP 2	0"-6" TOPSOIL 6"-5" GRAVELLY LOAM W/STONES GROUND WATER OBSERVED @ 54"			
2	TP 1	0"-6" TOPSOIL 6"-26" GRAVELLY LOAM 26"-36" CLAY LOAM 36"-60" GREY CLAY OR ASH 36" MOTTLING WATER OBSERVED @ 4.5'	7	TP 1	0"-6" TOPSOIL 6"-5" RUN A BANK NO GROUND WATER OBSERVED NO BEDROCK
	TP 2	0"-10" TOPSOIL 10"-55" LOAM W/STONES 55"-7" CLAY LOAM 5" MOTTLING WATER OBSERVED @ 6'		TP 2	0"-8" TOPSOIL 8"-6.5' RUN A BANK NO GROUND WATER OBSERVED NO BEDROCK
3	TP 1	0"-20" FARM FIELD TOPSOIL 20"-66" CLAY LOAM W/STONES 3' MOTTLING WATER OBSERVED @ 4.5'	8	TP 1	0"-6" TOPSOIL 6"-32" LOAM 32"-50" GRAVEL 50"-72" CLAY LOAM 5" MOTTLING NO GROUND WATER OBSERVED
	TP 2	0"-16" FARM FIELD TOPSOIL 16"-36" SANDY CLAY LOAM 36"-6" CLAY LOAM 18" MOTTLING		TP 2	0"-12" TOPSOIL 12"-32" SILTY LOAM 32"-72" CLAY LOAM-POCKET GRAVEL 34" MOTTLING NO GROUND WATER OBSERVED
4	TP 1	0"-12" TOPSOIL 12"-24" LOAM 24"-72" SILTY LOAM SOME MOTTLING NO GROUND WATER OBSERVED NO BEDROCK			
5	TP 1	0"-12" TOPSOIL 12"-36" SILT LOAM 36"-72" CLAY LOAM W/STONES 34" MOTTLING 6" GROUND WATER OBSERVED NO BEDROCK			
	TP 2	0"-12" TOPSOIL 12"-36" SILT LOAM 36"-72" CLAY LOAM W/STONES 34" MOTTLING WATER SEEPAGE 34" / 6' GRD. WATER NO BEDROCK			

GENERAL NOTES:

- ALL WELLS AND SEPTIC SYSTEMS WITHIN 200' OF THIS PROJECT HAVE BENN LOCATED AND ARE SHOWN ON THE PLANS.
- TRENCHES SHALL NOT BE INSTALLED IN WET SOIL. THE SIDES AND BOTTOM OF TRENCHES MUST BE RAKED. THE ENDS OF THE LATERALS MUST BE CAPPED.
- THERE SHALL BE NO REGRADING IN THE AREA OF THE ABSORPTION FIELDS.
- HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELDS EXCEPT DURING THE ACTUAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING, OR AFTER CONSTRUCTION. EXTREME CARE MUST BE TAKEN DURING THE ACTUAL CONSTRUCTION SO AS TO AVOID ANY UNDEUE COMPACTION THAT COULD RESULT IN A CHANGE OF THE ABSORPTION CAPACITY OF THE SOIL ON WHICH THE DESIGN WAS BASED.
- NO SWIMMING POOLS, DRIVEWAYS, OR STRUCTURES THAT MAY COMPACT THE SOIL SHALL BE LOCATED OVER ANY PORTION OF THE ABSORPTION FIELD.
- THIS SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS, WATER SOFTENERS OR JACUZZI TYPE SPA TUBS OVER 100 GALLONS. AS SUCH, THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SYSTEM IS REDESIGNED TO ACCOUNT FOR THESE AND REAPPROVED BY THE ORANGE COUNTY HEALTH DEPARTMENT.
- THERE MUST BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC TANK (OR ANY PUMPING OR DOSING CHAMBER) TO THE HOUSE, ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT. MINIMUM SLOPE SHALL BE 1/4" P.F.
- INDIVIDUAL WELLS AND SEWAGE DISPOSAL SYSTEMS SHALL NO LONGER BE CONSTRUCTED OR USED FOR HOUSEHOLD DOMESTIC PURPOSES WHEN PUBLIC FACILITIES BECOME AVAILABLE. CONNECTION TO THE PUBLIC SEWER SYSTEM IS REQUIRED WITHIN 1 YEAR OF AVAILABILITY.
- SWALES SHALL BE INSTALLED AROUND THE LEACHING FIELDS TO DIVERT SURFACE WATERS AWAY FROM THE SEPTIC SYSTEM AREA.
- NO ROOF, CELLAR, SUMP-PUMP OR FOOTING DRAINS SHALL BE CONNECTED TO THE SUBSURFACE SANITARY DISPOSAL SYSTEM.
- MINIMUM CLEAR DISTANCE BETWEEN HOUSE AND SEPTIC TANK SHALL BE 10'.
- MIN. DISTANCE BETWEEN HOUSE AND ABSORPTION FIELD SHALL BE 20'.
- THE MINIMUM REQUIRED SEPARATION FROM AN ABSORPTION FIELD TO OPEN DRAINAGE, CULVERT, STORM SEWER (NON-GASKETED PIPE), OR CATCH BASIN IS 50'.
- CONSTRUCT SLOPES OF ABSORPTION PIPING AS SHOWN ON PLANS.
- PRIOR TO CONSTRUCTION, A LICENSED PROFESSIONAL LAND SURVEYOR SHALL STAKE OUT DISPOSAL SYSTEM, INCLUDING GRADES.
- A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER SHALL INSPECT THE SANITARY FACILITIES (WATER SUPPLY, ANY WATER TREATMENT, AND SEWAGE DISPOSAL FACILITIES) AT THE TIME OF CONSTRUCTION. PRIOR TO OCCUPANCY OF THE HOUSE, THE ENGINEER SHALL CERTIFY TO THE ORANGE COUNTY DEPARTMENT OF HEALTH AND THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES ARE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT ANY SEPTIC TANK JOINTS ARE SEALED AND TESTED FOR WATERTIGHTNESS.
- THE PURCHASER OF EACH LOT SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES. THE OWNER/APPLICANT SHALL ALSO BE ADVISED OF ANY ROUTINE OR SPECIAL MAINTENANCE PROCEDURES THAT MAY BE NECESSARY (REFER TO PAGES 58-61 OF THE DESIGN HANDBOOK FOR RECOMMENDED ROUTINE OPERATION AND MAINTENANCE ITEMS).
- IF ANY LOT OR SUBDIVISION REVIEWED BY THE ORANGE COUNTY HEALTH DEPARTMENT IS MODIFIED IN ANY WAY, THE REVISED PLAN MUST BE SUBMITTED TO SAID DEPARTMENT FOR REVIEW AND APPROVAL.
- THE DESIGN AND LOCATION OF SANITARY FACILITIES (WATER AND SEWER SYSTEMS) SHALL NOT BE CHANGED.



4" SANITARY CLEAN OUT
DETAIL

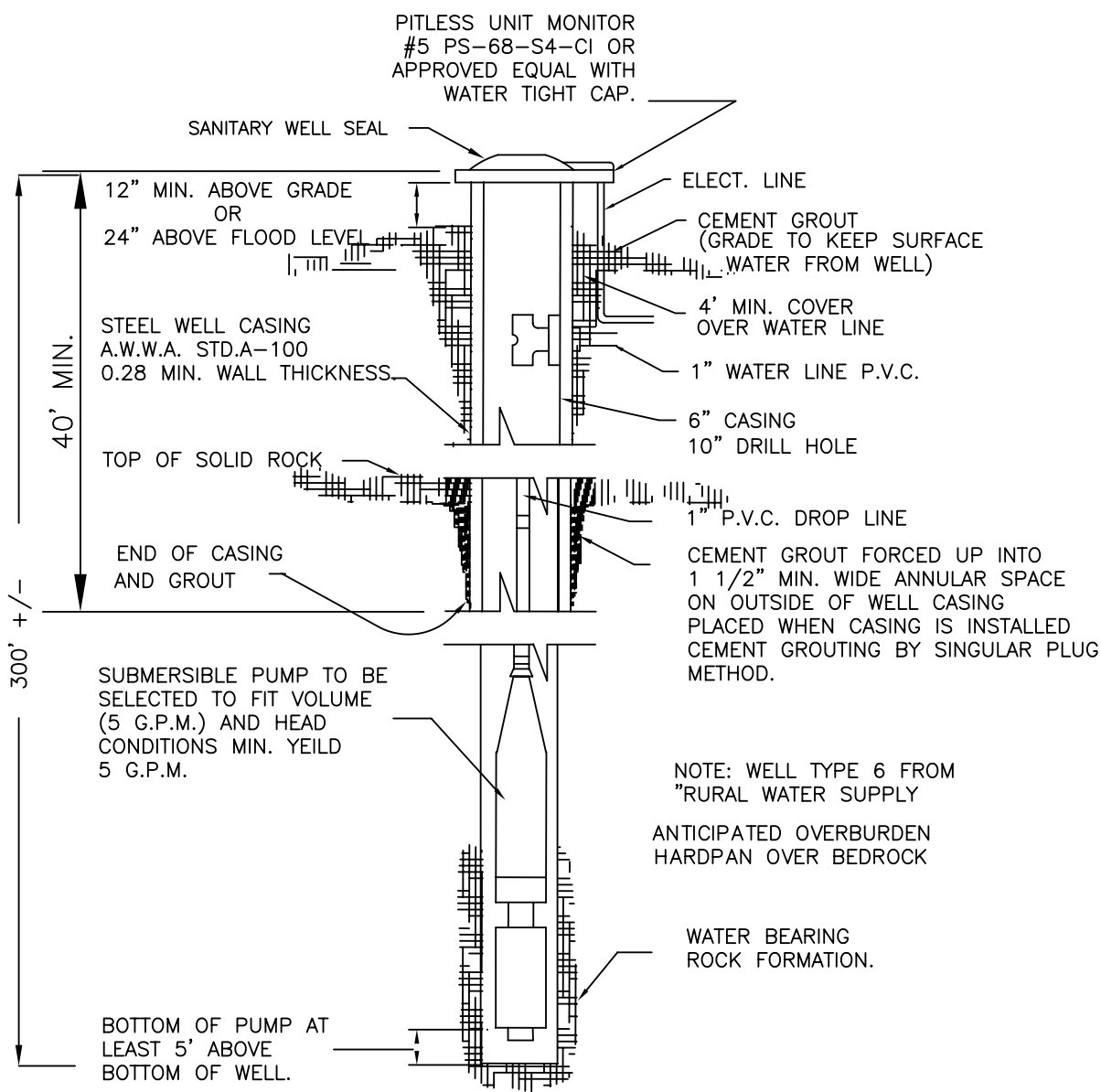
N.T.S.

DETAIL SHEET
FOR

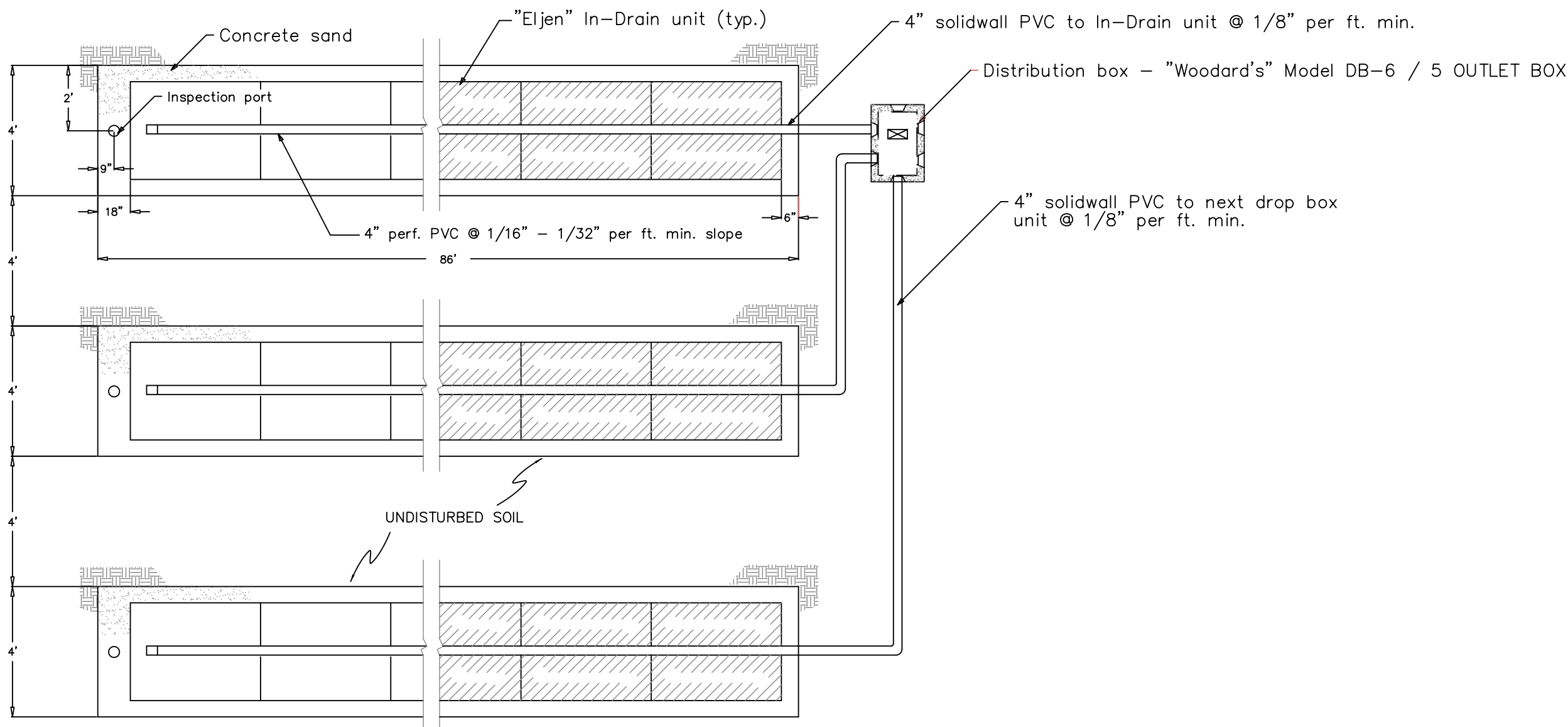
WILD HAVEN ESTATES

TOWN OF CHESTER
SCALE: 1"=50'

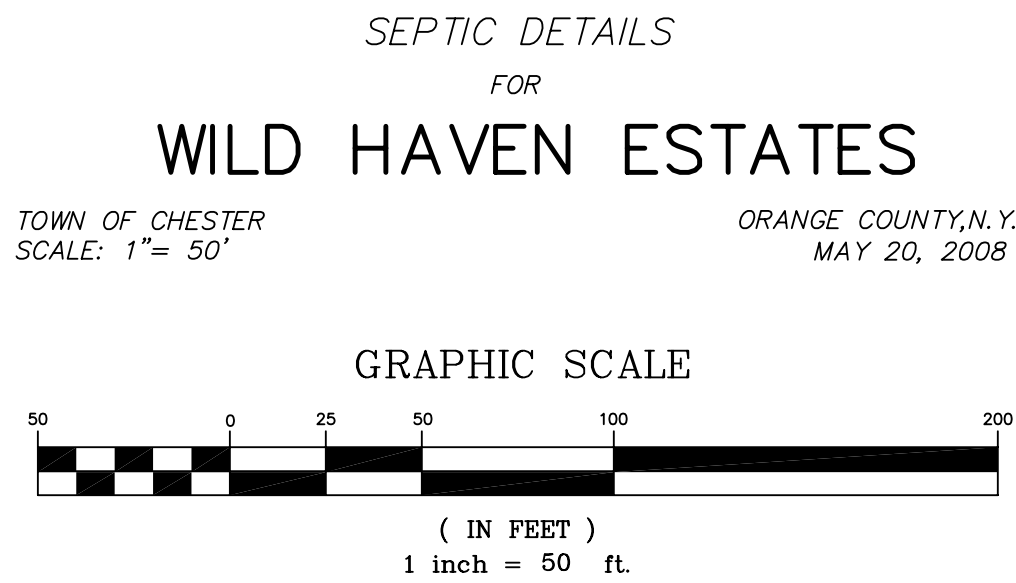
ORANGE COUNTY,N.Y.
MAY 20, 2008
REVISED: JUNE 1, 2009



**TYPICAL
WELL DETAIL**
N.T.S.

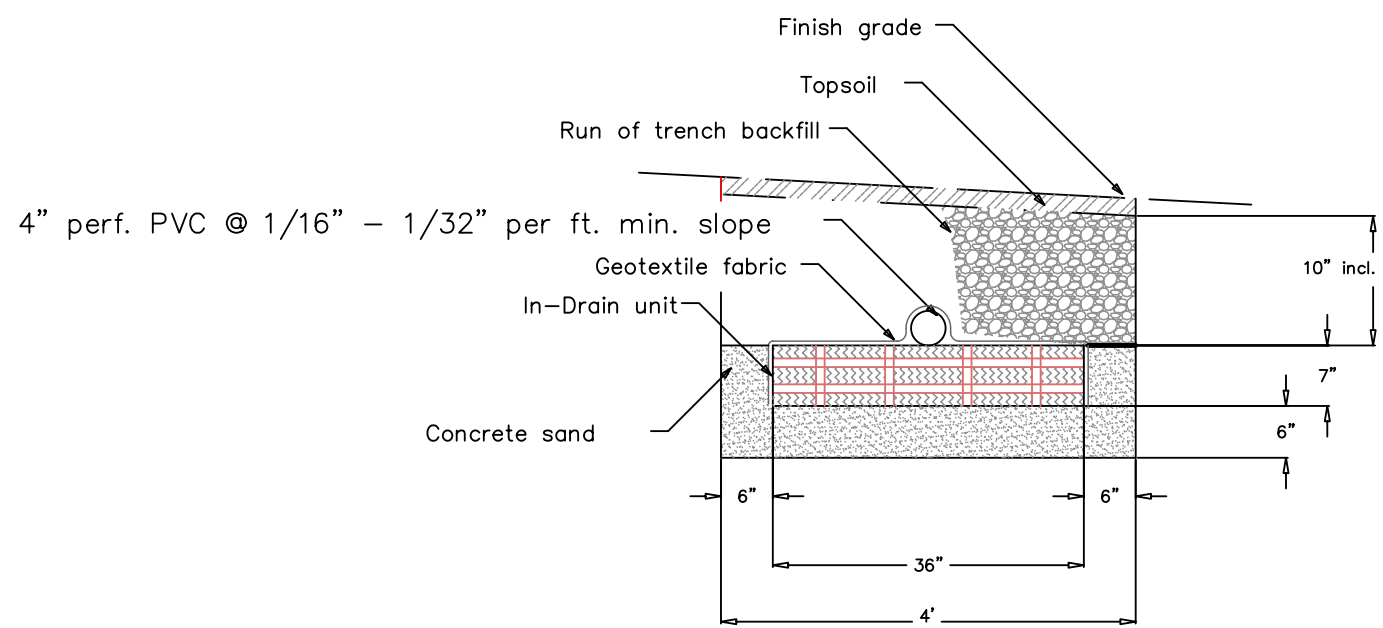


**TYPICAL
PLAN-ABSORPTION TRENCH
ELJEN SYSTEM**
N.T.S.

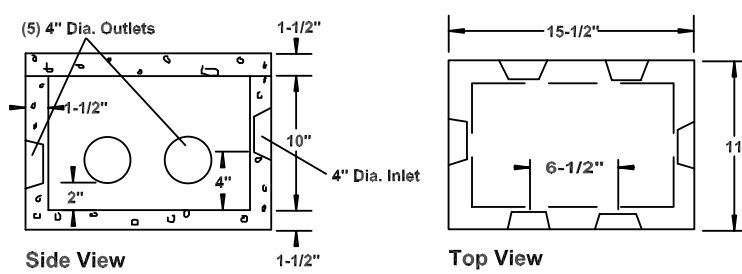
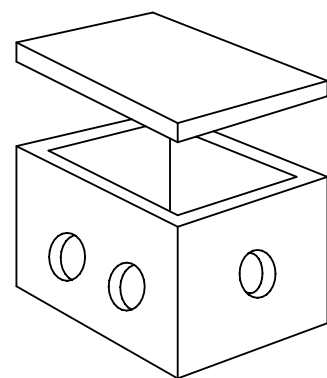


*New York State D.O.T.
Concrete Sand
Specification 703-07*

Sieve Size	% passing by wt. (Min.)	% passing by wt. (Max.)
3/8 in.	100	
No. 4	90	100
No. 8	75	100
No. 16	50	85
No. 30	25	60
No. 50	10	30
No. 100	1	10
No. 200 (wet)	0	3

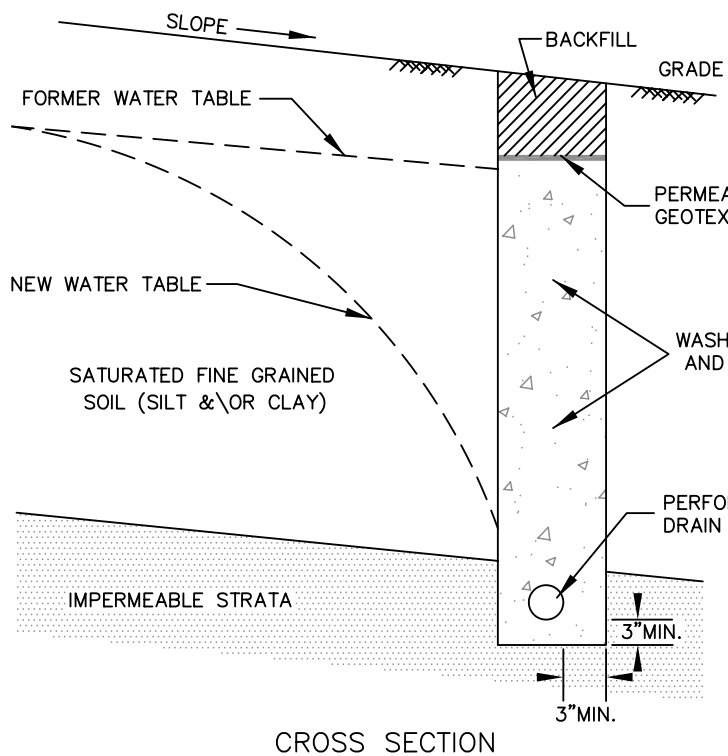


**TYPICAL
ELJEN IN-DRAIN SECTION**
N.T.S.



SPECIFICATIONS	PRECAST DISTRIBUTION BOXES MODEL DB-6 / 5-OUTLET BOX
Concrete Min. Strength: 4,000 psi at 28 days Reinforcement: Fiber Air Entrainment: 5% Pipe Connection: Polylok Seal (patented) Load Rating: 300 psf Weight = 75 lbs	Woodard's Concrete Products, Inc. 629 Lybolt Road, Bullville, NY 10915 (845) 361-3471 / Fax 361-1050

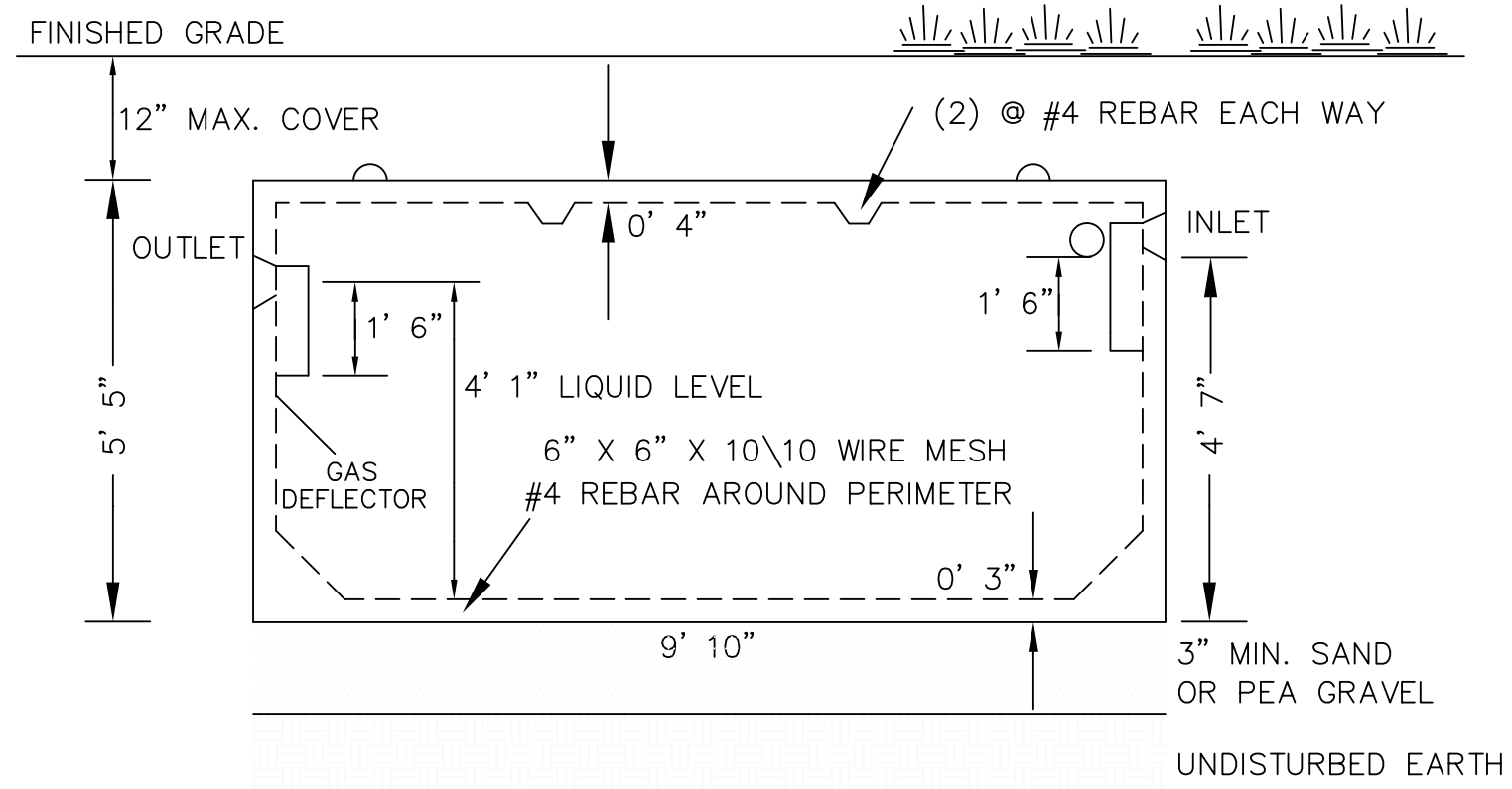
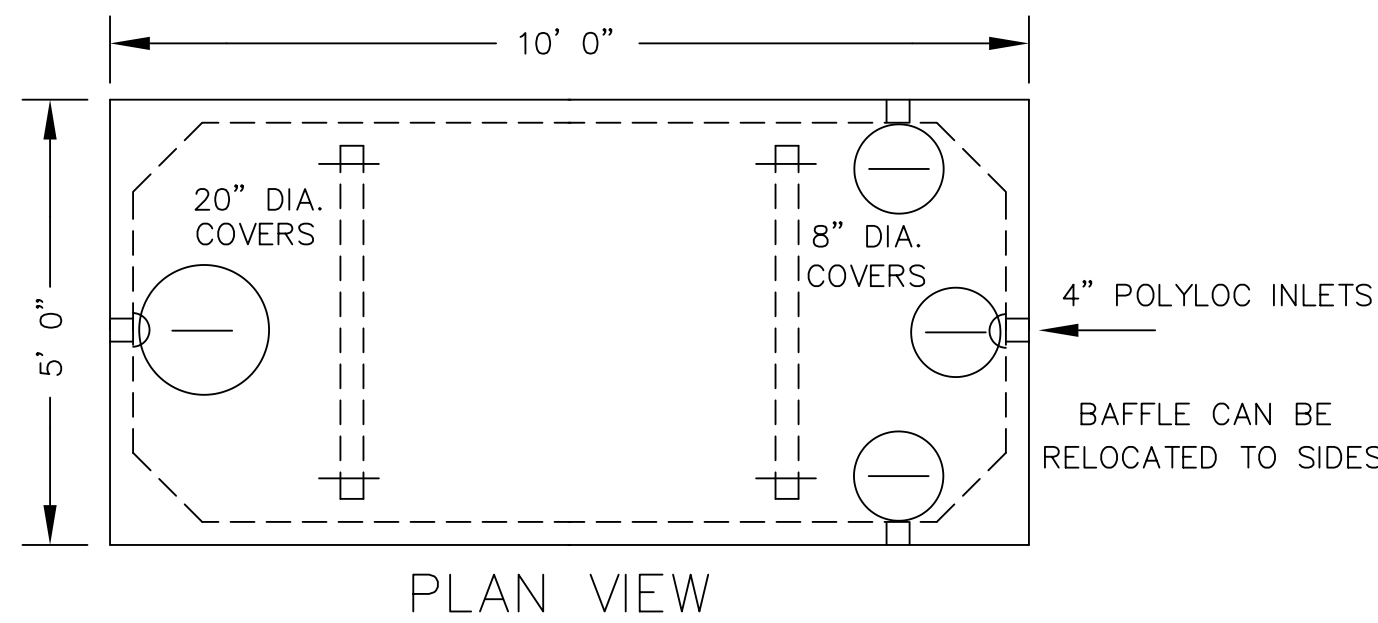
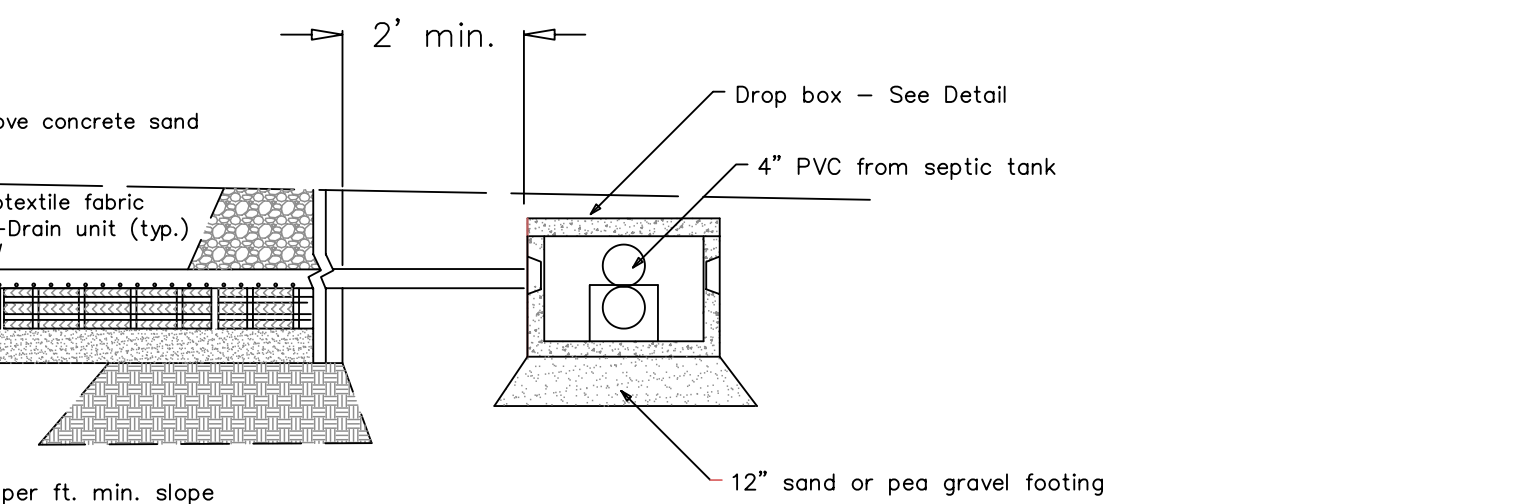
**TYPICAL
DISTRIBUTION BOX DETAIL**
N.T.S.



**TYPICAL
CURTAIN DRAIN DETAIL**
N.T.S.

CONSTRUCTION NOTES:

1. OUTLET OF CURTAIN DRAIN TO BE SCREENED TO PREVENT ANIMAL ENTRY.
2. DRAINAGE SWALE DOWNSTREAM OF THE OUTLET SHALL BE STONE-LINED FOR A MINIMUM OF 3 FT. TO PREVENT SOIL EROSION.
3. A MINIMUM OF 2 FT. OF COVER SHALL BE PROVIDED OVER THE NON-PERFORATED PIPE AT A MINIMUM DISTANCE OF 5 FT. FROM THE CURTAIN DRAIN OUTLET.
4. A 15 FT. MINIMUM SEPARATION IS REQUIRED BETWEEN THE TRENCH OF THE CURTAIN DRAIN AND THE EDGE OF ANY ABSORPTION TRENCH AND/OR TOE OF FILL MATERIAL.
5. A 10 FT. MINIMUM SEPARATION IS REQUIRED BETWEEN THE SOLID WALL PVC PIPE AND THE EDGE OF ANY ABSORPTION TRENCH.
6. SOLIDWALL PVC PIPE WITHIN TRENCH IS TO BE BACKFILLED WITH NATIVE MATERIAL.

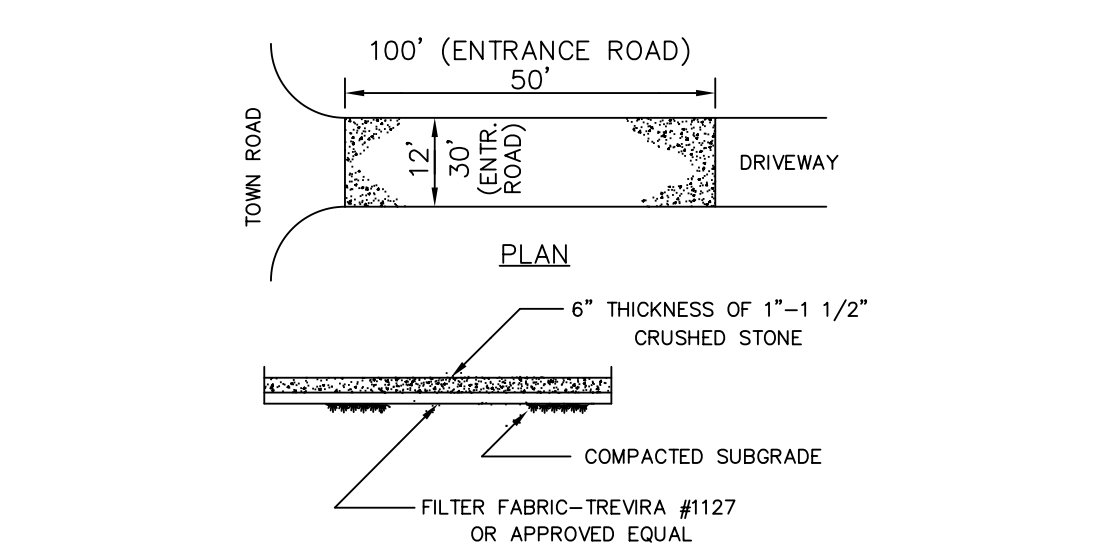


NOTE: PRECAST SEPTIC TANKS MODEL ST-1250
1250 GALLONS, BY WOODARD'S CONCRETE
PRODUCTS, INC. (NOT TO SCALE).

**TYPICAL
1250 GALLON SEPTIC TANK DETAIL**
N.T.S.

JOHN J. DRAGAN, P.E.
N.Y.S. License No. 42601
WASHINGTONVILLE, N.Y. 10992

STABILIZED CONSTRUCTION ENTRANCE



NOTE: ENTRANCE SHALL BE MAINTAINED AS CONDITIONS DEMAND TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHT OF WAYS

ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS. A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHENEVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 6" DEPTH OF 1"-1 1/2" CRUSHED STONE, WILL BE AT LEAST 12' X 50' FOR DRIVEWAYS, 30' X 100' FOR THE ENTRANCE ROAD AND SHOULD BE PLACED ON COMPACTED SUBGRADE AND SHALL BE MAINTAINED.

ALL DRIVEWAYS MUST BE STABILIZED WITH 1"-1 1/2" CRUSHED STONE OR SUB-BASE PRIOR TO INDIVIDUAL HOME CONSTRUCTION.

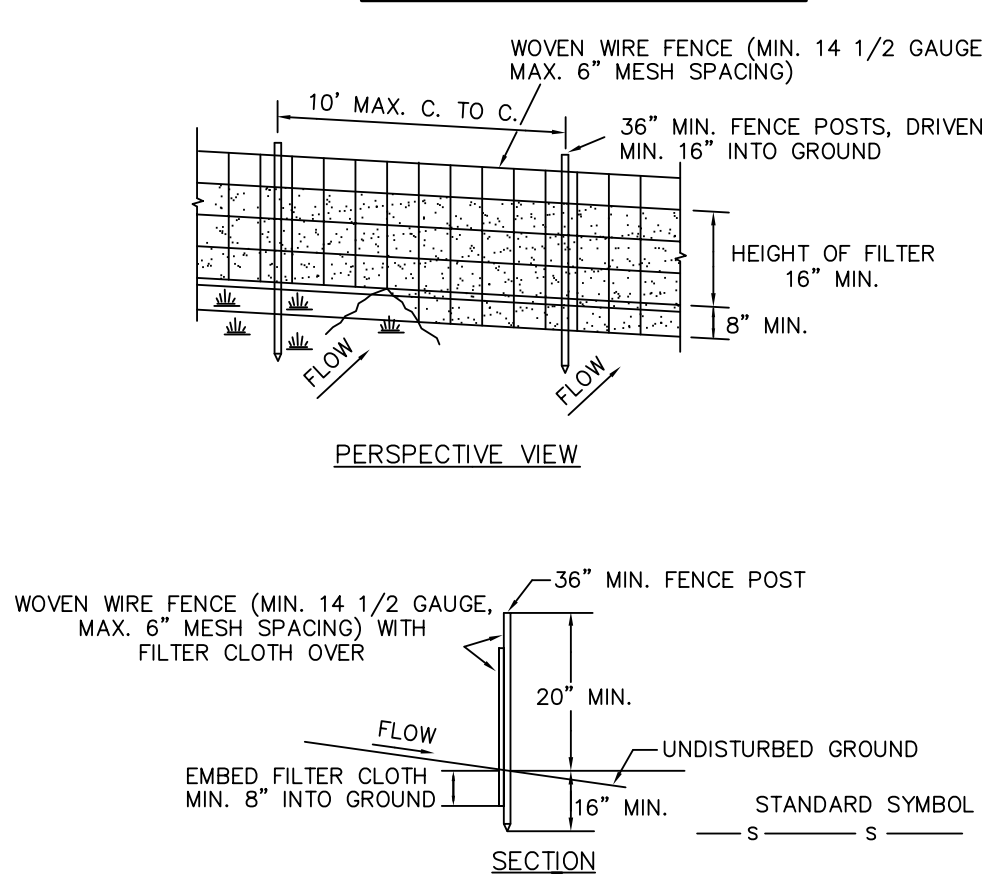
PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.

ALL CATCH BASIN INLETS WILL BE PROTECTED WITH A CRUSH STONE OR HAYBALE FILTER (FILTER DETAILS APPEAR ON PLAN).

ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE DISCHARGE POINTS BECOME OPERATIONAL.

ALL SOIL EROSION AND SEDIMENT CONTROL STRUCTURES MUST BE DETAILED ON THE PLAN.

SILT FENCE DETAILS



CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POST WITH WIRE TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

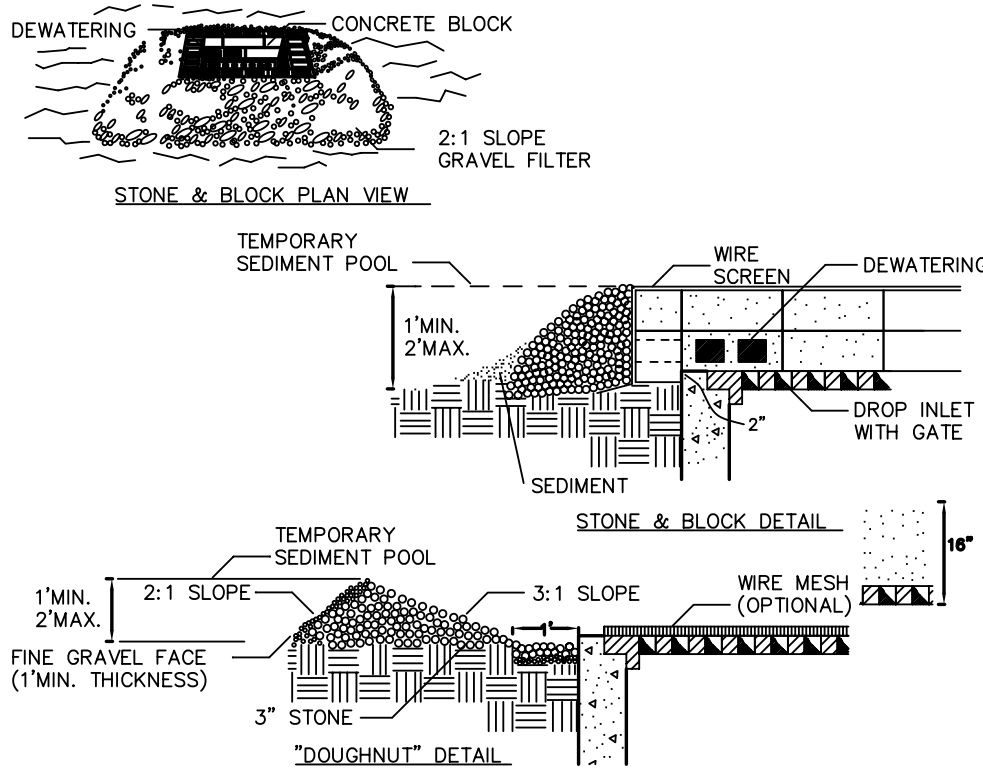
POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD

FENCE: WOVEN WIRE, 14 1/2 GA. 6" MAX. MESH OPENING

FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL

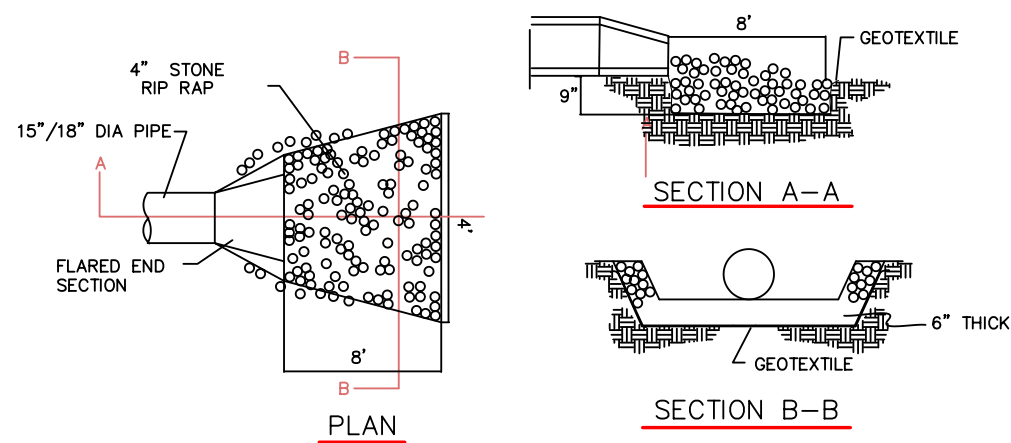
PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL

STONE & BLOCK DROP INLET PROTECTION



CONSTRUCTION SPECIFICATIONS

- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
 - HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
 - USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
 - FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS.
- MAXIMUM DRAINAGE AREA 1 ACRE



RIP RAP APRON DETAIL

DISTURBANCE AREAS:

LOT #1 = 0.30 ACRES
LOT #2 = 0.50 ACRES
LOT #3 = 0.45 ACRES
LOTS 4 & 5 = 1.84 ACRES
LOT #6 = 0.02 ACRES
LOT #7 = 0.57 ACRES
LOT #8 = 0.37 ACRES
ROADWAY = 0.93 ACRES
TOTAL AREA DISTURBANCE = 4.98 ACRES

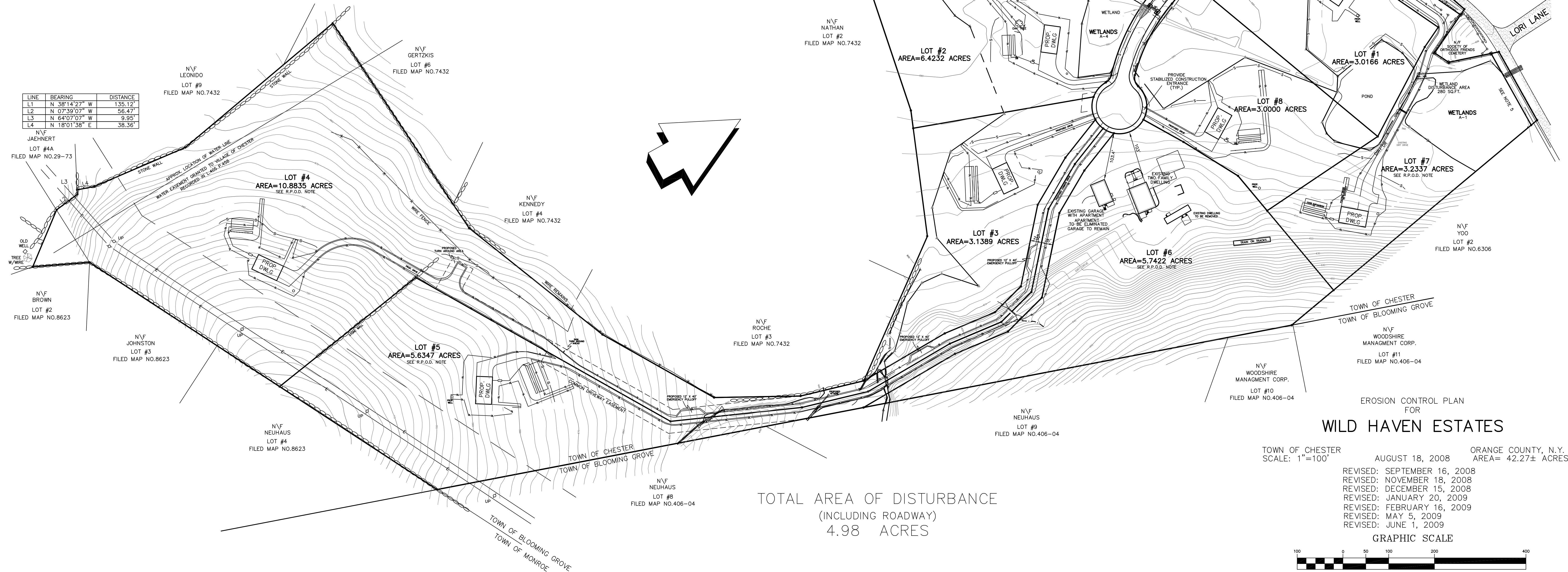
LEGEND:

DROP INLET PROTECTION

SILT FENCE

DISTURBANCE LINE

ROCK CHECK DAMS



TOTAL AREA OF DISTURBANCE
(INCLUDING ROADWAY)
4.98 ACRES

EROSION CONTROL PLAN
FOR
WILD HAVEN ESTATES

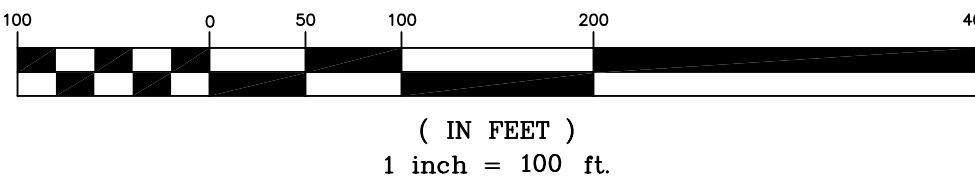
TOWN OF CHESTER
SCALE: 1"=100'

AUGUST 18, 2008

ORANGE COUNTY, N.Y.
AREA= 42.27± ACRES

REVISED: SEPTEMBER 16, 2008
REVISED: NOVEMBER 18, 2008
REVISED: DECEMBER 15, 2008
REVISED: JANUARY 20, 2009
REVISED: FEBRUARY 16, 2009
REVISED: MAY 5, 2009
REVISED: JUNE 1, 2009

GRAPHIC SCALE



R.P.O.D. NOTE:
LOTS 4, 5, 6 AND 7 ARE LOCATED WITHIN THE RIDGE PRESERVATION OVERLAY DISTRICT (R.P.O.D.), TOWN OF CHESTER ZONING LAW SECTION 98-26. LOT 4 AND 5 ARE NOT VISIBLE AT ANY TIME OF THE YEAR FROM POINTS ALONG ANY ROADWAY. LOT 6 HAS AN EXISTING DWELLING THAT WILL NOT REQUIRE A APPLICATION FOR R.P.O.D. LOT 7 WILL REQUIRE A APPLICATION FOR AN APPROVAL FOR A DWELLING WITHIN THE OVERLAY DISTRICT.

JAMES A. DILLIN, PLS
PROFESSIONAL LAND SURVEYOR
GOSHEN, NEW YORK